BOARD OF VARIANCE

NOTICE OF OPEN MEETING

DATE: **THURSDAY, 2015 FEBRUARY 05**

TIME: **1:00 PM**

PLACE: **COUNCIL CHAMBER, MAIN FLOOR, CITY HALL**

A G E N D A

1. CALL TO ORDER **PAGE**

2. ELECTIONS

(a) Election of the Chairperson

3. MINUTES

(b) Minutes of the Board of Variance Hearing held 2015 January 08 5

4. APPEAL APPLICATIONS

(a) APPEAL NUMBER: B.V. 6141 1:00 p.m. 19

APPELLANT: Dave Ghataurah

REGISTERED OWNER OF PROPERTY: Satinder and Arvind Ghataurah

CIVIC ADDRESS OF PROPERTY: 4084 Fir Street

LEGAL DESCRIPTION OF PROPERTY: Lot 70; District Lot 35; Plan 27645

APPEAL: An appeal for the relaxation of Section 104.9 of the Burnaby Zoning Bylaw which, if permitted, will allow for the contstruction of a new single family dwelling at 4084 Fir Street. The front yard setback will be 24.70 feet to the foundation where a minimum front yard setback of 42.67 feet

(b) APPEAL NUMBER: B.V. 6142 1:00

28

APPELLANT: Dharam Kajal

REGISTERED OWNER OF PROPERTY: Sudesh and Dharam Kajal

CIVIC ADDRESS OF PROPERTY: 5469 Forglen Drive

LEGAL DESCRIPTION OF PROPERTY: Lot 9; District Lot 32; Plan 17168

APPEAL: An appeal for the relaxation of Section 104.9 of the Burnaby Zoning Bylaw which, if permitted, will allow for the construction of a new single family dwelling at 5469 Forglen Drive. The front yard setback will be 25.02 feet to the foundation where a minimum front yard setback of 35.66 feet is required based on front yard averaging. The window seat projects 1.0 foot beyond the foundation. The overhang projects 2.0 feet beyond the foundation and the porch stairs project 3.5 feet beyond the foundation.

(c) APPEAL NUMBER: B.V. 6143 1:15 p.m.

36

APPELLANT: Nirmal Takhar

REGISTERED OWNER OF PROPERTY: Hirenkumar and Devang Patel

CIVIC ADDRESS OF PROPERTY: 7060 and 7062 (proposed strata address) Ramsay Avenue

LEGAL DESCRIPTION OF PROPERTY: Lot 115; District Lot 30; Plan 64617

APPEAL: An appeal for the relaxation of Section 105.9 of the Burnaby Zoning Bylaw which, if permitted, will allow for the construction of a new two family dwelling at 7060 and 7062 (proposed strata address) Ramsay Avenue. The front yard setback will be 20 feet to the foundation where a minimum front yard setback of 28.02 feet is required based on front yard averaging. The roof overhang will project 2.95 feet beyond the foundation.

(d) APPEAL NUMBER: B.V. 1:15 P.M. 6144

APPELLANT: Vijay Jain

REGISTERED OWNER OF PROPERTY: 0981909 BC LTD.

CIVIC ADDRESS OF PROPERTY: 7516 Edmonds Street WITHDRAWN

LEGAL DESCRIPTION OF PROPERTY: Lot 2; District Lot 30; Plan NWP3036

APPEAL: An appeal for the relaxation of the Local Government Act Section 911.(5) to allow construction of a new rear deck (including stairs and landing) to 7516 Edmonds Street. The appeal is to allow construction of a new rear deck (including stairs and landing) where no structural alteration or addition can be made in or to a building or structure while the non-conforming use is continued in all or any part of it.

(e) APPEAL NUMBER: B.V. 6145 1:30 p.m.

42

APPELLANT: Vishal Dhami

REGISTERED OWNER OF PROPERTY: Samantha Wong and Ashwani Paul

CIVIC ADDRESS OF PROPERTY: 4718 Cambridge Street

LEGAL DESCRIPTION OF PROPERTY: Lot G; District Lot 188; Plan 15872

APPEAL: An appeal for the relaxation of Sections 6.13(1)(b) and 6.14(5)(a) of the Burnaby Zoning Bylaw which, if permitted, will allow for the construction of a structure for a new single family dwelling currently under construction at 4718 Cambridge Street. The following variances are being requested: a) a structure along the vision clearance line facing Cambridge Street with varying heights up to a maximum of 6.3 feet and will allow a structure along the vision clearance line facing the lane with varying heights up to a maximum of 6.59 feet where the maximum permitted height along the vision clearance lines is 3.28 feet; and, b) a retaining wall in the required front yard with varying heights up to a maximum of 3.59 feet where the maximum permitted height is 3.28 feet.

(f) APPEAL NUMBER: B.V. 6146 1:30 p.m.

55

APPELLANT: John Rogic

REGISTERED OWNER OF PROPERTY: Coastview Construction LTD

CIVIC ADDRESS OF PROPERTY: 5850 Braemar Avenue

LEGAL DESCRIPTION OF PROPERTY: Lot 4; District Lot 86; Plan 18705

APPEAL: An appeal for the relaxation of Sections101.6(1)(a) and 101.8 of the Burnaby Zoning Bylaw which, if permitted, will allow for a new single family dwelling at 5850 Braemar Avenue. The following variances have are being requested: a) the principal building height measured from the

rear and front average elevations will be 34.89 feet and 28.75 feet respectively, where a maximum building height of 29.5 feet is permitted; and c) the front yard setback will be 27.59 feet to the post where a minimum front yard setback of 49.06 feet is required based on front yard averaging. The roof overhang will be 2.0 feet beyond the post.

CITY OF BURNABY

BOARD OF VARIANCE

M I N U T E S

A Hearing of the Board of Variance was held in the Council Chamber, City Hall, 4949 Canada Way, Burnaby, B.C., on Thursday, 2015 January 08 at 1:00 p.m.

PRESENT: Ms. C. Richter
Mr. B. Pound
Mr. S. Nemeth
Mr. P. Ferronato
Mr. B. Bharaj

STAFF: Ms. M. Malysz, Planning Department Representative
Mr. E. Prior, Administrative Assistant

The Secretary called the Hearing to order at 1:00 p.m.

ELECTION OF CHAIRPERSON

MOVED BY MR. S. NEMETH:
SECONDED BY MR. B. POUND:

"THAT Ms. C. Righter be appointed as Chair of the Burnaby Board of Variance for the 2015 January 08 Board of Variance Hearing."

CARRIED UNANIMOUSLY

The Board requested the election of the Chair for the balance of 2015 be held at the next hearing.

MINUTES

MOVED BY MR. P. FERRONATO:
SECONDED BY MR. S. NEMETH:

"THAT the minutes of the Hearing of the Burnaby Board of Variance held on 2014 December 04 be adopted as circulated."

CARRIED UNANIMOUSLY

APPEAL APPLICATIONS

The following persons filed application forms requesting that they be permitted to appear before the Board of Variance for the purpose of appealing for the relaxation of specific requirements as defined in the Burnaby Zoning Bylaw 1965, Bylaw No. 4742:

1. APPEAL NUMBER: B.V. 6137

APPELLANT: Gurpreet Singh

REGISTERED OWNER OF PROPERTY: Afroza and Hafizur Khan

CIVIC ADDRESS OF PROPERTY: 6777 Hersham Avenue

LEGAL DESCRIPTION OF PROPERTY: Lot 7; District Lot 91; Plan 2367

APPEAL: An appeal for the relaxation of Section 105.8(1) of the Burnaby Zoning Bylaw which, if permitted, will allow for new deck cover to the upper floor and secondary suite to the main floor of a single family dwelling at 6777 Hersham Avenue. The principal building depth will be 73.0 feet where a maximum depth of 60.0 feet is permitted.(Zone R-5)

APPELLANT'S SUBMISSION:

Gurpreet Singh submitted an application for the retention of a deck cover to the upper floor and secondary suite.

Mr. Singh and Ms. Kan appeared before members of the Board of Variance at the Hearing.

BURNABY PLANNING AND BUILDING DEPARTMENTS COMMENT:

An appeal for the relaxation of Section 105.8(1) of the Burnaby Zoning Bylaw which, if permitted, will allow for addition of a roof over the existing upper floor deck of a single family dwelling at 6777 Hersham Avenue. The proposed principal building depth is 73.0 feet where a maximum depth of 60.0 feet is permitted.

The subject site, zoned R5 Residential District, is located in the Richmond Park neighbourhood in which the age and condition of single and two-family dwellings vary. This interior lot, approximately 40 ft. wide and 166.4 ft. long, fronts onto Hersham Avenue to the northeast. The subject site abuts single family lots to the northwest and southeast. Vehicular access to the subject site is provided via the rear lane. The site is relatively flat with a downward slope of approximately 2 ft. from the front to the rear. The subject site is improved with a single family dwelling, originally built in 1990. Sometime before 2002, the site was further improved with an addition and alterations to the main floor to accommodate a secondary suite and a roof addition over the rear deck on the upper floor. These improvements were made without the benefit of a building permit. The unauthorized main floor addition

increases the gross floor area beyond that permitted for the subject site and is to be removed. The roof addition only is the subject of this appeal.

The appeal is for a principal building depth of 73 ft. where a maximum building depth of 60.0 ft. is permitted.

The Bylaw's intent in limiting building depth is to prevent the creation of dwellings that present a long wall, such that the massing of the building impacts neighbouring properties.

The new roof spans across the entire rear deck, which is 10 ft. deep and 32 ft. wide and consists of a flat aluminum roof supported on aluminum posts and beams. The roof connects to the main roof of the dwelling just under the gutter level. The new roof projects in front of neighbouring dwellings on both sides of the subject property, and partly overlaps the covered patio/deck of the neighbouring dwelling to the northwest and the open deck of the neighbouring dwelling to the southeast. Many similar deck covers are found in the subject block.

It should be noted that the existing dwelling is 73 ft. deep and is legal non-conforming with respect to the requirements of the Zoning Bylaw. The main body of the dwelling contributes 63 ft. to the overall building depth, with the remaining 10 ft. contributed by the rear deck, which is raised from the ground approximately 9.5 ft.

In summary, given the small massing of the new roof, the neighbouring residences to the northwest and southeast of the subject site are marginally affected. Also, considering the siting of the subject dwelling, aligned in general with the neighbouring dwellings when viewed from the lane (rear), the new roof addition does not create the perception of a long wall.

In view of the above, this Department **does not object** to the granting of **this variance.**

ADJACENT OWNER'S COMMENTS:

Correspondence was received from Mr. Chen, 6785 Hersham Avenue, in opposition to this appeal.

DECISION:

MOVED BY MR. B. POUND:
SECONDED BY MR. S. NEMETH:

"THAT based on the plans submitted this appeal be ALLOWED."

CARRIED UNANIMOUSLY

2. APPEAL NUMBER: B.V. 6138

APPELLANT: Gurcharan Minhas

REGISTERED OWNER OF PROPERTY: Simar Custom Homes LTD

CIVIC ADDRESS OF PROPERTY: 7689 Rosewood Street

LEGAL DESCRIPTION OF PROPERTY: Lot 11; District Lot 30; Plan 19519

APPEAL: An appeal for the relaxation of Section 105.9 of the Burnaby Zoning Bylaw which, if permitted, will allow for construction of a new two family dwelling 7689 and 7691 (proposed strata address) Rosewood Street. The front yard setback will be 23.5 feet to the post where a minimum front yard setback of 26.55 feet is required based on front yard averaging. The roof overhang will be 2.0 feet beyond the post. (Zone R-5)

APPELLANT'S SUBMISSION:

Gurcharan Minhas submitted an application for relaxation of the Burnaby Zoning Bylaw to allow for construction a new two family dwelling at 7689 Rosewood Street.

Mr. Minhas appeared before members of the Board of Variance at the Hearing.

BURNABY PLANNING AND BUILDING DEPARTMENTS COMMENT:

An appeal for the relaxation of Section 105.9 of the Burnaby Zoning Bylaw which, if permitted, will allow for construction of a new two family dwelling at 7689 Rosewood Street. The proposed front yard setback is 23.5 feet to the post where a minimum front yard setback of 26.55 feet is required based on front yard averaging. The proposed roof overhang extends 2.0 feet beyond the post.

The subject site, zoned R5 Residential District, is located in the Richmond Park neighbourhood in which the age and condition of single and two-family dwellings vary. This irregular "L" shaped interior lot, which is approximately 60 ft. wide (at the front property line) and 118.8 ft. deep, fronts onto Rosewood Street to the southeast. The subject site abuts single family lots to the southeast and northeast. Vehicular access to the subject site is proposed via the rear lane to the northwest and the existing redundant access from Rosewood Street is proposed to be removed. The site observes a downward slope of approximately 7 ft. in the south to north direction. The applicant proposes to redevelop the site with a new two-family dwelling including two detached garages, for which a variance has been requested.

The appeal proposes a front yard setback of 23.5 ft., measured to the front porch posts of the proposed single-family dwelling, with a further projection for roof eaves of 2 ft., where front yard averaging requires a minimum setback of 26.55 ft. from the front property line.

In 1991, Council responded to public concerns regarding the bulk and massing of newer and larger homes that were being built in existing neighbourhoods. Several text amendments to

the Zoning Bylaw were made to address these concerns including a requirement to set new construction back from the front property line based on an average of the two houses on either side of the subject site. The intent was to ease new construction into existing street frontages with minimal impacts.

In this case, front yard averaging calculations are based on the front yards of the two existing dwellings at 7659 and 7667 Rosewood Street immediately southwest of the subject site. The front yard setbacks for these properties are 26.78 ft. and 26.31 ft. respectively. The existing dwellings to the northeast of the subject site, which front Canada Way, are not included in the front yard averaging calculation. The existing dwelling on the subject lot, which was built in 1959, observes a front yard setback of approximately 25.5 ft.

As mentioned above, the front yard setback is measured to the front porch posts. With the exception of the front porch and bay window features, the main body of the proposed dwelling would be set back an additional 1.5 ft. resulting in a front yard setback of 25 ft., consistent with the existing front yard setback. Also, the upper floor is proposed to be set back 16.6 ft. from the front porch posts.

With respect to the existing streetscape, the proposed dwelling would be located approximately 2.81 ft. in front of the adjacent dwelling to the southwest (or 1.31 ft. if the front porches and bay windows are excepted). If the actual 'corner to corner' relationship is considered, the south corner of the subject dwelling would be approximately 5 ft. in front of the adjacent corner of this neighbouring dwelling.

Similarly, on the opposite side of the subject property, the east corner of the subject dwelling would be approximately 5 ft. in front of the adjacent corner of an existing detached garage in the rear yard of the neighbouring property at 6985 Canada Way.

Although the requested variance is relatively minor and somewhat mitigated by the generous upper floor setback and absence of overlapping windows, design alternatives exist that are consistent with all provisions of the Zoning Bylaw. For instance, if the proposed garages were rotated to flank the rear lane, the proposed two family dwelling could be moved back to provide the required 26.55 ft. front yard setback.

For this reason, this Department **cannot support** the granting of **this variance.**

ADJACENT OWNER'S COMMENTS:

No submissions or comments were received regarding this appeal.

DECISION:

MOVED BY MR. P. FERRONATO:
SECONDED BY MR. S. NEMETH:

"THAT based on the plans submitted this appeal be ALLOWED."

CARRIED UNANIMOUSLY

3. APPEAL NUMBER: B.V. 6139

APPELLANT: Axel Tjaden

REGISTERED OWNER OF PROPERTY: Axel Tjaden and Karen Tee

CIVIC ADDRESS OF PROPERTY: 6311 Lakeview Avenue

LEGAL DESCRIPTION OF PROPERTY: Lot 17; District Lot 92; Plan 13792

APPEAL: An appeal for the relaxation of Sections 104.8(1), 104.10(1) and 104.11of the Burnaby Zoning Bylaw which, if permitted, will allow for the construction of a new carport to the basement, and a new deck and addition to the main floor at 6311 Lakeview Avenue. The following variances are being requested:

a) the building depth, measured from the front of the existing principal building to the rear of the new deck, will be 36.25 feet where a maximum 33.42 feet is permitted;
Note: the existing principal building is approximately 0.50 feet closer to the rear (northwest) property line than the new deck.

b) The side yard setback, measured from the south property line to the addition, will be 0.61 feet where a minimum 4.9 feet is required; and

c) The rear yard setback, measured from the northwest property line to the new deck post, will be 6.0 feet where a minimum of 29.5 feet is required. (Zone R-4)

APPELLANT'S SUBMISSION:

Axel Tjaden and Karen Tee submitted an application for relaxation of the Burnaby Zoning Bylaw to allow for additions to an existing single family dwelling.

Mr. Tjaden appeared before members of the Board of Variance at the Hearing.

BURNABY PLANNING AND BUILDING DEPARTMENTS COMMENT:

An appeal for the relaxation of Sections 104.8(1), 104.10(1) and 104.11 of the Burnaby Zoning Bylaw which, if permitted, will allow for the construction of a new carport to the basement, and a new deck and addition to the main floor at 6311 Lakeview Avenue. The following variances are being requested:

a) the building depth, measured from the front of the existing principal building to the rear of the new deck, will be 36.25 feet where a maximum 33.42 feet is permitted;
Note: the existing principal building is approximately 0.50 feet closer to the rear (northwest) property line than the new deck.

b) The side yard setback, measured from the south property line to the addition, will be 0.61 feet where a minimum 4.9 feet is required; and

c) The rear yard setback, measured from the northwest property line to the new deck post, will be 6.0 feet where a minimum of 29.5 feet is required.

The subject site, which is zoned R4 Residential District, is located in the Kingsway-Beresford neighbourhood in which the age and condition of single family dwellings vary. This irregular, roughly triangular interior lot has a frontage of 76.3 ft. along Lakeview Avenue to the east. A rear lane runs at an angle immediately northwest of the subject site and intersects Lakeview Avenue and Stanley Street directly at the northern property line, which follows the curve of the lane. The lot is 110.6 ft. long along the south property line, but only 48.8 ft. long along the curved northern property line. The site is approximately 73.42 ft. deep as measured along the line joining the center points of the front (east) and rear (northwest) property lines. Abutting the site across the lane to the northwest are single family dwellings. A single family dwelling is also being constructed on the property to the immediate south. The subject site slopes downward approximately 10 ft. in the northwest- southeast direction. Vehicular access to the property is provided from the rear lane.

The site is improved with a single family dwelling, which was originally built in 1954/65. Subsequently, the site was further improved following two successful appeals to the Board on 1972 April 05 and 1972 October 05 (BV # 680 and BV #752 respectively), which permitted additions and alterations resulting in a front yard setback of 24 ft., where a 25 ft. setback was required, and a rear yard setback of 12 ft., where a 30 ft. setback was required. Sometime after 1989, the dwelling was further improved with a small addition on the south side, without the benefit of a building permit. This addition is the subject of the second b) appeal. A new carport/deck rear addition is the subject of the first a) and third c) appeal.

The irregular shape of the lot, and its flanking orientation to the only fronting street, Lakeview Avenue, present a hardship that must be considered in reviewing the first a) and third c) appeal. Specifically, the depth of the northern portion of the lot is insufficient to accommodate the required 24.6 ft. front yard setback and 29.5 ft. rear yard setback. In addition, the existing dwelling is oriented parallel to the Lakeview Avenue property line and at an angle to the slanting rear lane. The dwelling generally observes the required 24.6 ft. front yard setback, but fails to observe the required rear yard setback except in the southernmost part of the property. The existing garage and driveway access are located off the rear lane in the northern half of the property, where the lot narrows.

The first a) and third c) appeals, which relate to the rear addition, are co-related and are discussed first.

The first a) appeal is for a rear addition to the existing single family dwelling, which would result in a principal building depth of 36.25 ft. as measured to the new carport/deck, where a maximum building depth of 33.42 ft. is permitted.

The Bylaw's intent in limiting building depth is to prevent the creation of dwellings that present a long wall, such that the massing of the building impacts neighbouring properties.

In this case, the building depth calculation is based on the building depth as projected onto the lot depth, which is the line joining the center points of the front and rear property lines. Due to the site geometry, this line is angled in relation to these property lines and measures only 73.42 ft., as noted above. Measured along this line, the proposed building depth is 36.25 ft., which exceeds the maximum permitted building depth by 2.83 ft. It is noted that the existing building depth, as constructed in 1954/65, is approximately 36.75 ft., which is legal non-conforming with respect to current Zoning Bylaw requirements. The new carport/deck rear addition would not increase this non-conformity.

The proposed rear addition consists of a new one-car carport at the basement level, partly recessed into the ground, and a new open deck above, which would wrap around the northwest corner of the existing dwelling. The proposed carport would be directly adjacent to the existing one-car attached garage at the northwest corner of the dwelling. To accommodate the proposed carport, the existing vehicular access (from the rear lane) would be widened by approximately 10 ft. This widened vehicular access would be directly opposite a paved parking area on the neighbouring property across the lane to the northwest. In general, there is strong presence of detached garages and fences in the subject lane.

Given the rotated orientation of the subject dwelling with respect to the rear property line, no substantial massing impacts are expected to the neighbouring residences to the northwest of the subject site. As such, the proposed carport/deck rear addition would not result in a long "wall" effect as viewed from properties across the lane to the northwest. Further, the site geometry and the existing angled placement of the subject dwelling creates design challenges and limits development options available on this site.

Given these factors and the relatively low impact of the proposal on neighbouring properties, this Department **does not object** to the granting of **this first a) appeal**.

The third c) appeal is for a rear yard setback of 6.0 ft., measured to the proposed rear addition to the existing single family dwelling, where a minimum rear yard setback of 29.5 ft. is required.

The intent of the Bylaw is to mitigate the massing impacts of new buildings and structures on neighbouring properties and to ensure sufficient outdoor living area in the rear yard.

In this case, the existing dwelling observes a rear yard setback of 11.49 ft., as measured to the northwest corner of the building, which is legal non-conforming with respect to current Zoning Bylaw requirements. The proposed new carport/deck rear addition to the northwest corner of the dwelling would further reduce this setback by 5.49 ft.

The rear yard measurement for the subject site is taken from the rear lot line to the northwest face of the proposed carport/deck addition, which is parallel to the lane. Again, given the rotated orientation of the addition in relation to the rear property line, the proposed encroachment would have limited impact on surrounding properties. Further, the proposed carport/deck addition would be comparable in massing to neighbouring detached garages along the subject lane. Lastly, sufficient green area would remain available in the southwest part of this site.

In view of the above, and considering the above noted design challenges related to the existing orientation of development and site geometry, this Department **does not object** to the granting of **this third c) appeal**.

The second b) appeal would permit a side yard setback of 0.61 ft. from the south property line to the side addition, with a further projection for roof eaves of approximately 1.0 ft., where a minimum side yard setback of 4.9 ft. is required.

The intent of the Bylaw is to mitigate the impacts of building massing on neighbouring properties.

In this case, the existing dwelling observes a south side yard setback of 5.91 ft., which is in compliance with respect to the side yard setback requirement.

The already constructed side addition is approximately 12.5 ft. wide and projects approximately 5.25 ft. from the main body of the existing dwelling in the middle of the south elevation. The addition is covered with a shed type roof, which is approximately 9 ft. high at the point of connection with the south wall of the dwelling. The roof slightly overhangs the neighbouring fence along the shared south property line. This fence is approximately 5.5 ft. high and partly screens the addition when viewed from the neighbouring property to the south, which is currently under construction. However, the side addition fully overlaps the neighbouring dwelling, which observes a side yard setback of 6.5 ft., and with a setback of only 0.61 ft., creates a sense of overcrowding. Further, this neighbouring dwelling features a window directly opposite the addition.

Since the proposed addition negatively impacts the neighbouring residence to the south, this Department **objects** to the granting of **this second b) variance**.

ADJACENT OWNER'S COMMENTS:

No submissions were received regarding this appeal.

DECISION:

MOVED BY MR. B. BHARAJ:
SECONDED BY MR. S. NEMETH:

"THAT based on the plans submitted part (a) of this appeal be ALLOWED."

CARRIED UNANIMOUSLY

MOVED BY MR. B. BHARAJ:
SECONDED BY MR. S. NEMETH:

"THAT based on the plans submitted part (b) of this appeal be ALLOWED."

CARRIED UNANIMOUSLY

MOVED BY MR. B. BHARAJ:
SECONDED BY MR. S. NEMETH:

"THAT based on the plans submitted part (c) of this appeal be ALLOWED."

CARRIED UNANIMOUSLY

4. APPEAL NUMBER: B.V. 6140

APPELLANT: Avtar Basra

REGISTERED OWNER OF PROPERTY: Canada Haojun Development Group Co. and A-G Tej Construction Ltd

CIVIC ADDRESS OF PROPERTY: 1205 Sperling Avenue

LEGAL DESCRIPTION OF PROPERTY: Lot 3; District Lot 132; Plan 20814

APPEAL: An appeal for the relaxation of Sections 104.9 and 6.6(2)(g)(i) of the Burnaby Zoning Bylaw which, if permitted, will allow for the construction of a new two family dwelling with detached garages at 1205 Sperling Avenue. The following variances are being requested:

a) the principal building front yard setback, measured from the east property line to the principal building, will be 36.0 feet where a minimum 40.0 feet is required based on front yard averaging; and

b) the proposed detached garage (B-North), measured from the north property line to the detached garage, will be 16.0 feet where a minimum 24.6 feet is required. (Zone R-4)

APPELLANT'S SUBMISSION:

Vikram Tiku submitted an application for relaxation of the Burnaby Zoning Bylaw to allow for construction of his client's new two family dwelling.

Mr. Tiku before members of the Board of Variance at the Hearing.

BURNABY PLANNING AND BUILDING DEPARTMENTS COMMENT:

An appeal for the relaxation of Sections 104.9 and 6.6(2)(g)(i) of the Burnaby Zoning Bylaw which, if permitted, will allow for the construction of a new two family dwelling with two detached garages at 1205 Sperling Avenue. The following variances are requested:

a) ***a principal building front yard setback, measured from the east property line to the principal building, of 36.0 feet where a minimum of 40.0 feet is required based on front yard averaging; and***

b) ***a proposed detached garage (B-North) setback, measured from the north property line to the detached garage, of 16.0 feet where a minimum of 24.6 feet is required.***

The subject site, zoned R4 Residential District, is located in the Lochdale neighbourhood in which the age and condition of single and two-family dwellings vary. This corner lot, approximately 83.1 ft. wide and 121 ft. deep, fronts Sperling Avenue to the east and flanks Aubrey Street to the north. Abutting the site to the south and across the lane to the west are single family dwellings. Vehicular access to the subject property is proposed via the lane. The subject lot is relatively flat with a downward slope of approximately 3.6 ft. in the northwest-southeast direction. The subject site is currently vacant. The subject lot is proposed to be developed with a new two-family dwelling including two detached garages, for which two variances have been requested.

The first a) appeal proposes a front yard setback of 36.0 ft., measured to the foundation of the principal building, with a further projection for roof eaves of 2.5 ft., where front yard averaging requires a minimum setback of 40.0 ft. from the front property line.

In 1991, Council responded to public concerns regarding the bulk and massing of newer and larger homes that were being built in existing neighbourhoods. Several text amendments to the Zoning Bylaw were made to address these concerns, including a requirement to set new construction back from the front property line based on an average of the two houses on either side of the subject site. The intent was to ease new construction into existing street frontages with minimal impacts.

In this case, front yard averaging calculations are based on the front yards of the two existing dwellings at 1225 and 1245 Sperling Avenue immediately south of the subject site, which both observe front yard setbacks of 40.0 ft.

Although the subject site fronts Sperling Avenue, the proposed siting of the two-family dwelling is oriented towards Aubrey Street. As a result, the proposed east elevation along Sperling Avenue would have the appearance of a ‘side’ elevation, rather than a ‘front’ elevation, with no setback variations. With respect to the south elevation, the upper floor is proposed to be set back 14.8 ft. from the main floor face. In addition, the rear exterior corner of the upper floor of each unit would consist of a covered deck. These features reduce, to an extent, massing impacts on the neighbouring properties to the south.

With respect to the existing streetscape, the proposed dwelling would be located 4.0 ft. in front of the adjacent dwelling to the south. If the actual ‘corner to corner’ relationship is considered, the southeast corner of the subject dwelling would be approximately 9.0 ft. in front of the northeast corner of this neighbouring dwelling (which is set back 5.0 ft. from its most east facade). As noted above, the proposed upper floor setback and massing reduce, to an extent, the impacts on the adjacent dwelling to the southwest. Another factor is an increased south side yard setback of 8.71 ft., where a minimum side yard setback required is 4.9 ft. Further, the adjacent dwelling features no windows on the elevation facing the subject site. Lastly, the proposed front yard setback would be consistent with that of the neighbouring

dwelling across Aubrey Street to the north, which observes a similar front yard setback of approximately 35.5 ft.

Nonetheless, this variance request appears to be the result of a design choice rather than hardship, as alternatives exist to redistribute or reduce the proposed floor area to meet the required setback. For this reason, this Department **cannot support** the granting of **this first a) variance.**

The second b) appeal would permit the construction of a detached garage observing a flanking street side yard setback of 16.0 ft., where a minimum flanking street side yard setback of 24.6 ft. is required.

The intent of the Bylaw is to mitigate the impact of massing on neighbouring properties. In the case of an accessory building facing a flanking street, the Bylaw requires it to be located not closer to the flanking street than the front yard setback for the principal building on the same flanking street.

In this case, the proposed north detached garage would encroach 8.6 ft. into the required flanking street side yard. At the same time, the garage would be located approximately 8.6 ft. in front of the adjacent dwelling across the lane to the west, which observes a front yard setback of approximately 24.6 ft. The proposed one-car detached garage would be 11.16 ft. wide by 20.25 ft. long by 9 ft. high. It appears that most of the garage massing would be screened from the neighbouring residence across the lane to the west by a mature hedge that borders the front yard of this property. Also, the neighbouring residence has no windows on the east elevation facing the lane. It should be noted that the detached garage would just meet all other Bylaw setback requirements, including the required vision clearance zone, with little room for alternative placement.

In view of the above, this Department does **not object** the granting of **this second b) variance.**

ADJACENT OWNER'S COMMENTS:

No submissions were received regarding this appeal.

DECISION:

MOVED BY MR. B. BHARAJ:
SECONDED BY MR. S. NEMETH:

"THAT based on the plans submitted part (a) of this appeal be ALLOWED."

FOR: MR. B. BHARAJ
MR. P. FERRONATO
MR. B.POUND
MR. NEMETH

OPPOSED: MS. C. RICHTER

CARRIED

MOVED BY MR. B. BHARAJ:
SECONDED BY MR. B. POUND:

"THAT based on the plans submitted part (b) of this appeal be ALLOWED."

FOR: MR. B. BHARAJ
MR. P. FERRONATO
MR. B.POUND
MR. NEMETH

OPPOSED: MS. C. RICHTER

CARRIED

A D J O U R N M E N T

MOVED BY MR. P. FERRONATO:
SECONDED BY MR. B. BHARAJ:

"THAT this Hearing do now adjourn."

CARRIED UNANIMOUSLY

The Hearing adjourned at 2:00 p.m.

Ms. C. Richter

Mr. B. Bharaj

Mr. P. Ferronato

Mr. S. Nemeth

Mr. B. Pound

E. Prior
Administrative Officer

City of Burnaby

Board of Variance Appeal Application Form

OFFICE OF THE CITY CLERK

Burnaby City Hall, 4949 Canada Way, Burnaby BC, V5G 1M2, Phone: 604-294-7290 Email: clerks@burnaby.ca

Applicant

Name of Applicant: DAVE GHATAURAH

Mailing Address: 4055 LISTER COURT

City/Town: BURNABY Postal Code: V5G 2C3

Phone Number(s): (H) (604) 760-3500 (C) (604) 805-0877

Email: CROWNHOUSEELECTRIC@YAHOO.COM

Property

Name of Owner: SATINDER GHATAURAH (SAT_S_G@YAHOO.COM)

Civic Address of Property: 4084 FIR STREET, BURNABY, BC, V5G 2A8

Signature for Board of Variance Appeal

09JAN15
Date

Applicant Signature

Office Use Only

Appeal Number BV# 6141

Required Documents:

- ☒ Hardship Letter from Applicant
- ☒ Site Plan of Subject Property
- ☒ Building Department Referral Letter

CITY OF BURNABY
JAN 13 2014
CLERK'S OFFICE

January 10, 2015

City of Burnaby

Board of Variance

RE: VARIANCE APPLICATION FOR 4084 FIR STREET, BURNABY, BC, V5G 2A8

Dear Sir or Madam,

My family and my parents have been residents of the Burnaby hospital area since 2010 and 2013 respectively. We love the area and now, with my two daughters, have even more interactions with my parents, who babysit them while my wife and I are at work. As time progresses, our daughters love playing with their grandparents more and more, thus, we decided to move closer to my parents in order to pass down good family values to our children. We purchased 4084 Fir Street with the intension to build a home that would suite a growing family while ensuring that we were within walking distance of my parent's house, which is located on 4055 Lister Court, Cascade Heights Elementary School and Moscrop Secondary School. We intend to live here for the next few decades.

The older houses on the block are set back further from the property line quite a distance. The neighbouring properties around us are set back 39.7 feet, 37.0 feet and 51.3 feet for 4068 Fir Street, 4078 Fir Street and 4088 Fir Street respectively. Averaging these numbers sets our house back by 42.67 feet. With respect to the bylaw, the usual minimum front set-back in our R4 zoned neighbourhood is 24.6 feet (7.5m) in depth. The houses in front of us, however, appear to be set back less and what appears to be 24.6 feet.

With new homes being constructed in the neighbourhood, the front set backs are lessening to be consistent with newer properties throughout Burnaby. The houses across the street have an approximate set back of 24.6 feet (4099 Fir Street, 4095 Fir Street, 4091 Fir Street, 4089 Fir Street, 4083 Fir Street and 4081 Fir Street). The houses on the west side of the block are approximately 24.6 feet (3956 Fir Street, 3940 Fir street). None of the newly constructed homes in the neighbourhood are built with a front set back as far as 42.67 feet.

Constructing a new house with a front set back as far as 42.67 feet would limit the utilization of the property. With no back lane and having the double car garage, driveway, swing set and secondary suite parking in the rear of the house, my children would have severely limited space to play within. Having any celebration such as birthday parties would be limited as my children, their cousins and friends would not have as much space to play. We would also not be able to have a small area to grow vegetables with our children or perform composting activities or place a laundry line in the back to dry clothes and save energy.

Utilizing the front yard for the children to play would result in limited privacy and safety for the children. Having the swing set in the front yard would not be very appealing for the neighbourhood and neither would a vegetable garden, a compost pile or a laundry line.

We have received signatures from multiple neighbours around our neighbourhood that support the variance on the front set back.

For the reasons and hardships described above, we would like to apply for a variance for the relaxation of the front set back requirements so that we may construct a new home 24.6 feet from the front of the property line.

Sincerely,

Satinder & Arvind Ghataurah

The following list of people below support a front yard of 24.6 feet for 4084 Fir Street.

Name	Address	Signature
Dave Ghatayrah	4055 LISTER CRT	
Jonah Lalog	4079 Lister CRT	
Paul Tomura	4425 Carleton	
Margaret Martins	4099 Fir St	
H. MAWJI	4095 FIR ST	
W. Yu	4083 FIR ST	
E. DERVALICS	4088 FIR ST	

City of Burnaby

BOARD OF VARIANCE REFERRAL LETTER

DATE: December 29, 2014	**DEADLINE: January 13, 2015 for the February 5, 2015 hearing**	*This is **not** an application. Please take letter to Board of Variance. (Clerk's office - Ground Floor)*
NAME OF APPLICANT: Dave Ghataurah		
ADDRESS OF APPLICANT: 4055 Lister Court, Burnaby V5G 2C3		
TELEPHONE: 604-760-3500		

PROJECT			
DESCRIPTION: New single family dwelling			
ADDRESS: 4084 Fir Street			
LEGAL:	**LOT: 70**	**DL: 35**	**PLAN: 27645**

The above mentioned application, which includes the attached plan of the proposal, has been refused by the Building Department on the basis of contravention of:

Zone/Section(s) R4 [104.9]
of the Burnaby Zoning Bylaw No. 4742

COMMENTS:

The applicant is proposing to build a new single family dwelling. The following relaxation is being requested.

1) The front yard setback, to the foundation, will be 24.70 feet where a minimum front yard setback of 42.67 feet is required based on front yard averaging. The overhang projects 2 feet beyond the foundation. The porch stairs project 6.0 feet beyond the foundation.

Note: The applicant recognizes that should the project contain additional characteristics in contravention of the zoning by-law a future appeal(s) may be required.

BHS

for Peter Kushnir
Assistant Chief Building Inspector, Permits and Customer Service

RA

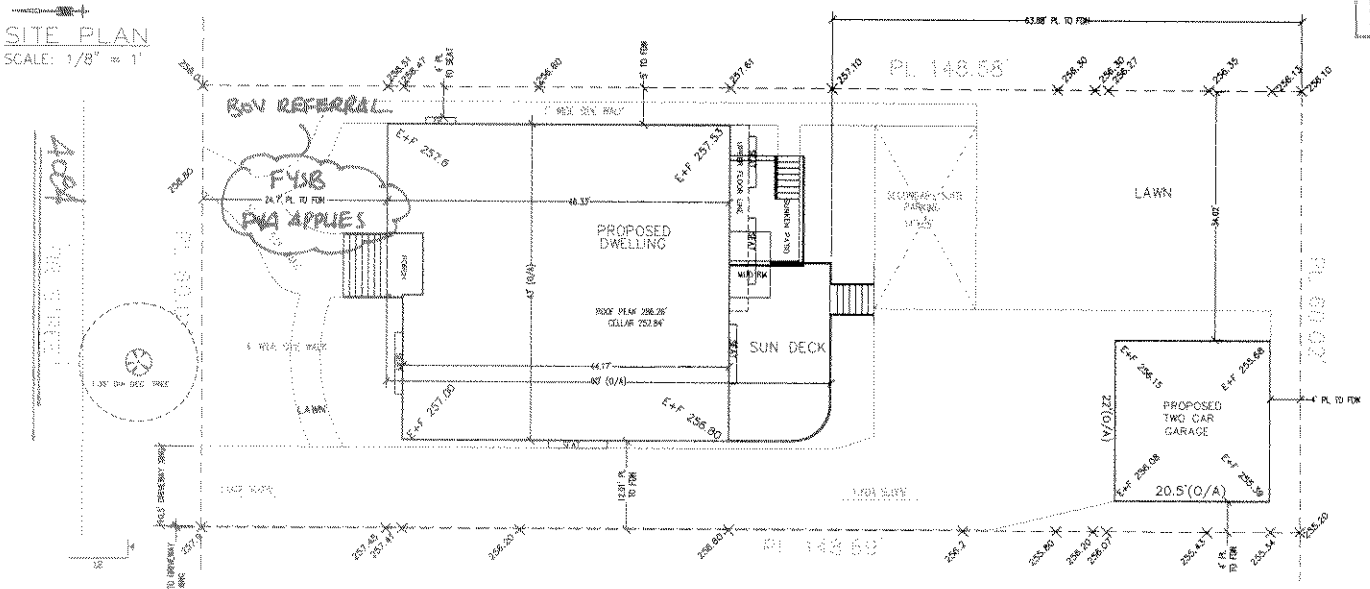
RECEIVED
DEC 30 2014
BUILDING DEPARTMENT

LEGAL DESCRIPTION
LOT 70
DISTRICT LOT 35, GP 1,NWD
PLAN 27645

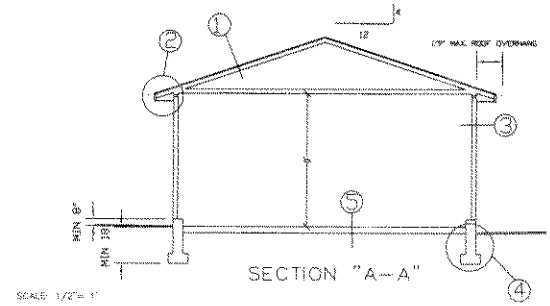
CIVIC ADDRESS
4084 FIR STREET
BURNABY, B.C.

ZONING: R4

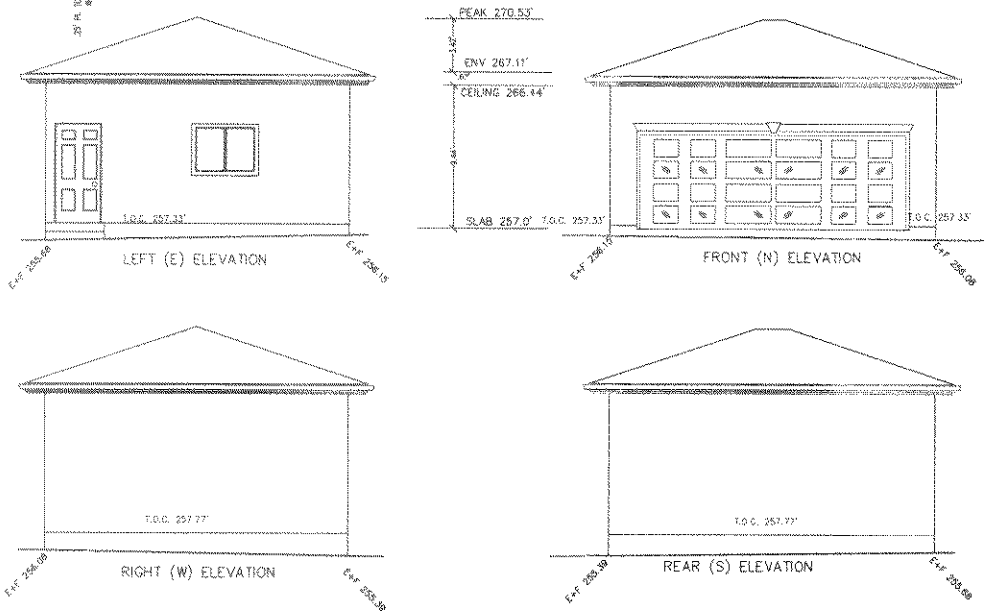
SITE PLAN
SCALE: 1/8" = 1'



LOT AREA: 8920 SQ.FT.	ALLOWED	PROPOSED
G.F.A.	4736	4736
A.G.F.A.	3568	3484
LOT COVERAGE	4823	2405
GARAGE	452	451
DECK	379	295
PORCH	40	40

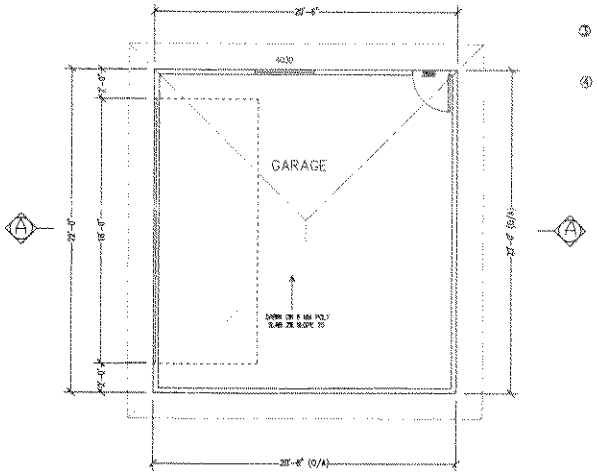


SECTION "A-A"
SCALE: 1/2" = 1'



SPECIFICATIONS

1. COLUMBIA CONCRETE ROOF TILE
   1"X4" STRAPPING @ REQUIRED CENTERS
   ROOF FELT UNDERLAY
   ENGINEERED ROOF TRUSSES @ 24" O/C
2. 2"X8" FIR FASCIA BOARD(BUILT-IN GUTTER)
   5" ALUMINUM GUTTERS
   PERFORATED ALUMINUM SOFFIT
3. STUCCO ON WIRE
   BUILDING PAPER
   1/2" PLYWOOD
   2"X4" STUDS @ 16" O/C
4. 1/2" DIA. ANCHOR BOLTS @4' O/C
   8" CONCRETE FOUNDATION WALL
   8"X16" CONCRETE FOOTINGS
   4" CONCRETE SLAB
   6"MINIMUM COMPACTED
   GRANULAR FILL



BUILDER:	DRAWING TITLE: SITE PLAN AND GARAGE	JOB NUMBER: B-3-50X149_4084_FIR_STREET_DAVE	DRAWN BY: SA	DATE: 25/11/2014
DRAWN:	ADDRESS: 4084 FIR STREET BURNABY, B.C.	SCALE: 1/4" = 1'	1 OF 4	

SDD
SHIKDER DESIGN & DRAFTING
UNIT-1,35, 4395 FRASER STREET
Vancouver, BC V5V 4G4
Phone: 778 888 3740

	ELEVATIONS	B-3-80X140_4084_FIR_STREET_DAVE	SA	25/11/2014
	4084 FIR STREET BURNABY, B.C.	1/4" = 1'	4 OF 4	

SDD

SHIKDER DESIGN & DRAFTING
UNIT-135, 4385 FRASER STREET
Vancouver, BC V5V 4G1
Phone: 778 889 3740

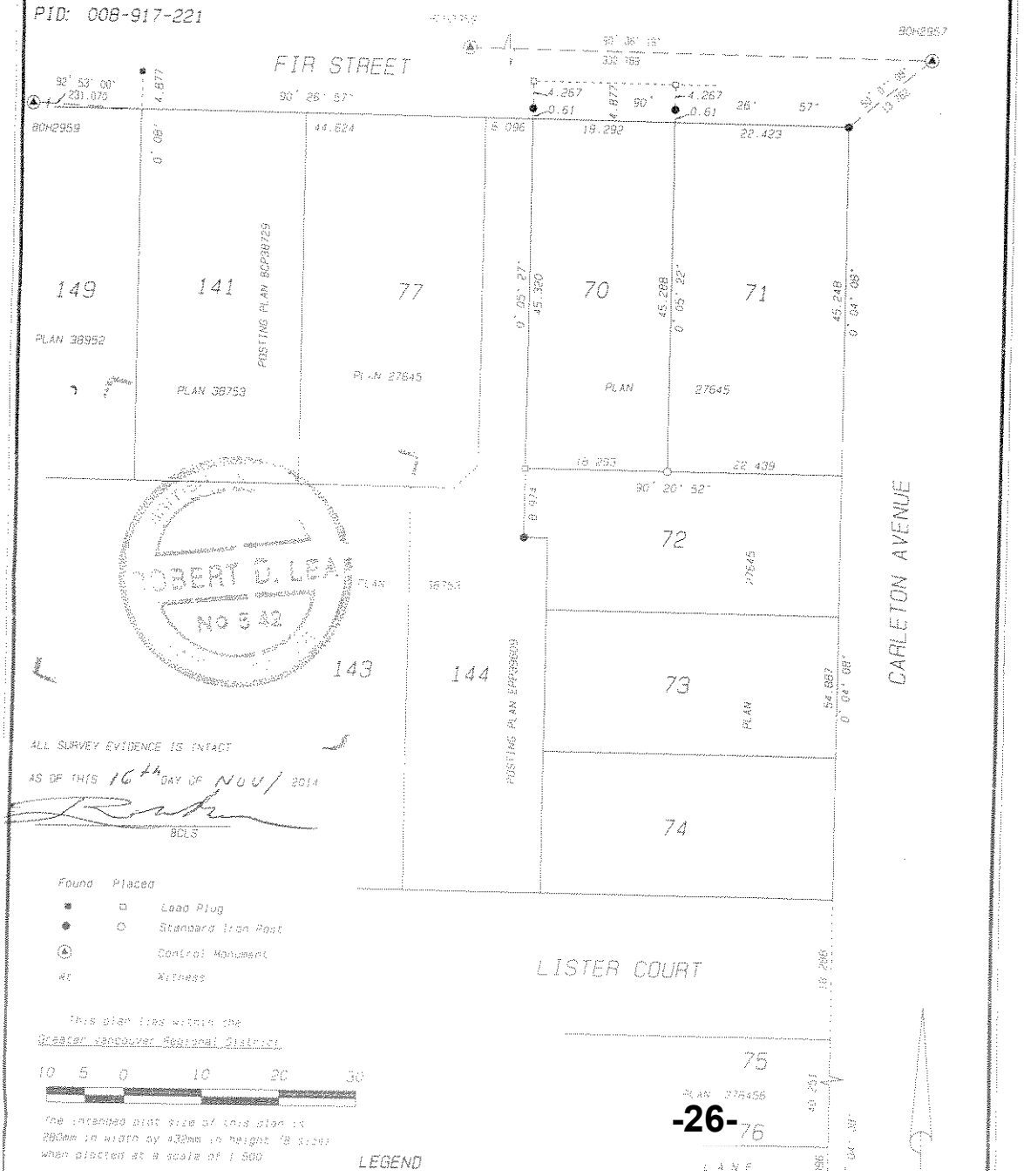
4.(a)

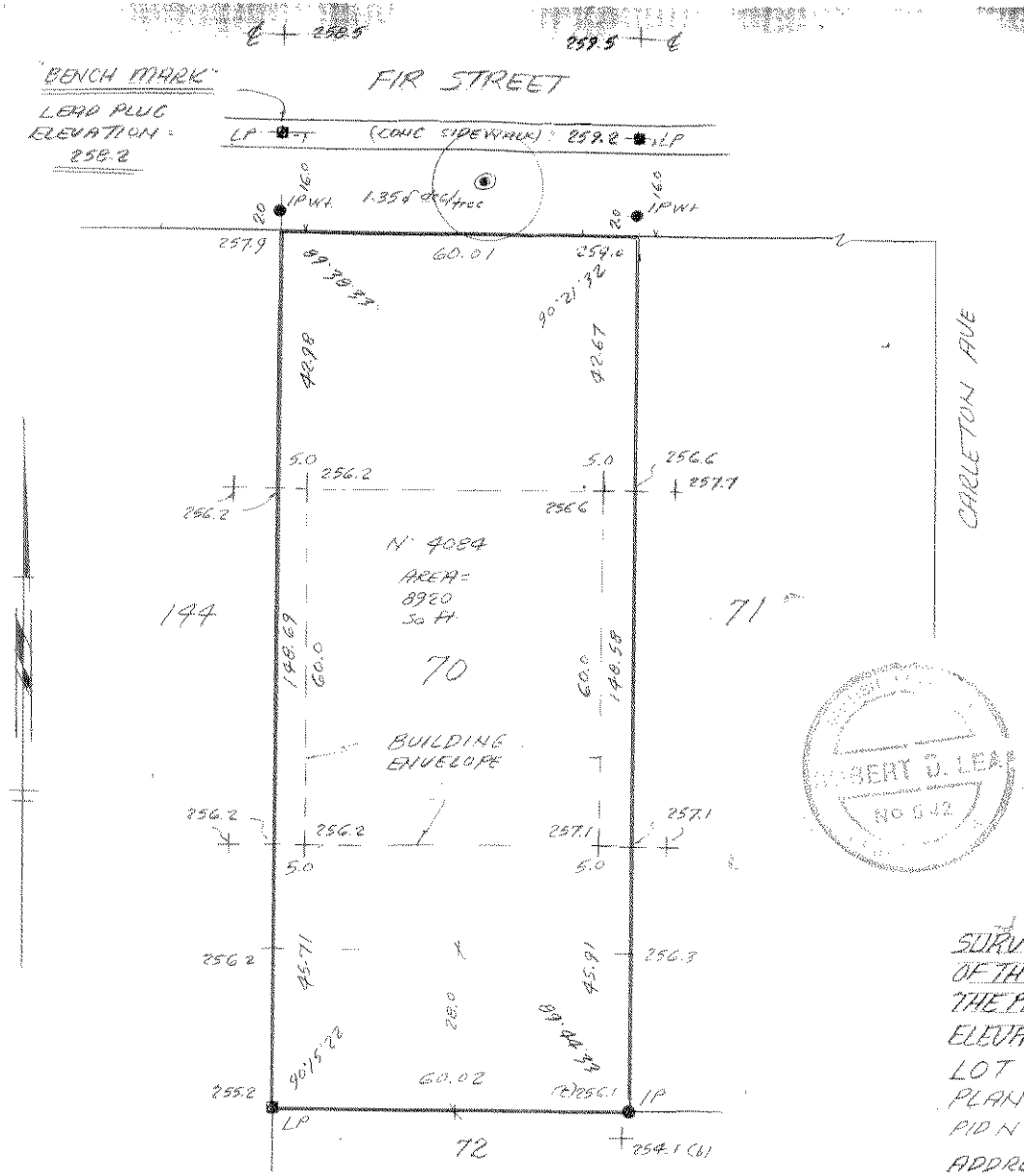
POSTING PLAN OF LOT 70
DISTRICT LOT 35 GROUP 1
NEW WESTMINSTER DISTRICT PLAN 27645

PLAN EPP45796

Pursuant to Sec 68 Land Title Act
BCGS 92G.026
City of Burnaby

PID: 008-917-221





■ . . . . LEAD PLUG
● . . . . IRON PIN
WT. . . WITNESS

SCALE: 1 INCH ~ 20 FEET
(t) . . . . . top
(b) . . . . . bottom

TO SET OUT ANY ELEVATIONS FOR CONSTRUCTION, REFER TO THE POINT MARKED "BENCH MARK"

ALL TREES HAVE BEEN PLOTTED AS REQUIRED.

ALL ELEVATIONS ARE BASED ON THE CITY OF BURNABY - DATUM, AND ARE DERIVED FROM OCM N° 80H 2957 ELEVATION = 259.54 FEET

LOCATION:

N° 4084 FIR STREET

THE BUILDING ENVELOPE(S) SHOWN HEREON ARE SUBJECT TO BURNABY CITY HALL VERIFICATION.
WE CAN ASSUME NO RESPONSIBILITY FOR CHANGES MADE IN THE DIMENSIONING OF THE BUILDING ENVELOPE, AND SUGGEST PRIOR APPROVAL FROM THE CITY OF BURNABY'S APPROPRIATE DEPARTMENTS PRIOR TO ANY INITIAL HOUSE OR BUILDING DESIGNS.

THIS DOCUMENT IS NOT VALID UNLESS ORIGINALLY SIGNED AND SEALED © IN RED COLOUR.

CERTIFIED CORRECT THIS 15th DAY OF NOVEMBER, 2014

ROBERT D. LEA, B.C.L.S.

ROBERT D. LEA
NO 592

AVERAGE HOUSE SETBACK	
ADDRESS:	SETBACK
N° 4068 FIR ST	39.7
4078 " "	37.0
4088 " "	57.3
N° 4084 " "	
AVERAGE	42.67

SURVEY PLAN SHOWING THE LOCATION OF THE ADJACENT HOUSE-SETBACKS, THE PROPOSED BUILDING ENVELOPE, ELEVATIONS AND TREES ON:
LOT 70, DL 35, GP1, NWD
PLAN 27645.
PID N° 008-917-221

ADDRESS: 4084 FIR STREET

FILE: 5579

LEA & ASSOCIATES
LAND SURVEYING LTD
3186 W. 12th AVE, VANCOUVER, B.C. V6K 2R7
TEL. 604 683 4344

4.(b)

Burnaby Board of Variance

OFFICE OF THE SECRETARY

BURNABY CITY HALL, 4949 CANADA WAY, BURNABY BC, V5G 1M2, PHONE 604-2947290
FAX 604-294-7537

APPEAL APPLICATION

PLEASE PRINT Date: Jan. 13, 2015

Name of Applicant: DHARAM KAJAL

Mailing Address: 3565 MONMOUTH AVENUE

City/Town: VANCOUVER Postal Code: V5R 5S1

Phone #s (H) 604-433-2350 (W) 604-789-9520

Email: ~~Other~~ dkajal@shaw.ca Fax

Signature of Applicant D Kajal

The following required information pertains to the subject property upon which the appeal has been filed.

Name of Owner SUDESH / DHARAM KAJAL

Civic Address of Property 5469 FORGLEN DRIVE, BBY, V5H 3K8

Legal Description of Property Lot 9 Blk

District Lot 32 Plan 17168

Zoning of Property R4

OFFICE USE ONLY

Appeal Number BV# 6142. Date Appeal Received

Applicant Referred by: Building Planning License Other

Required Documents: (i) Hardship Letter from Applicant
(ii) Site Plan of Subject Property
(iii) Additional Plans

CITY OF BURNABY
JAN 13 2014
CLERK'S OFFICE

Date and Time Appeal will be heard: 2015 February 05 @ 1:00pm

DHARAM KAJAL

3565MONMOUTH AVENUE, VANCOUVER, V5R 5S1
PHONE:(604).789.9520. FACSIMILE(604).412.0008

Owner Hardship for Construction of New Home

Attention:

City of Burnaby
Board of Variance

Dear Sir;

Re: Hardship for Construction of New Home at 5469 Forglen Drive Burnaby

Please note that we have purchase this property to build my dream home for my family and for parents at the above noted development. Now we are facing hardship to build my dream home due to front setback to be set at 39.66 ft., rather than current R4 24.6 ft. to construct to match with old homes built in 1940 after completing planning and engineering requirements.

My hardship points are as per following:

1. The front setback, to the foundation, shall be 25.02 where a minimum front yard setback of 35.66 feet is required based on front averaging based home built 70 years ago and do not compile with current by law zoning. Setback 35.66 ft. are very deep and which are non-coherent with the construction of new home and also are not realistic to current by law zoning which indicated minimum front setback shall be 24.6 feet. The neighbourhood home on the east of Forglen Drive mostly are new and are built with new current R4 setbacks. The average extreme front setback depth by R4 zoning by law is 24.6 feet.

2. Based on current offset, the distance between building foundation and garage shall be minimum 14.5 feet and this is not achievable to less depth available due to match with front setback 39.66 ft. with respect to70 years old built homes.

3. Based on current 39.66 ft. front, rear setback deck depth is not enough deep and rear deck construction could not be achieved due to match with applicable 70 years old homes rather than current bylaws.

4. In order to build my dream home construction as well rear deck the anticipated cost is about $600,000. (600 thousands). The land value of this home is about $ 100,000.00 and overall projected cost will be 1,600.000 (1.6 million) which is not

worthwhile and realistic to match front setback 39.66 ft. depth in front of the home which is very deep. Secondly due to deep setback 39.66 ft. to build this dream home as well to match with existing averages front setback with old homes built in 1970, the dream home is not achievable as well no sustainable. This will not match with existing eastside of Froglen Drive as well as with existing neighbourhood concept.

5. The existing home built south of this lot has 25.0 feet setback and we should be allowed to match with existing south home which was recently built few years ago.

6. Exception should be allowed to build home on 5469 Forglen Drive to match home along south setback as well as allowed to match with front setback 24.6 ft. by R4 current by law of City of Burnaby rather than 39.66 ft. front setback averaging old home which were built in 1950 and do not match with current latest city standards, specification and building codes.

In view of the above, we kindly request that please allow us use current R4 bylaw depth equal to 24.6 ft. as per applicable by law rather than to match averages with 70 years old built homes or allow us to relax rear setback from 14.5 ft. to 5 ft. between foundation of building and garage to build a deck so that we could be able to construct my dream home achievable and sustainable to match with new built homes as well as to coherent with existing neighbourhood concept at the project cost of 1,600,000 (1.6 million).

We appreciate your positive response in near future.

Thanking you.

Yours truly,

Dharam Kajal
5469 Forglen Drive Burnaby
BC, V5H 3K8

City of Burnaby

BOARD OF VARIANCE REFERRAL LETTER

DATE: January 9, 2014	**DEADLINE: January 13, 2015 for the February 5, 2015 hearing**	*This is **not** an application. Please take letter to Board of Variance. (Clerk's office - Ground Floor)*
NAME OF APPLICANT: Dharam Kajal		
ADDRESS OF APPLICANT: 3565 Monmouth Ave., Vancouver V5R5S1		
TELEPHONE: 604-789-9520		

PROJECT			
DESCRIPTION: New single family dwelling			
ADDRESS: 5469 Forglen Drive			
LEGAL:	**LOT: 9**	**DL: 32**	**PLAN: 17168**

The above mentioned application, which includes the attached plan of the proposal, has been refused by the Building Department on the basis of contravention of:

Zone/Section(s) R4 [104.9]
of the Burnaby Zoning Bylaw No. 4742

COMMENTS:

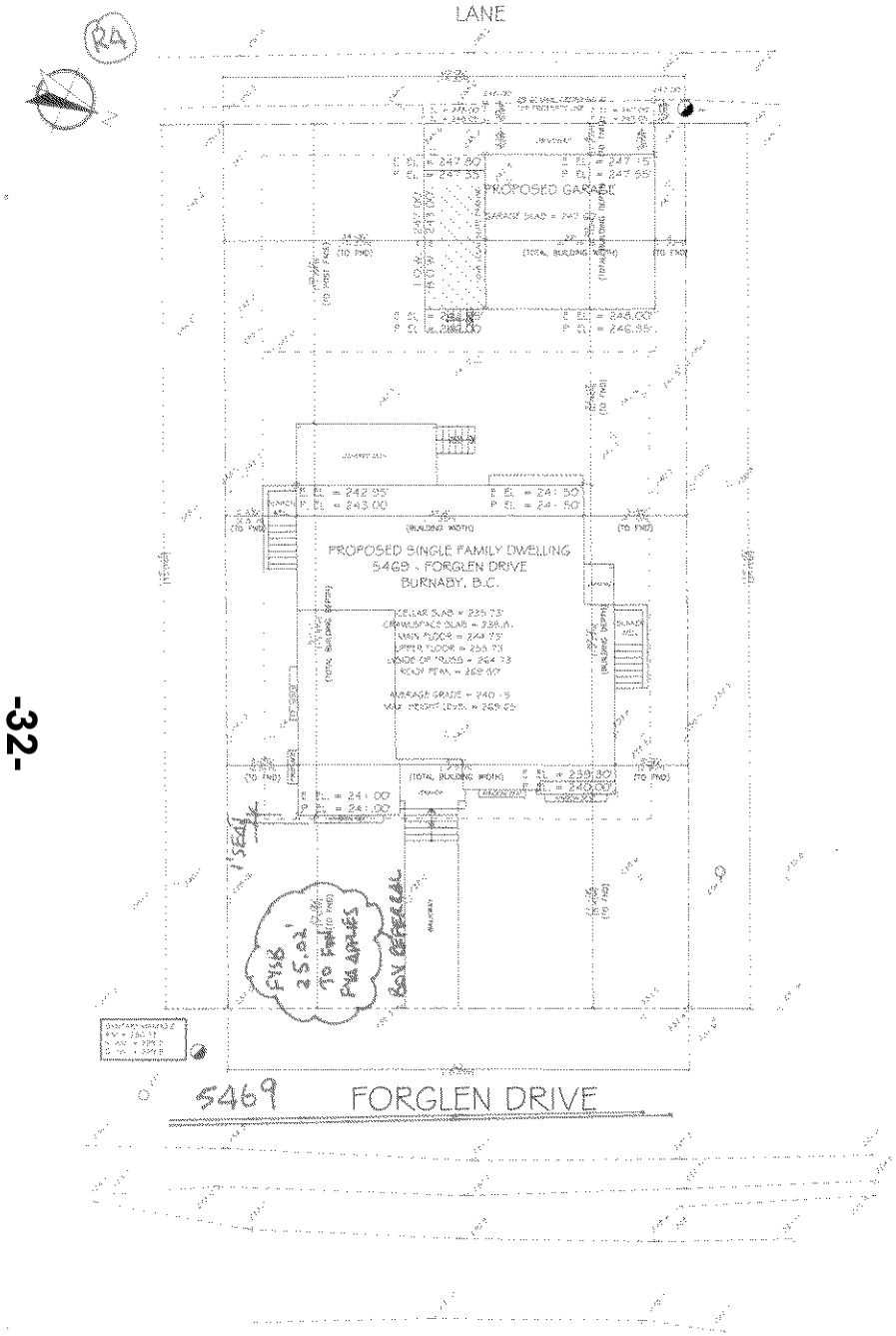
The applicant is proposing to build a new single family dwelling. The following relaxation is being requested.

1) The front yard setback, to the foundation, will be 25.02 feet where a minimum front yard setback of 35.66 feet is required based on front yard averaging. The window seat projects 1 foot beyond the foundation. The overhang projects 2 feet beyond the foundation. The porch stairs project 3.5 feet beyond the foundation.

Note: The applicant recognizes that should the project contain additional characteristics in contravention of the zoning by-law a future appeal(s) may be required.

BHS

Peter Kushnir
Assistant Chief Building Inspector, Permits and Customer Service



DIVISION B - PART 9

5) <EXCEPT AS PROVIDED IN SENTENCE (4) AND (5),> WHERE THE LIMITING DISTANCE IS LESS THAN 0.6m, THE EXPOSING BUILDING FACE AND EXTERIOR WALLS LOCATED ABOVE THE EXPOSING BUILDING FACE THAT ENCLOSES AN ATTIC OR ROOF SPACE, <SHALL> HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 45 MIN. AND>
A) <THE CLADDING SHALL BE METAL OR NONCOMBUSTIBLE CLADDING INSTALLED IN ACCORDANCE WITH SECTION 9.20.
(SEE A-9.10.14.5.(1) IN APPENDIX A).>
B) <THE CLADDING SHALL>
i) CONFORM TO SUBSECTION 9.27.1.,
ii) BE INSTALLED WITHOUT FURRING MEMBERS OVER GYPSUM SHEATHING AT LEAST 12.7mm THICK OR OVER MASONRY, AND
iii) HAVE A FLAME-SPREAD RATING NOT GREATER THAN 25 WHEN TESTED IN ACCORDANCE WITH SENTENCE 3.1.12.(2)
iv) NOT EXCEED 2mm IN THICKNESS EXCLUSIVE OF FASTENERS, JOINTS AND LOCAL REINFORCEMENTS, OR
C) <THE WALL ASSEMBLY SHALL COMPLY WITH SENTENCE 3.1.5.5.(3) AND (4) WHEN TESTED IN CONFORMANCE WITH CAN/ULC-S134, "FIRE TEST OF EXTERIOR WALL ASSEMBLIES.">

5) <EXCEPT AS PROVIDED IN SENTENCE (4), WHERE THE LIMITING DISTANCE IS EQUAL TO OR GREATER THAN 0.6m AND 1.2m, THE EXPOSING BUILDING FACE AND ANY EXTERIOR WALL LOCATED ABOVE THE EXPOSING BUILDING FACE THAT ENCLOSES AN ATTIC OR ROOF SPACE SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 45 MIN. AND>
A) THE CLADDING SHALL BE METAL OR NONCOMBUSTIBLE CLADDING INSTALLED IN ACCORDANCE WITH SECTION 9.20., 9.21., SUBSECTION 9.27.11. OR SECTION 9.28. (SEE A-9.10.14.5.(1) IN APPENDIX A).
B) THE CLADDING SHALL
i) CONFORM TO SUBSECTION 9.27.6., 9.27.7., 9.27.8., 9.27.9., OR 9.27.10.,
ii) BE INSTALLED WITHOUT FURRING MEMBERS, OR ON FURRING NOT MORE THAN 25mm THICK, OVER GYPSUM SHEATHING AT LEAST 12.7mm THICK OR OVER MASONRY, AND
iii) AFTER CONDITIONING IN CONFORMANCE WITH ASTM D 2898, "ACCELERATED WEATHERING OF FIRE RETARDANT WOOD FOR FIRE TESTING," HAVE A FLAME-SPREAD RATING NOT GREATER THAN 25 WHEN TESTED IN ACCORDANCE WITH SENTENCE 3.1.12.(2)
C) THE CLADDING SHALL
i) CONFORM TO SUBSECTION 9.27.12.,
ii) BE INSTALLED WITH OR WITHOUT FURRING MEMBERS OVER GYPSUM SHEATHING AT LEAST 12.7mm THICK OR OVER MASONRY,
iii) HAVE A FLAME-SPREAD RATING NOT GREATER THAN 25 WHEN TESTED IN ACCORDANCE WITH SENTENCE 3.1.12.(2)
iv) NOT EXCEED 2mm IN THICKNESS EXCLUSIVE OF FASTENERS, JOINTS AND LOCAL REINFORCEMENTS, OR
D) THE WALL ASSEMBLY SHALL COMPLY WITH SENTENCE 3.1.5.5.(3) AND (4) WHEN TESTED IN CONFORMANCE WITH CAN/ULC-S134, "FIRE TEST OF EXTERIOR WALL ASSEMBLIES."

7) WHERE COMBUSTIBLE PROJECTIONS ON AN EXPOSING BUILDING FACE ARE PERMITTED BY SENTENCE (6), ARE TOTALLY ENCLOSED AND CONSTRUCTED WITH SOLID FACES, SUCH AS FOR FIREPLACES AND CHIMNEYS, AND EXTEND WITHIN 1.2m OF A PROPERTY LINE,
A) THE CONSTRUCTION OF THE FACE AND SIDES OF THE PROJECTION SHALL COMPLY WITH THE CORRESPONDING REQUIREMENTS FOR EXPOSING BUILDING FACES FOR LIMITING DISTANCES LESS THAN 1.2m AS STATED IN SENTENCE (2) OR (3), AND
B) WHERE THE UNDERSIDE OF THE PROJECTION IS MORE THAN 0.6m ABOVE FINISHED GROUND LEVEL, IT SHALL BE PROTECTED BY
i) NOT LESS THAN 0.38mm THICK NONCOMBUSTIBLE MATERIAL,
ii) UNPAINTED ALUMINUM CONFORMING TO CAN/CSA-B-93.2-M, "PREFINISHED ALUMINUM SIDING, SOFFITS, AND FASCIA, FOR RESIDENTIAL USE,"
iii) NOT LESS THAN 12.7mm THICK GYPSUM SOFFIT BOARD OR GYPSUM CEILING BOARD INSTALLED ACCORDING TO CSA A82.31-M, "GYPSUM BOARD APPLICATION,"
iv) NOT LESS THAN 11mm THICK PLYWOOD,
v) NOT LESS THAN 12.5mm THICK OSB OR WAFERBOARD, OR
vi) NOT LESS THAN 11mm THICK LUMBER.
(SEE A-9.10.14.5.(8) IN APPENDIX A.)

10) WHERE ROOF SOFFITS PROJECT LESS THAN 1.2m FROM THE PROPERTY LINE, THE CENTRE LINE OF A LANE OR PUBLIC THOROUGHFARE OR AN IMAGINARY LINE BETWEEN TWO BUILDINGS OR FIRE COMPARTMENTS ON THE SAME PROPERTY, THEY SHALL
A) HAVE NO OPENINGS, AND
B) BE PROTECTED BY
i) NOT LESS THAN 0.38mm THICK SHEET STEEL,
ii) UNPAINTED ALUMINUM CONFORMING TO CAN/CSA-B-93.2-M, "PREFINISHED ALUMINUM SIDING, SOFFITS, AND FASCIA, FOR RESIDENTIAL USE,"
iii) NOT LESS THAN 12.7mm THICK GYPSUM SOFFIT BOARD OR GYPSUM CEILING BOARD INSTALLED ACCORDING TO CSA A82.31-M, "GYPSUM BOARD APPLICATION,"
iv) NOT LESS THAN 11mm THICK PLYWOOD,
v) NOT LESS THAN 12.5mm THICK OSB OR WAFERBOARD, OR
vi) NOT LESS THAN 11mm THICK LUMBER.
(SEE A-9.10.14.5.(12) IN APPENDIX A.)

RS-4 ZONING FAR CALCULATIONS		
	PERMITTED	PROPOSED
LOT AREA	6898.50 FT. (=0.50.)	
COVERED AREA	2159.0 FT.	2349.50 FT.
FLOOR AREA RATIO	4135.50 FT.	4097.50 FT.
2 FLOOR FAR	2778.50 FT.	2776.50 FT.
MAIN FLOOR AREA	N/A	601.50 FT.
UPPER FLOOR AREA	N/A	1175.50 FT.
FINISHED BASEMENT AREA	1357.50 FT.	1321.50 FT.
GARAGE AREA	452.50 FT.	440.50 FT.
FRONT YARD SETBACK	24'7.2" MIN.	25'-7"
RIGHT SIDE SETBACK	4'10.2" MIN.	9'6.2"
LEFT SIDE SETBACK	4'10.2" MIN.	9'2.3"
REAR YARD SETBACK	25'6" MIN.	32'17"
DECK AREA CALCULATION		
FRONT COVERED VERANDA AREA	35.50 FT. MAX.	55.50 FT.
ALL OTHER COVERED DECKS	331.50 FT. MAX.	315.50 FT.

RECEIVED
DEC 18 2014
BUILDING DEPARTMENT

NOTES:

1. WRITTEN DIMENSION SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.
2. CONTRACTOR SHALL VERIFY ALL ON SITE CONDITIONS PRIOR TO COMMENCEMENT OF THE WORK.
3. ALL WORK SHALL CONFORM TO THE REQUIREMENT OF THE BRITISH COLUMBIA BUILDING CODE 2012 EDITION.
4. ALL CONCRETE WORK SHALL CONFORM TO THE REQUIREMENT OF C.S.A. A23.1 LATEST EDITION
5. CONCRETE STRENGTH AT 28 DAYS, MINIMUM 3,000 PSI.
6. ALL FRAMING AND NAILING SHALL CONFORM TO B.C. BUILDING CODE PART 9 AND DESIGN TO CSA LATEST EDITION.
7. ALL FRAMING LUMBER SHALL BE DOUGLAS FIR #2 OR BETTER.
8. WOOD TRUSSES SHALL BE DESIGN AND SEALED BY P.ENG. REGISTERED IN B.C.
9. ALL PLYWOOD SHALL BE DOUGLAS FIR CONFORM TO CSA 0121 LATEST EDITION.
10. OWNER IS TO BE ENTIRELY RESPONSIBLE FOR ALL STRUCTURAL ENGINEERING REQUIREMENTS.
11. ALL DIMENSIONS ARE TO BE CHECKED ON SITE BEFORE WORK COMMENCES

THESE PLANS CONFORM TO REQUIREMENTS IN THE B.C. BUILDING CODE 2

REVISION SCHEDULE

REV #	DATE	CHANGES MADE
1		
2		
3		
4		
5		

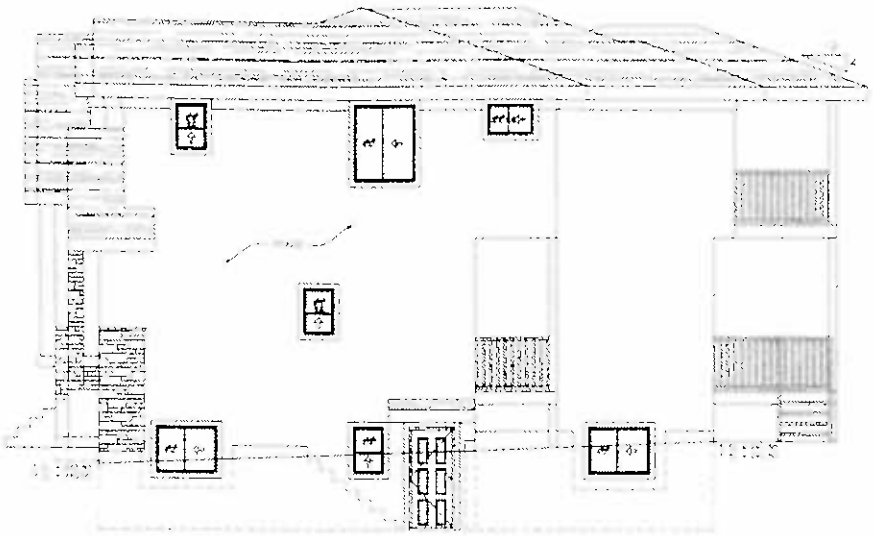
TOORA HOME PLANS
TEL: (604) 951-4343
FAX: (604) 951-4373
EMAIL: rajtoora@gmail.com
ADDRESS: 12868 - 107th AVE
SURREY, B.C. V3T 2E

PROPOSED SINGLE FAMILY DWELLING FOR
5469 - FORGLEN DRIVE
BURNABY, B.C.

PROJECT: FOR BUILDING PERMIT ONLY

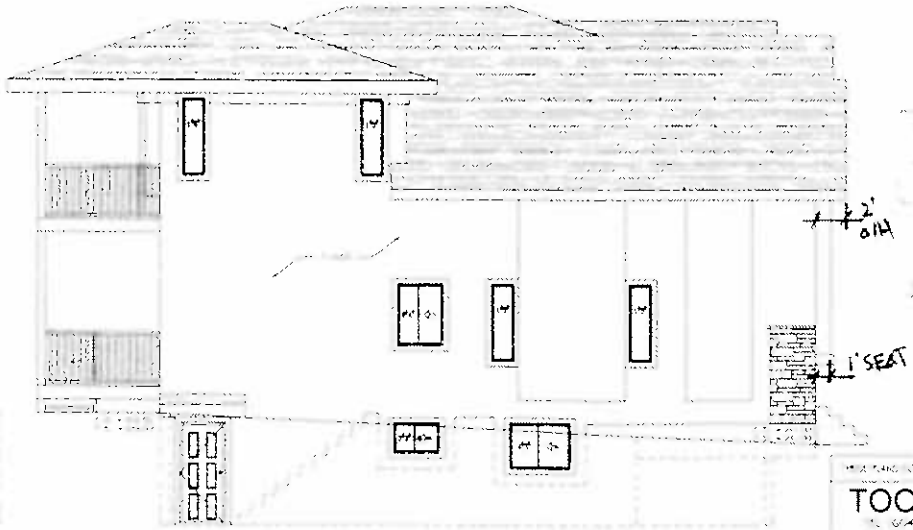
TITLE: SITE/SECTION PLAN
SCALE: AS NOTED DRAWN BY: RAJ TOORA

FRONT ELEVATION



RIGHT ELEVATION

REAR ELEVATION

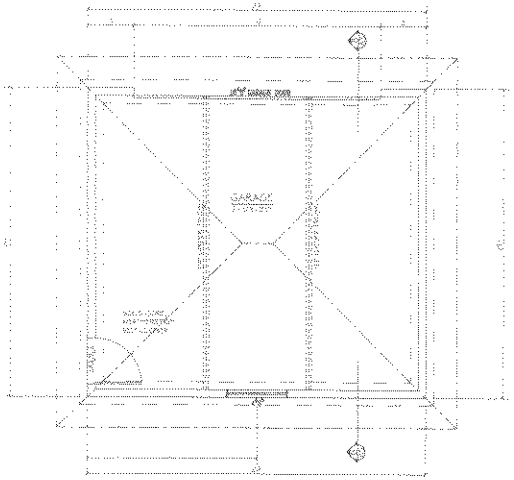


LEFT ELEVATION

TOORA HOME PLANS

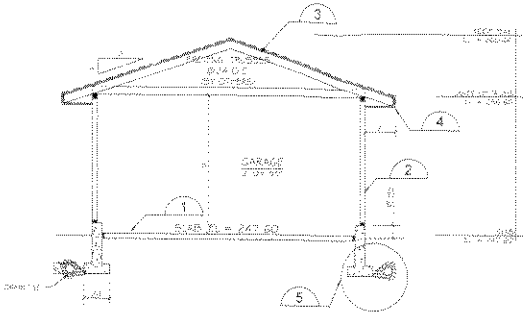
PROPOSED SINGLE FAMILY DWELLING FOR
BURNABY, B.C.

4.(b)

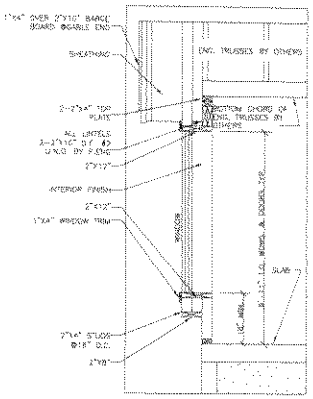


DETACHED GARAGE
SCALE: 1/4"=1'

GARAGE FLOOR AREA = 240 SQ. FT



SECTION B-B
SCALE: 1/4"=1'



WINDOW SEAT
SECTION
SCALE: 1/2"=1'

CONSTRUCTION SPECIFICATIONS

1. GARAGE SLAB

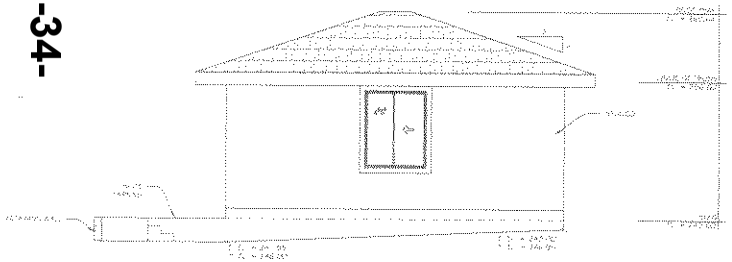
2. EXTERIOR WALLS

3. TRUSS ROOF

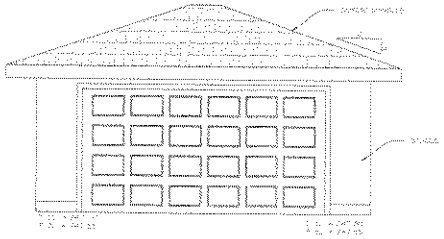
4. EAVES

5. ATTIC VENTILATION

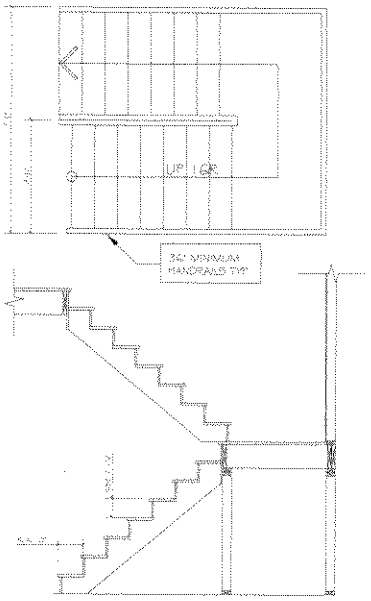
6. FOUNDATION



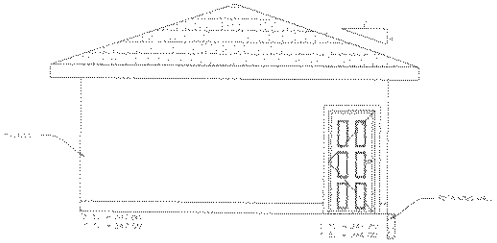
FRONT ELEVATION
SCALE: 1/4"=1'



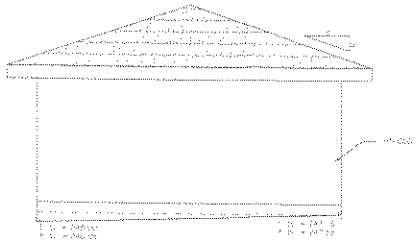
REAR ELEVATION
SCALE: 1/4"=1'



STAIR DETAIL
SCALE: 1/2"=1'



LEFT ELEVATION



RIGHT ELEVATION

THESE PLANS CONFORM TO REQUIREMENTS IN THE B.C. BUILDING CODE 2012

TOORA HOME PLANS

12968 – 107 AVENUE TEL. (604) 951-4343
SURREY, B.C. V3T 2E9 FAX. (604) 951-4373

PROPOSED SINGLE FAMILY DWELLING FOR
5469 - FORGLEN DRIVE
BURNABY, B.C.

PROJECT: A

TITLE: GARAGE PLAN/SECTION/ELEVATION/DETAILS

BRITISH COLUMBIA LAND SURVEYOR'S SITE SURVEY PLAN OF
LOT 9 DISTRICT LOT 32 GROUP 1 N.W.D. PLAN 17168

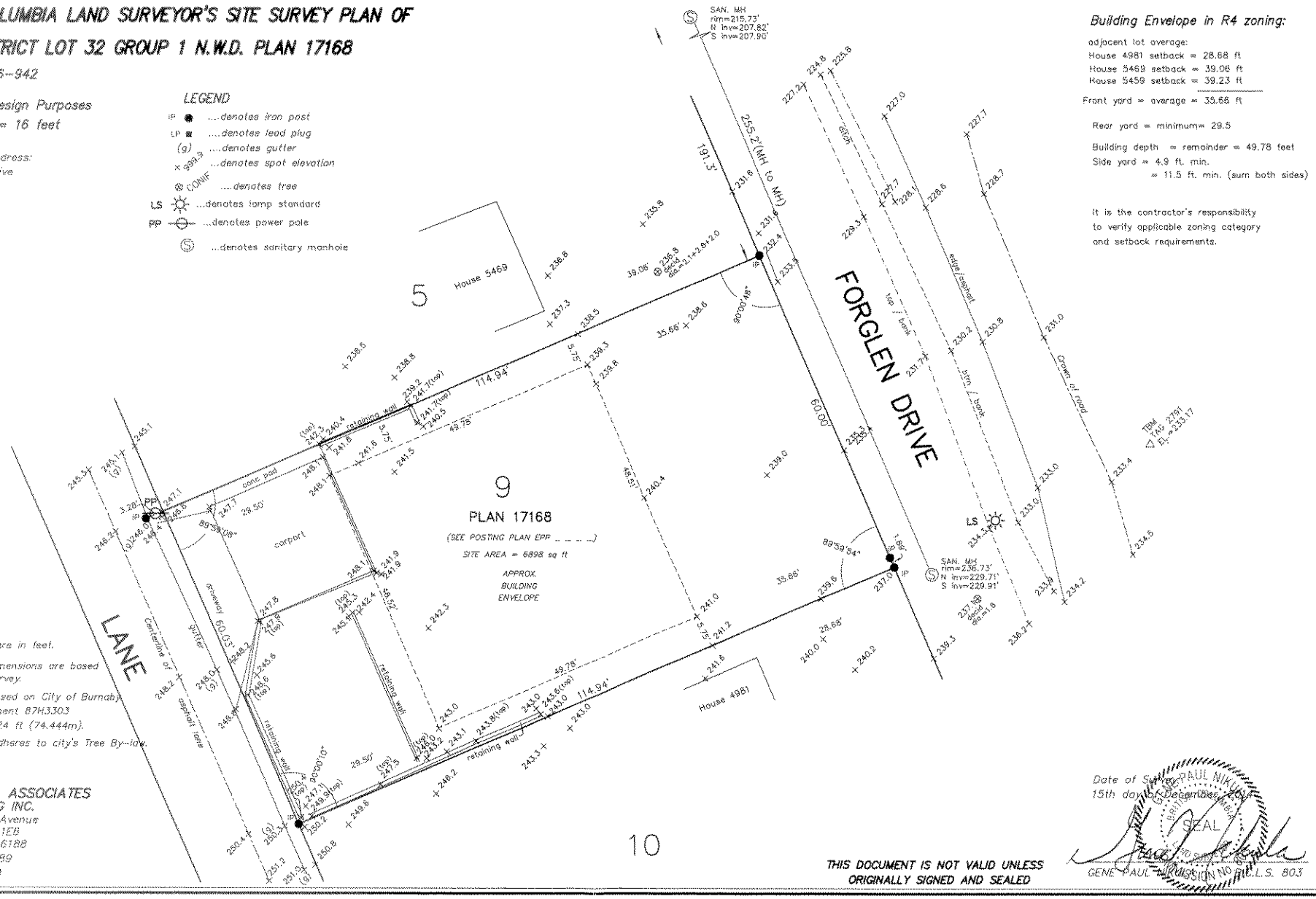
P.I.D. 010-286-942

For Building Design Purposes
Scale: 1 inch = 16 feet

Current Civic Address:
5469 Forglen Drive
Burnaby, B.C.

LEGEND

- IP ...denotes iron post
- LP ...denotes lead plug
- (g) ...denotes gutter
- x 999.9 ...denotes spot elevation
- CONIF ...denotes tree
- LS ...denotes lamp standard
- PP ...denotes power pole
- Ⓢ ...denotes sanitary manhole



Building Envelope in R4 zoning:

adjacent lot average:
House 4981 setback = 28.68 ft
House 5469 setback = 39.06 ft
House 5459 setback = 39.23 ft

Front yard = average = 33.66 ft

Rear yard = minimum= 29.5

Building depth = remainder = 49.78 feet
Side yard = 4.9 ft. min.
= 11.5 ft. min. (sum both sides)

It is the contractor's responsibility to verify applicable zoning category and setback requirements.

Notes:
- All dimensions are in feet.
- Property line dimensions are based on legal field survey.
- Elevations are based on City of Burnaby integrated monument 87H3303 elevation = 244.24 ft (74.444m).
- This Site Plan adheres to city's Tree By-law.

DHALIWAL AND ASSOCIATES
LAND SURVEYING INC.
216-12899 76th Avenue
Surrey, B.C. V3W 1E6
Phone: 604 501-6188
Fax: 604 501-6189
File: 1408146-T01

Date of Survey: 15th day of December, 2014

SEAL

GENE PAUL NIKUSIN
BRITISH COLUMBIA
LAND SURVEYOR
PROVINCE OF BRITISH COLUMBIA
COMMISSION NO. B.C.L.S. 803

THIS DOCUMENT IS NOT VALID UNLESS ORIGINALLY SIGNED AND SEALED

4.(c)

Burnaby Board of Variance

OFFICE OF THE SECRETARY

BURNABY CITY HALL, 4949 CANADA WAY, BURNABY BC, V5G 1M2, PHONE 604-2947290
FAX 604-294-7537

APPEAL APPLICATION

PLEASE PRINT Date: 23 DEC 2014

Name of Applicant: NIRMAL TAKHAR

Mailing Address: 103-12889-84 AVE

City/Town: SURREY BC Postal Code: V3W0R5

Phone #s (H) (W) 604-889-1875

Send correspondence * Email: ~~Other~~ PHOENIXSTARHOMES@HOTMAIL.COM Fax

Signature of Applicant

The following required information pertains to the subject property upon which the appeal has been filed.

Name of Owner NIRMAL TAKHAR

Civic Address of Property 7060/7062 RAMSAY AVE

Legal Description of Property Lot ~~Lot~~ 12 Blk

District Lot 206 Plan 17311

Zoning of Property R5

OFFICE USE ONLY

Appeal Number BV# 6143 Date Appeal Received

Applicant Referred by: Building Planning License Other

Required Documents: (i) Hardship Letter from Applicant
(ii) Site Plan of Subject Property
(iii) Additional Plans

CITY OF BURNABY
DEC 23 2014
CLERK'S OFFICE

Date and Time Appeal will be heard: 2015 Feb 05 @ 1:15 pm

Date: December 17, 2012

Board of Variance
City of Burnaby
Burnaby, BC

Re: *7060 Ramsay Ave., Burnaby, BC.*

Re: Approval of Mininum Front Yard set Back.

Dear Sir/Madam

I am proposing to construct Two family dwelling including two car detached garage access from back lane at 7060 Ramsay Avenue under R-5 Zoning.

The minimum front yard of R-5 Zoning is 19.7' and the average front yard setback of south side next 2 neighbours 28.01'. I am proposing 20.0' as front yard setback which compiles the minimum front yard setback (19.7') for R-5 zoning.

As you know this property is located in front of a cul-de-sac of Ramsay Avenue and the south next two neighbours do not located in front a cul-de-sac area. I am proposing 20.0' set back from center of a cul-de sac but 34.72' from non cul-de-sac line and from the same level the next two neighbours front yard average set back is 28.01'.

Under the above circumstances, I am requesting to allow minimum front yard setback 20'.

Yours faithfully

Nirmal Takhar
Phonix Homes
Phone: 778 889 1875

City of Burnaby

BOARD OF VARIANCE REFERRAL LETTER

DATE: December 16, 2014	**DEADLINE: January 13, 2015 for the February 5, 2015 hearing**	*This is **not** an application. Please take letter to Board of Variance. (Clerk's office - Ground Floor)*
NAME OF APPLICANT: Nirmal Takhar		
ADDRESS OF APPLICANT: 103-12889 8th Ave, Surrey B.C. V3K 0K5		
TELEPHONE: 604.889.1875		

PROJECT			
DESCRIPTION: New Two Family Dwelling			
ADDRESS: 7060/7062 Ramsay Avenue			
LEGAL:	**LOT: 115**	**DL: 30**	**PLAN: 64617**

The above mentioned application, which includes the attached plan of the proposal, has been refused by the Building Department on the basis of contravention of:

Zone/Section(s) R5 [105.9]
of the Burnaby Zoning Bylaw No. 4742

COMMENTS:
The applicant is proposing to build a new two family dwelling. The following relaxation is being requested.

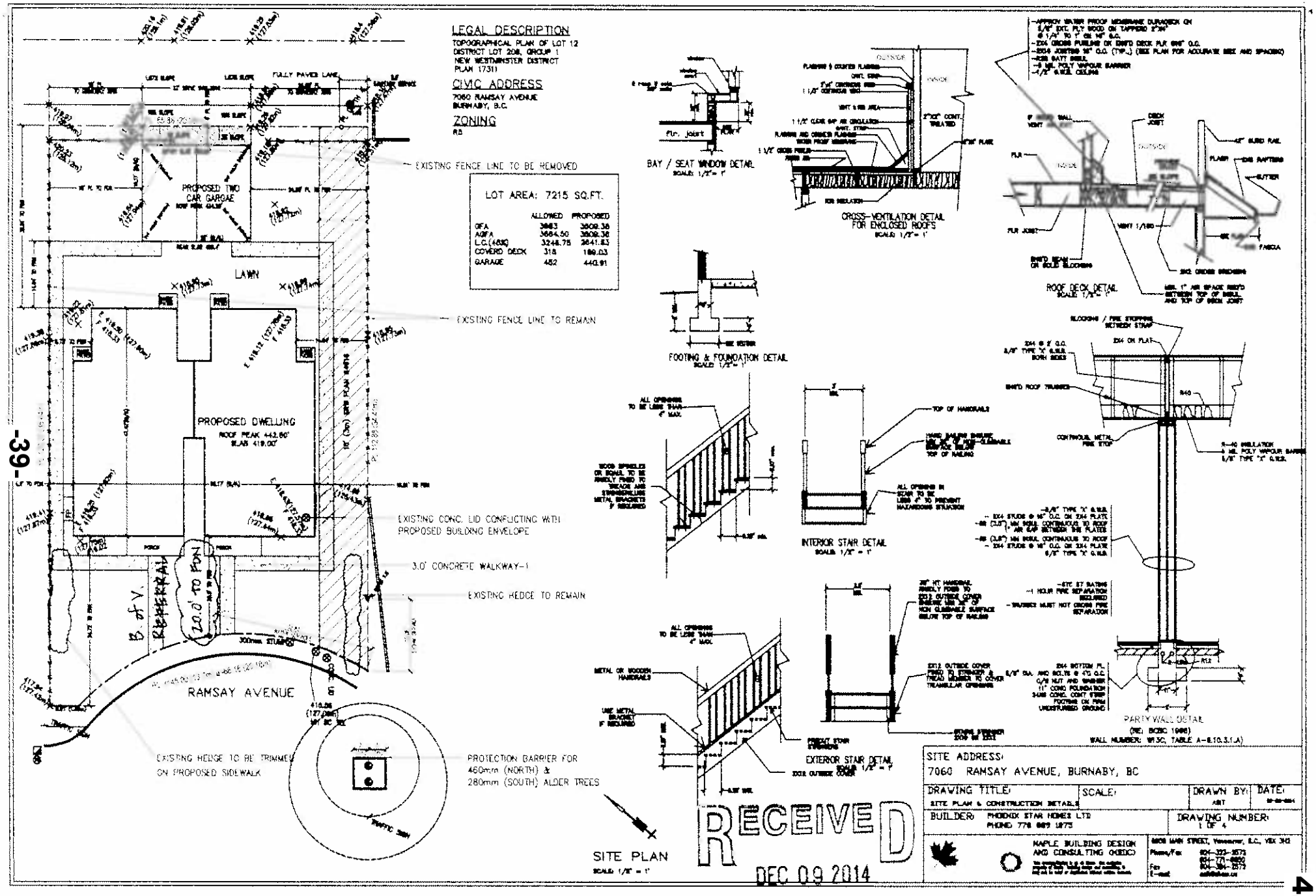
1) The front yard setback will be 20.00 feet to the foundation where a minimum front yard setback of 28.02 feet is required based on front yard averaging. The roof overhang will be 2.95 feet beyond the foundation.

Note: The applicant recognizes that should the project contain additional characteristics in contravention of the zoning by-law a future appeal(s) may be required.

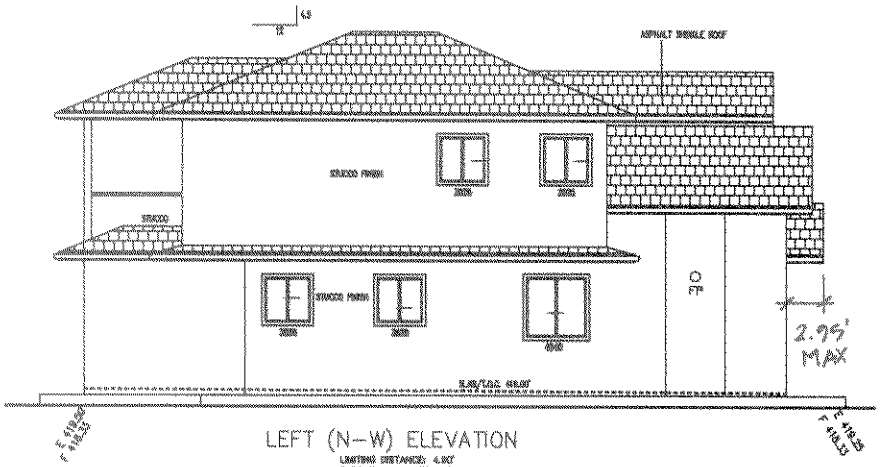
DS

Peter Kushnir
Assistant Chief Building Inspector, Permits and Customer Service

4949 Canada Way, Burnaby, BC V5G 1M2 • Telephone 604-294-7130 Fax 604-294-7986 • www.burnaby.ca

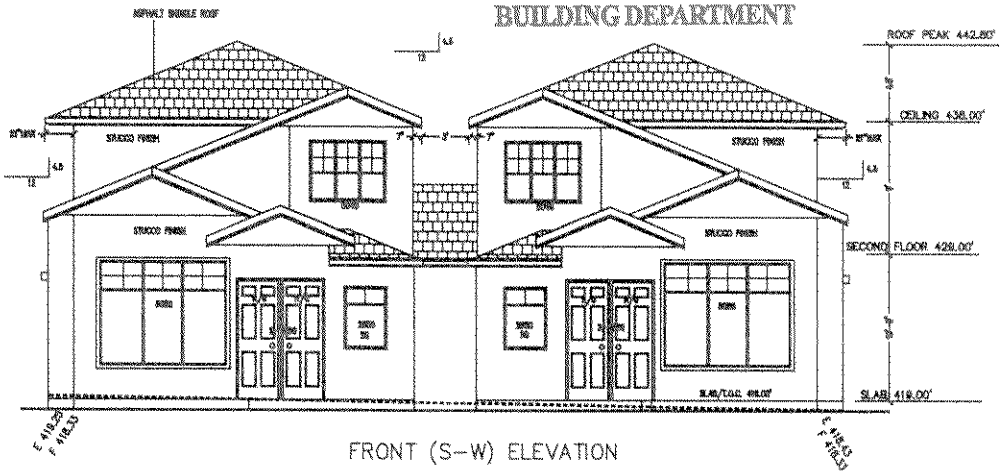

LEGAL DESCRIPTION
TOPOGRAPHICAL PLAN OF LOT 12
DISTRICT LOT 208, GROUP 1
NEW WESTMINSTER DISTRICT
PLAN 17311
CIVIC ADDRESS
7060 RAMSAY AVENUE
BURNABY, B.C.
ZONING
R5
LOT AREA: 7215 SQ.FT.
ALLOWED PROPOSED
GFA 3613 3609.38
AGFA 3684.50 3609.38
L.C.(463Q) 3248.75 3641.83
COVERD DECK 318 189.03
GARAGE 452 440.91
EXISTING FENCE LINE TO BE REMOVED
EXISTING FENCE LINE TO REMAIN
PROPOSED TWO CAR GARGAE
LAWN
PROPOSED DWELLING
ROOF PEAK 443.60'
SLAB 419.00'
EXISTING CONC. LID CONFLICTING WITH PROPOSED BUILDING ENVELOPE
3.0' CONCRETE WALKWAY-1
EXISTING HEDGE TO REMAIN
RAMSAY AVENUE
EXISTING HEDGE TO BE TRIMMED ON PROPOSED SIDEWALK
PROTECTION BARRIER FOR 460mm (NORTH) & 280mm (SOUTH) ALDER TREES
SITE PLAN
SCALE: 1/8" = 1'
BAY / SEAT WINDOW DETAIL
SCALE: 1/2" = 1'
CROSS-VENTILATION DETAIL FOR ENCLOSED ROOFS
SCALE: 1/2" = 1'
ROOF DECK DETAIL
SCALE: 1/2" = 1'
FOOTING & FOUNDATION DETAIL
SCALE: 1/2" = 1'
INTERIOR STAIR DETAIL
SCALE: 1/2" = 1'
EXTERIOR STAIR DETAIL
SCALE: 1/2" = 1'
PARTY WALL DETAIL
(RE: BCBC 1996)
WALL NUMBER: W53C, TABLE A-9.10.3.1.A
SITE ADDRESS:
7060 RAMSAY AVENUE, BURNABY, BC
DRAWING TITLE:
SITE PLAN & CONSTRUCTION DETAILS
SCALE:
DRAWN BY:
DATE:
BUILDER: PHOENIX STAR HOMES LTD
DRAWING NUMBER:
1 OF 4
MAPLE BUILDING DESIGN AND CONSULTING (MBDC)
RECEIVED
DEC 09 2014
BUILDING DEPARTMENT

4.(c)

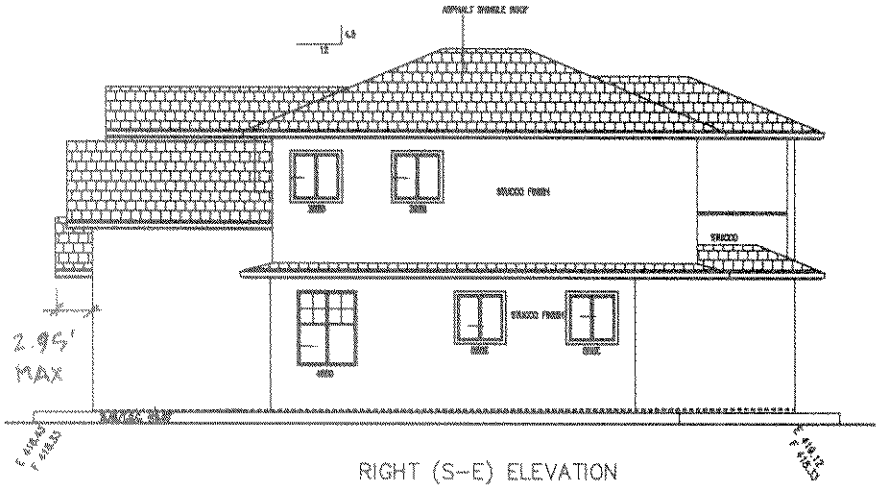


LEFT (N-W) ELEVATION

LIMITING DISTANCE: 4.90'
EXPOSED WALL AREA: 721.03 SFT
PERMITTED UNPROTECTED OPENING @ 7.45% = 53.73 SF
PROPOSED OPENING: 50 SF

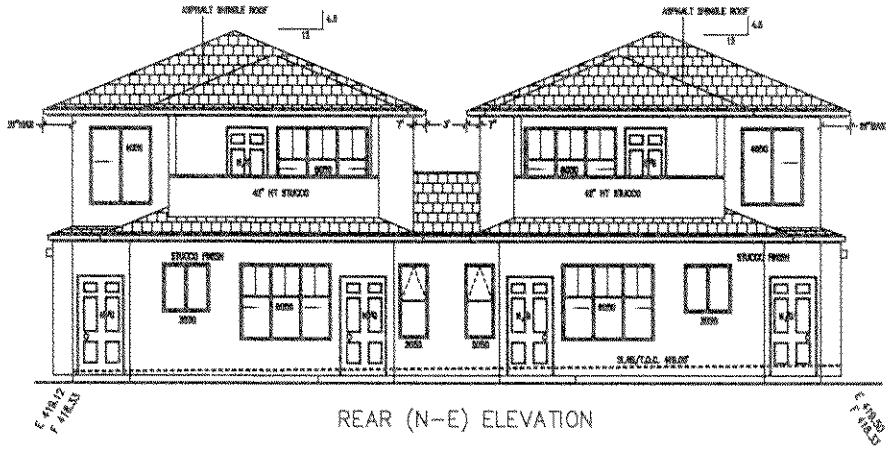


FRONT (S-W) ELEVATION



RIGHT (S-E) ELEVATION

LIMITING DISTANCE: 10.81'
EXPOSED WALL AREA: 721.03 SFT
PERMITTED UNPROTECTED OPENING @ 16.86% = 122.37 SF
PROPOSED OPENING: 50 SF



REAR (N-E) ELEVATION

SITE ADDRESS:
7060 RAMSAY AVENUE, BURNABY, BC

DRAWING TITLE:	SCALE:	DRAWN BY:	DATE:
ELEVATIONS	1/4"=1'-0"	ART	09-05-2014

BUILDER: PHOENIX STAR HOMES LTD
PHONE: 778 889 1875

DRAWING NUMBER: 4 OF 4

MAPLE BUILDING DESIGN AND CONSULTING (MBDC)
8806 MAIN STREET, Vancouver, B.C., V5X 3H2
Phone/Fax: 604-323-2572
604-771-6630
Fax: 604-324-2572
E-mail: art@shaw.ca

SKETCH PLAN OF TOPOGRAPHIC SURVEY OF LOT 115, DISTRICT LOT 30, GROUP 1, NEW WESTMINSTER DISTRICT, PLAN 64617

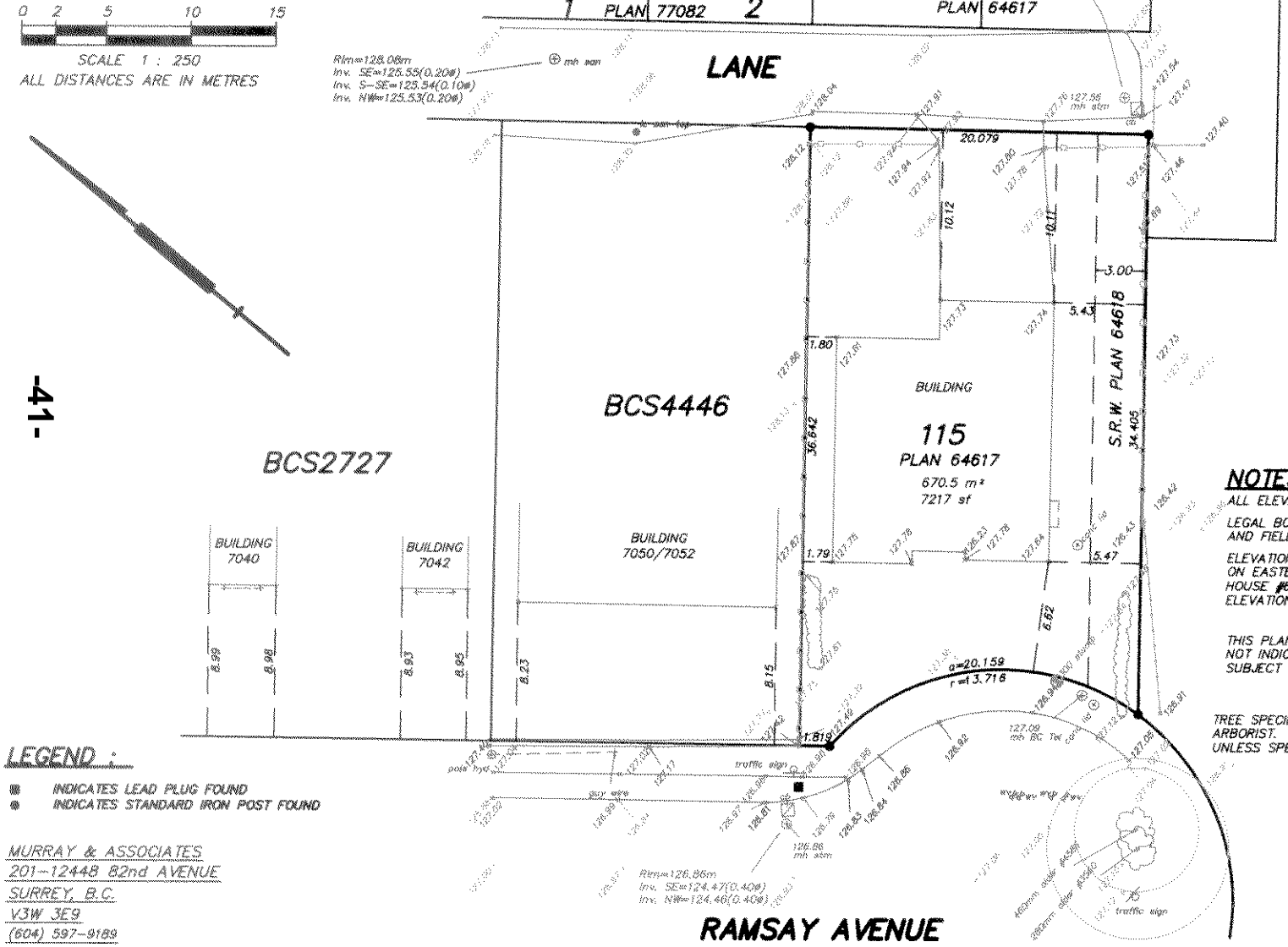
CIVIC ADDRESS 7060 RAMSAY AVENUE, BURNABY, BC

PARCEL IDENTIFIER 003-237-109

0 2 5 10 15

SCALE 1 : 250

ALL DISTANCES ARE IN METRES



ADJACENT HOUSE	FRONT YARD
7040/7042 RAMSAY AVENUE	8.93m
7050/7052 RAMSAY AVENUE	8.15m
AVERAGE	8.54m

REM 1
PLAN 82278

NOTES :

ALL ELEVATIONS AND DISTANCES SHOWN ARE IN METRES.

LEGAL BOUNDARIES ARE BASED ON LAND TITLE OFFICE RECORDS AND FIELD SURVEY

ELEVATIONS ARE DERIVED FROM OCM 449, LOCATED ON EASTERN SIDE OF CANADA WAY, JUST NORTHWESTERLY FROM HOUSE #6890
ELEVATION = 120.552 METRES, GEODETIC DATUM.

THIS PLAN SHOWS THE LOCATION OF VISIBLE FEATURES ONLY, AND DOES NOT INDICATE BURIED SERVICES THAT MAY EXIST ON OR AROUND THE SUBJECT SITE

TREE SPECIES AND DIMENSIONS TO BE CONFIRMED BY A QUALIFIED ARBORIST. TREE SYMBOLS ARE NOT AN INDICATION OF DRIP LINE LOCATION UNLESS SPECIFICALLY LABELLED.

LEGEND :

- INDICATES LEAD PLUG FOUND
- INDICATES STANDARD IRON POST FOUND

MURRAY & ASSOCIATES
201-12448 82nd AVENUE
SURREY, B.C.
V3W 3E9
(604) 597-9189

CERTIFIED CORRECT ACCORDING TO SURVEY.
DATED THIS 24th DAY OF SEPTEMBER , 2014.

B. C. L. S.

FILE 10068-TOPO

4.(e)

Burnaby Board of Variance

OFFICE OF THE SECRETARY

BURNABY CITY HALL, 4949 CANADA WAY, BURNABY BC, V5G 1M2, PHONE 604-2947290
FAX 604-294-7537

APPEAL APPLICATION

PLEASE PRINT Date: JAN 13th, 2015.

Name of Applicant: VISHAL DHAMI - VICTORREC PREMIUM HOMES.

Mailing Address: 15 E. 3RD AVE.

City/Town: VANCOUVER. Postal Code: V5T 1C5.

Phone #s (H) 604-677-0021. (W)

Please send planning comments

Email: ~~Other~~ VDHAMI@VICTORREC.COM Fax VDHAMI@

Signature of Applicant

The following required information pertains to the subject property upon which the appeal has been filed.

Name of Owner * SAMANTHA WONG + ASHWANI PAUL

Civic Address of Property 4718 CAMBRIDGE ST BBY

Legal Description of Property Lot G Blk

District Lot 188 Plan 15872.

Zoning of Property R5.

OFFICE USE ONLY

Appeal Number BV# 6145. Date Appeal Received

Applicant Referred by: Building Planning License Other

Required Documents: (i) Hardship Letter from Applicant
(ii) Site Plan of Subject Property
(iii) Additional Plans

CITY OF BURNABY
JAN 13 2014
CLERK'S OFFICE

Date and Time Appeal will be heard: 2015 Feb 05 @ 1:30 pm

* WONG MAILING ADDRESS
3690 FROME RD, NORTH VAN V7K 2E7

VICTORERIC PREMIUM HOMES

January 12th, 2015

To whom it may concern,

We are writing this letter on behalf of the clients at 4718 Cambridge St. (previously 4714 Cambridge St.) requesting a relaxation on the visibility clearances on the NW corner of the property (please refer to BP Site Plan).

We would like to propose 3' high fence on the existing NW retaining wall, as the clients have a 2 year old daughter and two sons on the way, and are very concerned with safety and security. Please consider that this fencing will not obstruct visibility of traffic from Cambridge St. nor the Lane, see photos attached.

Kind Regards,

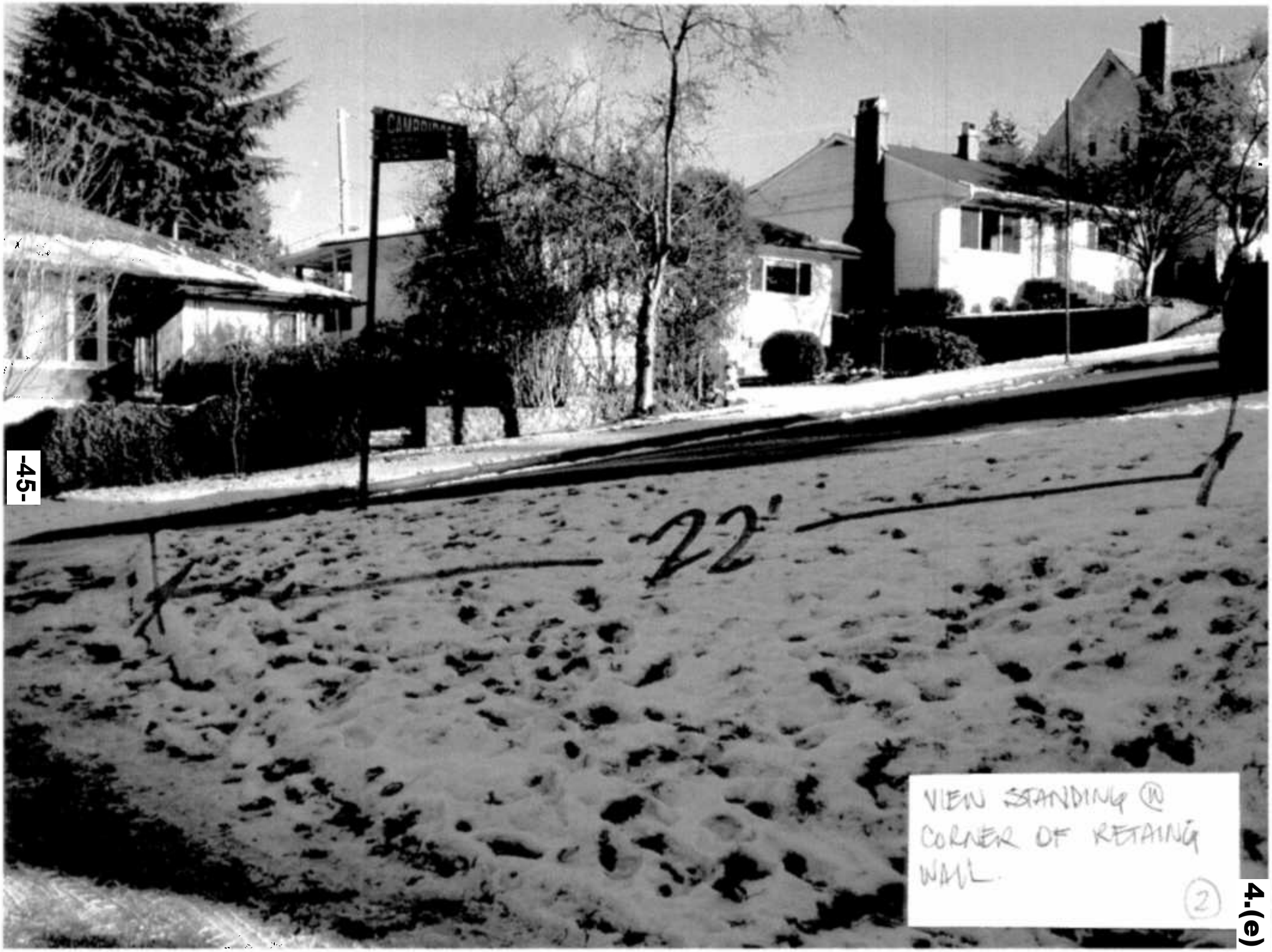
Jenna Asuncion
Project Coordinator
Victoreric Premium Homes

T. 604. 677. 0021
F. 604. 677. 0178
www.victoreric.com

15 E 3rd Avenue
Vancouver BC
V 5 T . 1 C 5

VIEW DRIVING NORTH ON CAMBRIDGE ST.

(1)



4.(e)


30
LOOKING SOUTH
ON CAMBRIDGE
STANDING BEYOND
RETAINING WALL (3)

VIEW OF CORNER IN REVIEW.

(4)

4.(e)

City of Burnaby

BOARD OF VARIANCE REFERRAL LETTER

DATE: January 6, 2015	**DEADLINE: January 13, 2015 for the February 5, 2015 hearing**	*This is **not** an application. Please take letter to Board of Variance. (Clerk's office - Ground Floor)*
NAME OF APPLICANT: Vishal Dhami		
ADDRESS OF APPLICANT: 15 E.3rd Ave., Vancouver V5T 1C5		
TELEPHONE: 604.767.5583		

PROJECT			
DESCRIPTION: Structure for new single family dwelling under construction.			
ADDRESS: 4718 Cambridge St.			
LEGAL:	**LOT: G**	**DL: 188**	**PLAN: 15872**

The above mentioned application, which includes the attached plan of the proposal, has been refused by the Building Department on the basis of contravention of:

Zone/Section(s) R5 [6.13(1)(b); 6.14(5)(a)]
of the Burnaby Zoning Bylaw No. 4742

COMMENTS:

The applicant is building a new single family dwelling. The following relaxations are being requested.

1) The relaxation of 6.13(1)(b) of the Zoning By-Law which, if permitted, will allow a structure along the vision clearance line facing Cambridge Street with varying heights up to a maximum of 6.3 feet and will allow a structure along the vision clearance line facing the lane with varying heights up to a maximum of 6.59 feet where the maximum permitted height along the vision clearance lines is 3.28 feet.

2) The relaxation of 6.14(5)(a) of the Zoning By-Law which, if permitted, will allow a retaining wall in the required front yard with varying heights up to a maximum of 3.59 feet where the maximum permitted height is 3.28 feet.

Note: The applicant recognizes that should the project contain additional characteristics in contravention of the zoning by-law a future appeal(s) may be required.

BHS

for Peter Kushnir
Assistant Chief Building Inspector, Permits and Customer Service

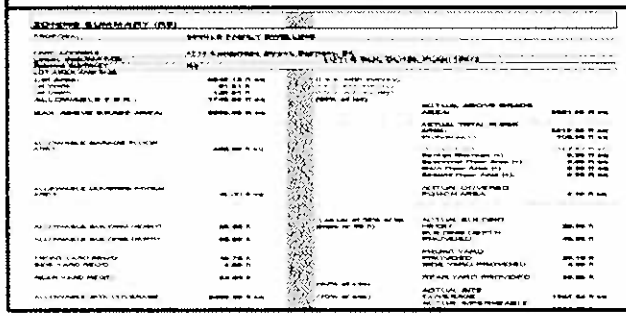
4949 Canada Way, Burnaby, BC V5G 1M2 • Telephone 604-294-7130 Fax 604-294-7986 • www.burnaby.ca

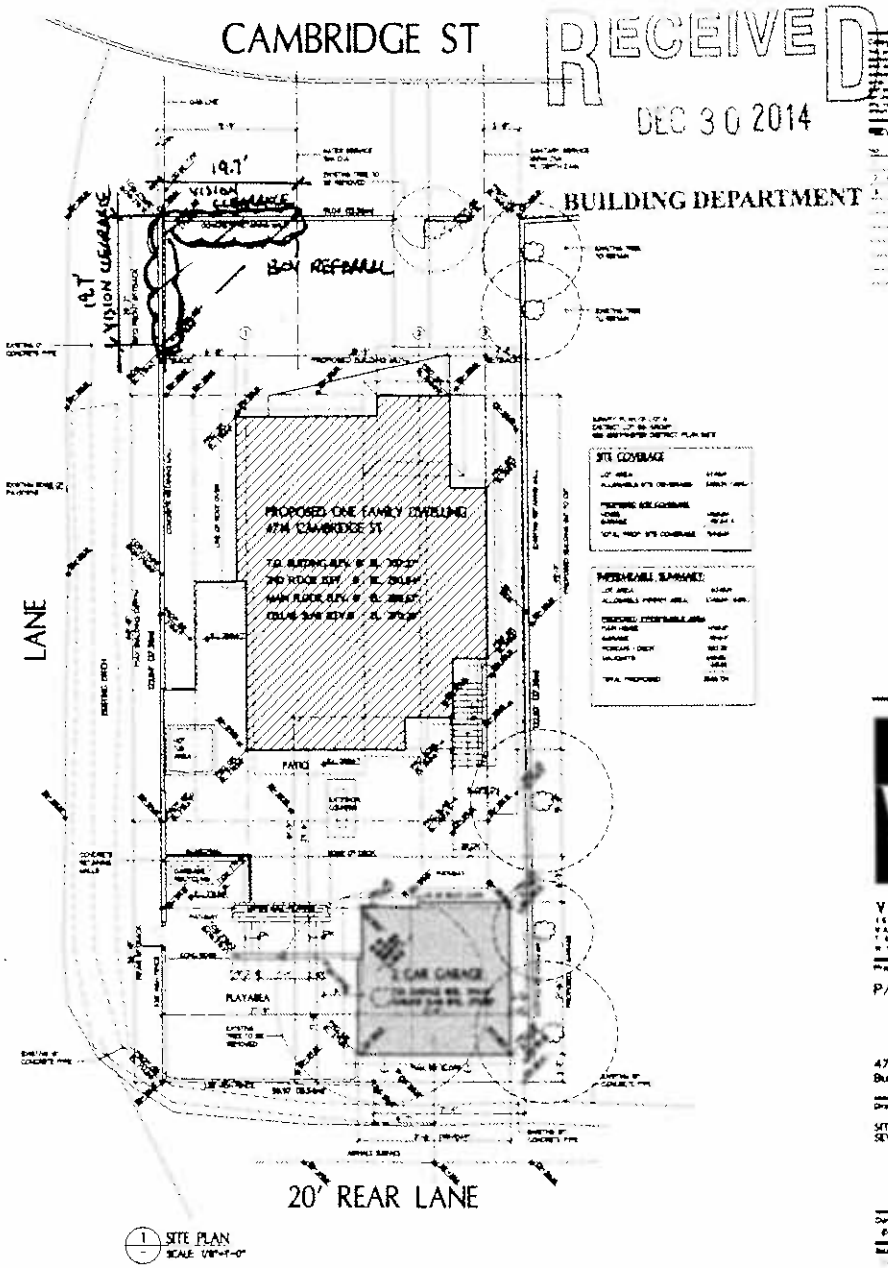
PROJECT CONTACTS:

OWNER	DESIGNER :	SURVEYOR :	STRUCTURAL ENG :	GENERAL CONTRACTOR :
CHRIS PAUL 7415 INVERNESS ST. VANCOUVER,BC V5X4G9	Victoreric Design Group Contact: Robert Billard 15 E 3rd AVE. VANCOUVER, B.C. V5T 1C5 TEL: 604.677.0021 FAX: 604.677.0178	Louis Ngan Land Surveying Contact: Ivan Ngan 4938 Victoria Drive VANCOUVER, B.C. V5P 3T6 TEL: 604.327.1535	Antony Wang 65204Dorman St. VANCOUVER, B.C. TEL: 604.818.6238	Victoreric Premium Homes Contact: Bruce VanHunenstijn 15 E 3rd AVE. VANCOUVER, B.C. V5T 1C5 TEL: 604.677.0021 FAX: 604.677.0178

CITY STAMPS:

PROJECT SUMMARY:





VICTORERIC
15 EAST 3RD AVENUE
VANCOUVER, BC V5T 1C5
T 604 677 0021 F 604 677 0178
WWW.VICTORERIC.COM

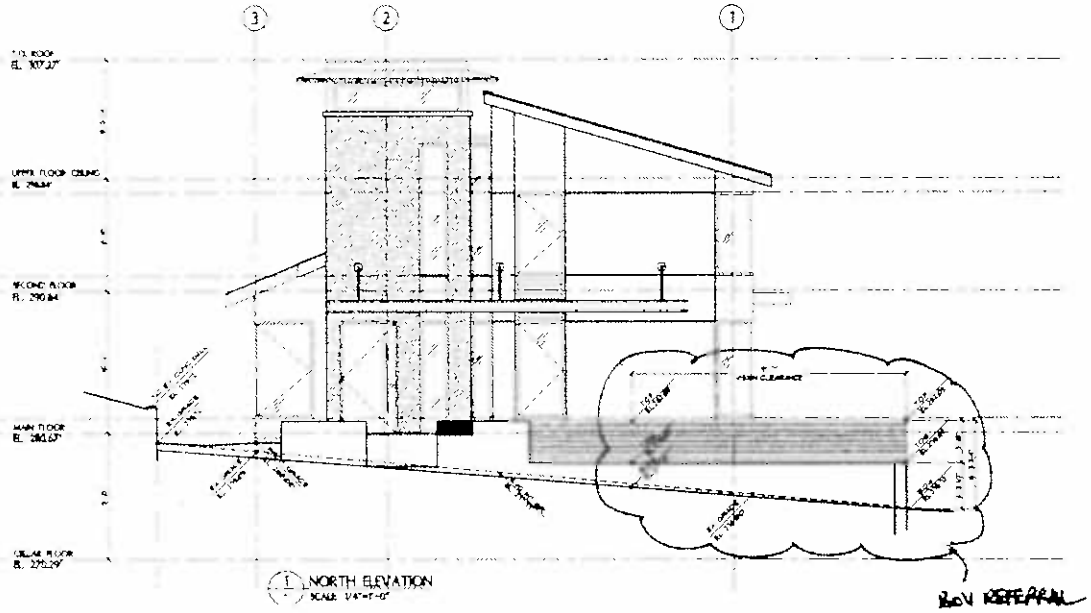
Project
PAUL RESIDENCE

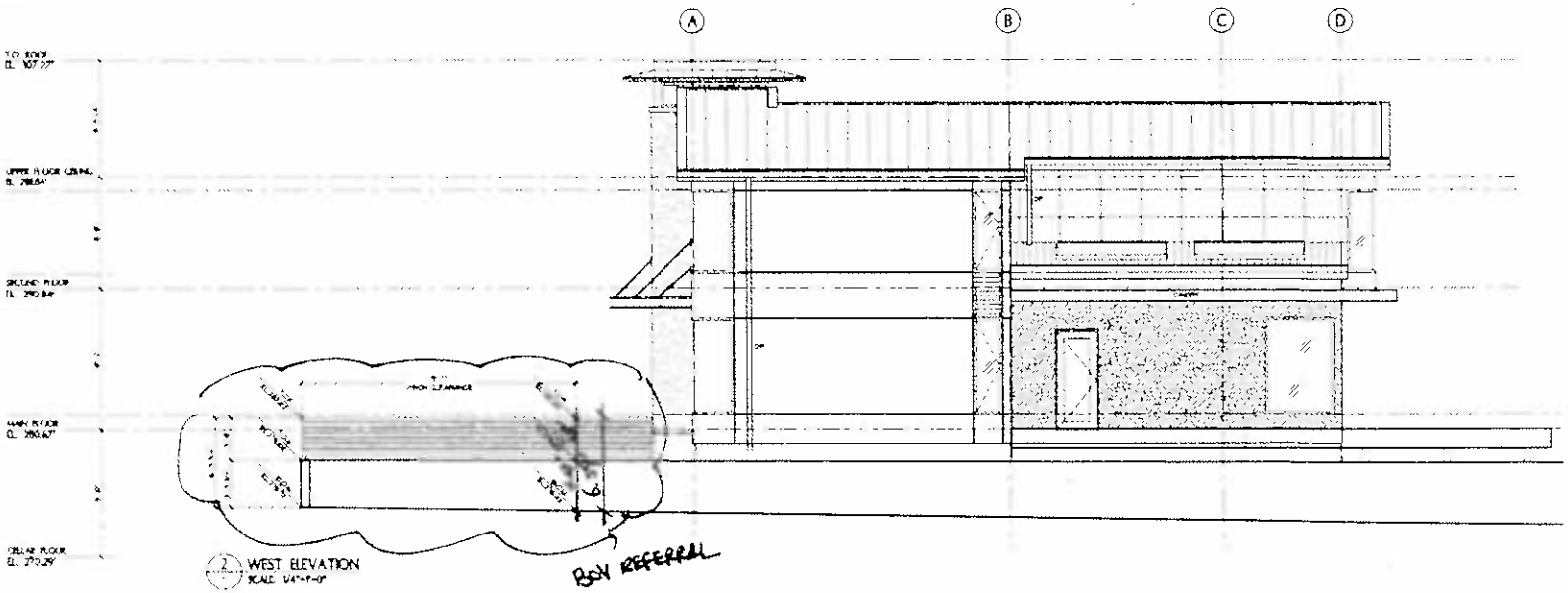
4714 CAMBRIDGE STREET
Burnaby, BC

Drawing Title
SITE PLAN
SEWER AND WATER INFO

Date
Project No
Scale
Drawing No
Drawn By
Approved By
A2
of
8

RECEIVED
DEC 30 2014
BUILDING DEPARTMENT





VICTORERIC
14 EAST 3RD AVENUE
VANCOUVER BC V5T 1G4
T 604.877.8822 F 604.877.8823
WWW.VICTORERIC.COM

Project:
PAUL RESIDENCE

4714 CAMBRIDGE STREET
Burnaby, BC

Drawing Title:
RETAINING WALL ELEVATIONS

Date: Project No.
Scale: Drawing No.
Drawn By:
Checked By:
Approved By:
A7b
of
8

PROJECT CONTACTS:

OWNER	DESIGNER	SURVEYOR	STRUCTURAL ENG.	GENERAL CONTRACTOR
CHRIS PAUL 7415 INVERNESS ST VANCOUVER,BC V5X4G9	Victoreric Design Group Contact: Robert Billard 15 E 3rd AVE VANCOUVER, B.C. V5T 1C5 TEL 604.677.0021 FAX 604.677.0178	Louis Ngan Land Surveying Contact: Ivan Ngan 4938 Victoria Drive VANCOUVER, B.C V5P 3T6 TEL 604.327.1535	Antony Wang 65204Doman St. VANCOUVER, B.C TEL 604.618.6236	Victoreric Premium Homes Contact: Bruce VanHunenstijn 15 E 3rd AVE. VANCOUVER, B.C. V5T 1C5 TEL. 604.677.0021 FAX: 604.677.0178

Antony Wang P. Eng.
6378 Doman Street
Vancouver B.C.
V5S 3H4
Tel: 604-418-6711
Cel: 604-618-6236
Fax: 604-418-6708

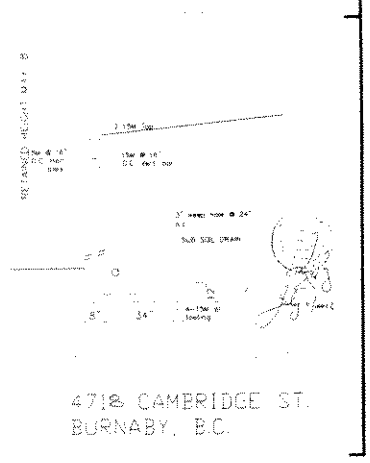
July 9, 2013

The Building Permit Department
City of Burnaby

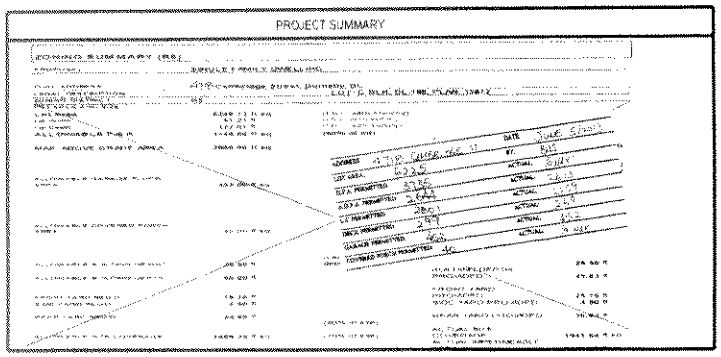
Proposed New Residence @ 4718 Cambridge Street, Burnaby, B.C.

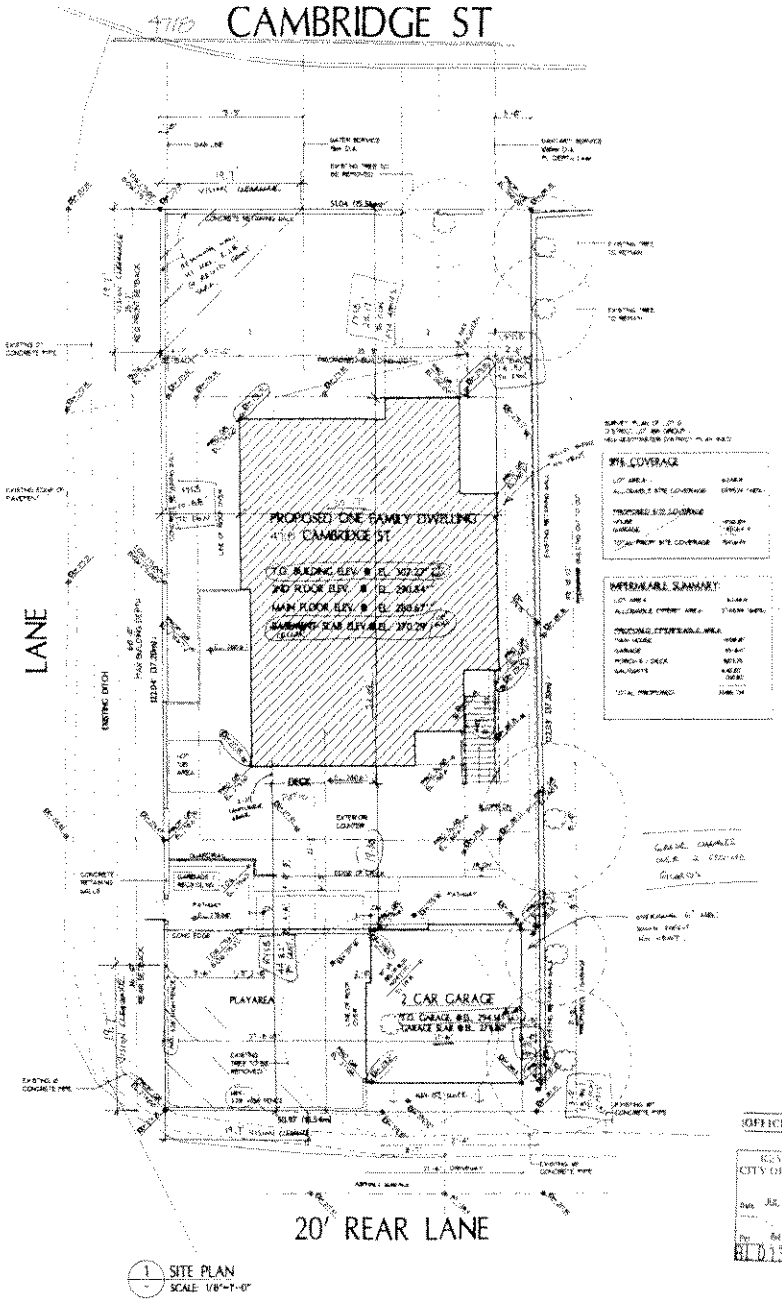
This is to confirm the structure has been designed with 1.5" light weight concrete topping on top of the Base sheathing.

A. Wang
P. Eng



PROJECT SUMMARY





1 SITE PLAN
SCALE 1/8"=1'-0"

VICTORERI
15 EAST 3RD AVENUE
VANCOUVER BC V5T 1C5
T 604.677.0021 F 604.677.0178
W WWW.VICTORERI.COM

Project
PAUL RESIDENCE

4718 CAMBRIDGE STREET
Burnaby, BC

Drawing Title
SITE PLAN
SEWER AND WATER INF.

Date
Project No.
Scale
Drawn
Drawn By
Approved By

4.(e)

4.(e)

GENERAL CONSTRUCTION NOTES :

[illegible]

BLD13-00456

PLEASE ENSURE THAT ALL CONSTRUCTION NOTES ARE REVIEWED PRIOR TO CONSTRUCTION & ALL ITEMS ARE EXECUTED. REPORT ANY DISCREPANCIES AND/OR QUESTIONS TO THE DESIGNER IMMEDIATELY

REVISIONS

No.	Date	Details
	[illegible]	ISSUED FOR BP

VICTORERI

Project:

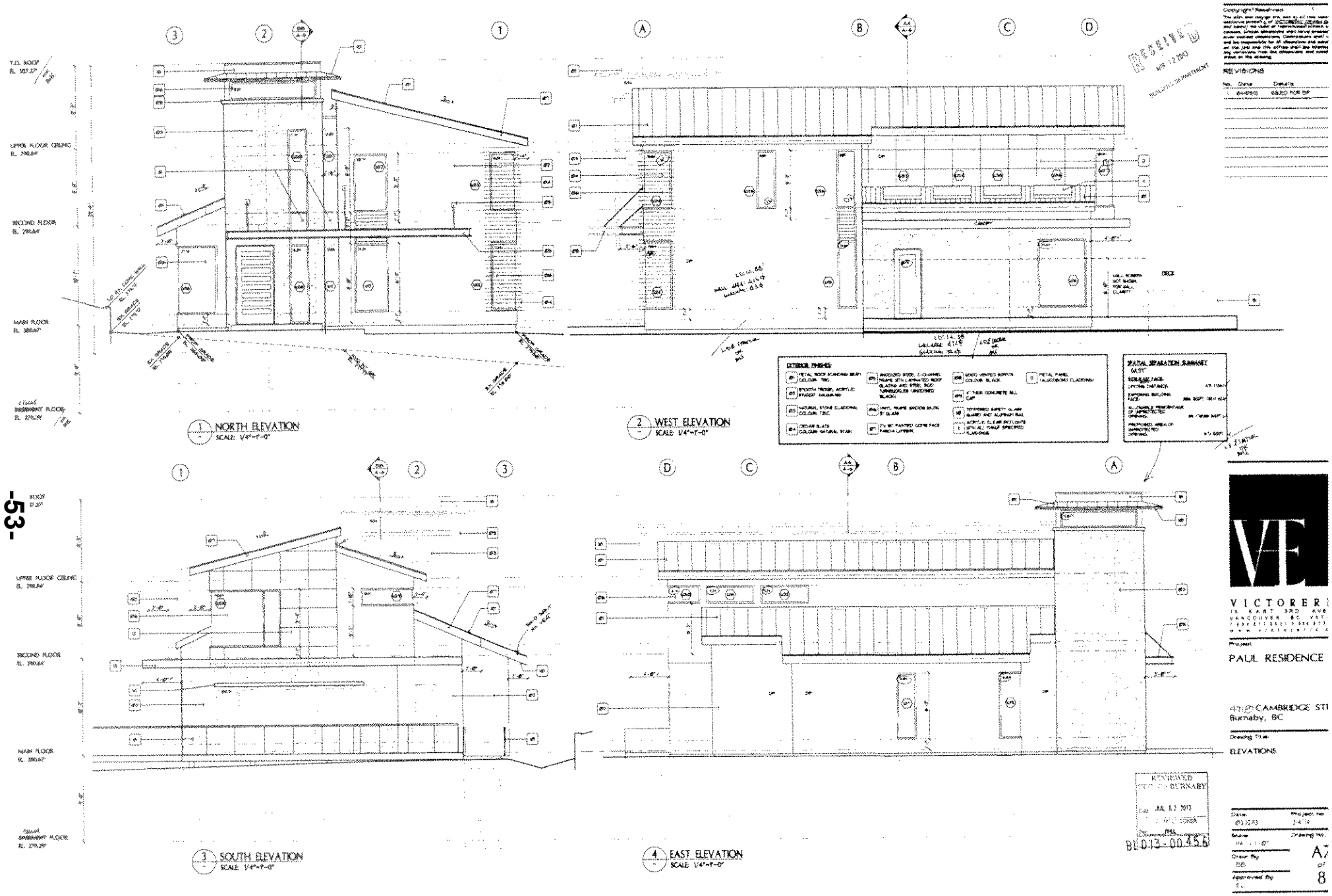
PAUL RESIDENCE

4?1? CAMBRIDGE STRE
Burnaby, BC.

Drawing Title:

GENERAL NOTES

Date: [illegible]	Project No. [illegible]
Scale: [illegible]	Drawing No. A3 of 8
Drawn By: [illegible]	
Approved By: [illegible]	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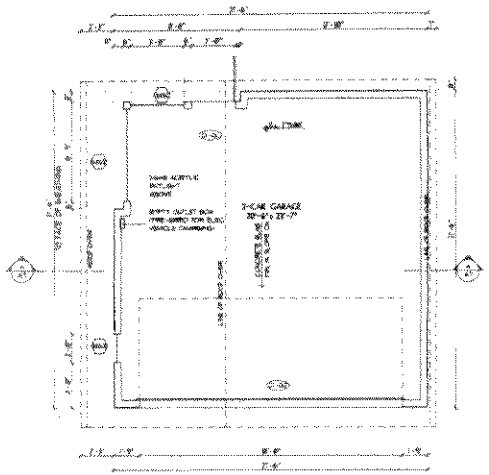
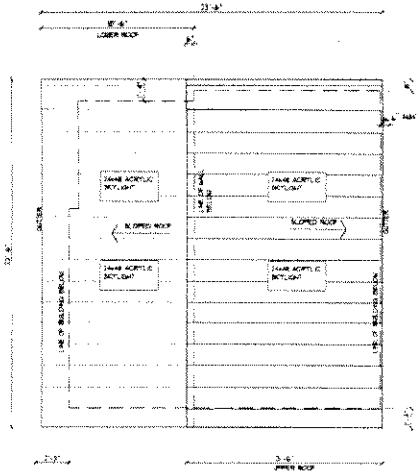
SCALE: 1/4"=1'-0"
2 WEST ELEVATION
SCALE: 1/4"=1'-0"
3 SOUTH ELEVATION
SCALE: 1/4"=1'-0"
4 EAST ELEVATION
SCALE: 1/4"=1'-0"
T.O. ROOF
UPPER FLOOR CEILING
SECOND FLOOR
MAIN FLOOR
BASEMENT FLOOR
EXTERIOR FINISHES:
SPATIAL SEPARATION SUMMARY
RECEIVED
REVISIONS
VICTORER
PAUL RESIDENCE
CAMBRIDGE ST
Burnaby, BC
ELEVATIONS
REVIEWED
BLD13-00456
A7
of
8

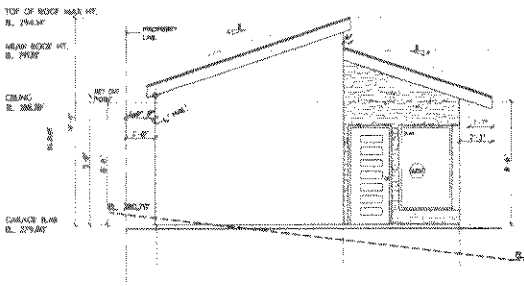
4.(e)



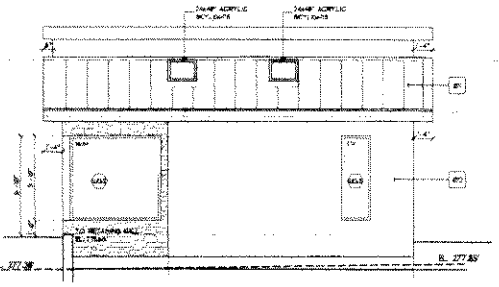
GARAGE FLOOR PLAN - (4516 SQ. FT.)
SCALE: 1/4"=1'-0"



GARAGE ROOF PLAN
SCALE: 1/4"=1'-0"



1 NORTH ELEVATION
SCALE: 1/4"=1'-0"



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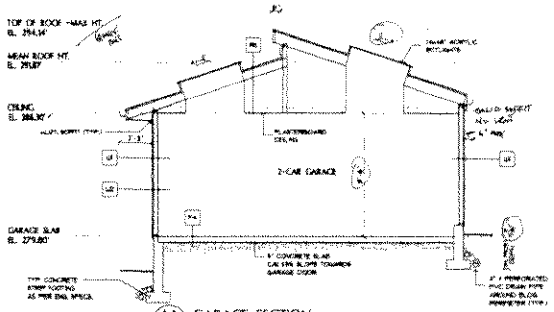
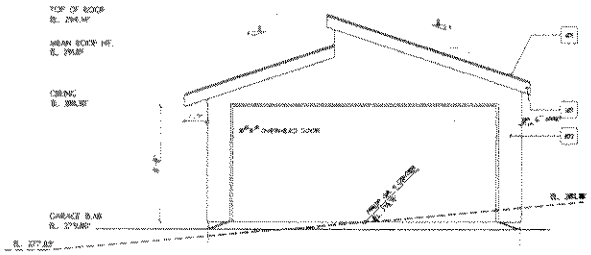


AA GARAGE SECTION
SCALE: 1/4"=1'-0"



3 SOUTH ELEVATION
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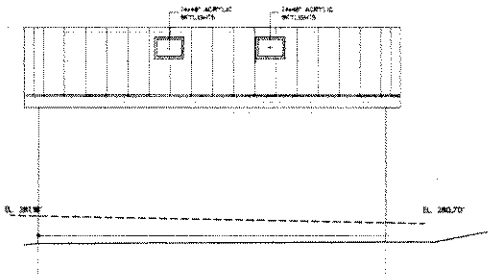


4 EAST ELEVATION
SCALE: 1/4"=1'-0"

REVISIONS

No.	Date	Description
	04/09/13	ISSUED FOR DP
1	06/06/13	REVISED FOR DP

VICTORERI

Project:
PAUL RESIDENCE

4716 CAMBRIDGE STRE
Burnaby, BC.

Drawing Title:
GARAGE -
FLOOR PLANS, ELEVATIONS
AND BUILDING SECTION

REVIEWED
CITY OF BURNABY
JUL 02 2013
BL013-00456

Date: 03/27/13
Project No: 13-014
Scale: 1/4" = 1'-0"
Drawn By: BSB
Drawing No: A8
of 8
Approved By:

Burnaby Board of Variance

OFFICE OF THE SECRETARY

BURNABY CITY HALL, 4949 CANADA WAY, BURNABY BC, V5G 1M2, PHONE 604-2947290
FAX 604-294-7537

APPEAL APPLICATION

PLEASE PRINT Date: JANUARY 15, 2015

Name of Applicant: JOHN ROGIC

Mailing Address: 13699 32 AVE

City/Town: SURREY, B.C. Postal Code: V4P 3C8

Phone #s (H) 604-536-6250 (W) 604-786-6254

~~Other~~ Email: ~~Fax~~ COASTVIEW@Shaw.ca

Signature of Applicant

The following required information pertains to the subject property upon which the appeal has been filed.

Name of Owner COASTVIEW CONSTRUCTION LTD

Civic Address of Property 5850 BRAEMAR AVE

Legal Description of Property Lot 4 Blk GRP 1

District Lot 86 Plan 18705

Zoning of Property R1

OFFICE USE ONLY

Appeal Number BV# 6146 Date Appeal Received

Applicant Referred by: Building Planning License Other

Required Documents: (i) Hardship Letter from Applicant
(ii) Site Plan of Subject Property
(iii) Additional Plans

Date and Time Appeal will be heard: 2015 February 05 @ 1:30 p.m.

5850 BRAEMAR AVENUE
BURNABY, B.C.

January 15, 2015

Board of Variance
City of Burnaby

Dear Board Members:

We are the owners of 5850 Braemar Avenue and have plans to build a new home. Our goal is to design and build a beautiful high quality and high value home that will fit in with, and improve, the neighbourhood. We are aware of the impact any new construction has on a neighbourhood and have made every effort to design as a good neighbour and to stay in compliance with Building Bylaw. We have been working on the building plans and have had meetings with city staff prior to these final drawings and have already made changes and concessions as requested by the Building Department.

This property is a corner lot and is situated where the subdivision transitions from low lying properties, on Whelen Court, to high sitting properties, on Braemar Avenue. As a result of the location and topography, it is a very difficult lot on which to design in accordance with the Burnaby Building Bylaw. The property has a slope of over 25 feet from the south west corner to the north east corner. It also has a grouping of trees at the south side of the east property line.

After working on this design for three months we feel that, given these site conditions on this particular property, a home designed to meet all the technical aspects of the Building Bylaw would not be very well received by the local property owners. We have, to the best of our ability, designed a home that will satisfy the difficult topography conditions without becoming a dominant presence on the street and without having a negative impact on the streetscape or existing trees. We feel our proposed design satisfies all the intents of the Building Bylaw. However, the plan does require relaxation of the City of Burnaby Building Bylaw and we ask that you allow us the following variances:

a) **Height**

As mentioned, the lot slopes over 25 feet from the south west corner to the north east corner. This severely skews the building height calculation, making it impossible for us to come up with a design that satisfies the technical interpretation of the height bylaw and still have a reasonable home design. The North East corner is extremely low, while the other three are within design reason of each other.

All the roof lines of the existing houses along Braemar Ave drop in elevation as you go from Burris St. to Whelen Court. Our House follows this pattern, and is lower than the neighboring house at 5870 Braemar Ave. Our roof line begins at the first story, and the second story is buried within the roof, reaching a top height of 29.5 feet at the front yard. This roof design was specifically chosen to limit overall massing to ensure the house does not dominate adjacent properties or affect any views.

Because of the natural slope, of the subdivision, up to the south and west, the homes on the opposite side of Braemar are well above our house, so we will not affect them at all. We have also reduce the massing on the rear elevation by lowering the roof that projects furthest back on the property. There is also a natural privacy buffer of trees between our property and the low lying adjacent property on Whelen, such that you can hardly see one house from the other.

b) Front yard set back

We are proposing a front yard setback **of 31.09 feet**. The adjacent property at 5870 Braemar is set back **24.61 feet** and the property at 5890 Braemar is set back **73.51 feet**. The property at 5890 Braemar is an irregular pan handle shape and required an exceptionally deep front yard. We feel that 5890 Braemar Ave is an anomaly and should not be considered when averaging the front yards.

We have worked very hard, and truly tried our best, to get a design that is attractive, buildable and one that does not have a negative impact on our neighbours. We hope that you look favourably on this application.

Sincerely,

John Rogic
Coastview Construction Ltd (1987)

City of Burnaby

BOARD OF VARIANCE REFERRAL LETTER

DATE: January 15, 2015	**DEADLINE: January 13, 2015 for the February 5, 2015 hearing**	*This is **not** an application. Please take letter to Board of Variance. (Clerk's office - Ground Floor)*
NAME OF APPLICANT: John Rogic		
ADDRESS OF APPLICANT: 13699 – 32 Avenue Surrey B.C. V4P 3C8		
TELEPHONE: 604.786.6254		

PROJECT			
DESCRIPTION: New single family dwelling			
ADDRESS: 5850 Braemar Avenue			
LEGAL:	**LOT: 4**	**DL: 86**	**PLAN: 18705**

The above mentioned application, which includes the attached plan of the proposal, has been refused by the Building Department on the basis of contravention of:

Zone/Section(s) R1 [101.6(1)(a); 101.7(a); 101.8]
of the Burnaby Zoning Bylaw No. 4742

COMMENTS:

The applicant is proposing to build a new single family dwelling. The following relaxations are being requested.

1) The principal building height, measured from the rear average elevation will be 34.89 feet. The principal building height, measured from the front average elevation will be 28.75 feet. The maximum building height of 29.5 feet is permitted.

2) The depth of the principal building will be 63.5 feet where a maximum depth of 60.0 feet is permitted.

3) The front yard setback will be 27.59 feet to the post where a minimum front yard setback of 49.06 feet is required based on front yard averaging. The roof overhang will be 2.0 feet beyond the post.

Note: The applicant recognizes that should the project contain additional characteristics in contravention of the zoning by-law a future appeal(s) may be required

DS

Peter Kushnir
Assistant Chief Building Inspector, Permits and Customer Service

4949 Canada Way, Burnaby, BC V5G 1M2 • Telephone 604-294-7130 Fax 604-294-7986 • www.burnaby.ca

GENERAL NOTES:

1. DO NOT SCALE DRAWINGS
2. BE SURE TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING CONSTRUCTION ALWAYS TAKE PRECEDENCE OVER SCALED MEASUREMENTS.
3. DIMENSIONS ARE TAKEN TO FACE OF STUD AND CONCRETE OF EXTERIOR WALLS AND TO CENTRE OF STUDS OF INTERIOR WALLS UNLESS NOTED OTHERWISE
4. CONSTRUCTION METHODS ARE TO CONFORM TO THOSE PRESCRIBED BY VANCOUVER BUILDING BY-LAW NO. 8419 2007
5. SURVEY INFORMATION IS SUPPLIED BY OTHERS IN EVENT OF DISCREPANCY BETWEEN THESE DRAWINGS AND THE INFORMATION PROVIDED BY THE SURVEYOR THE DESIGNER MUST BE NOTIFIED IMMEDIATELY
6. ALL MATERIALS ARE TO BE USED STRICTLY IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.
7. PROVIDE TEMPORARY DRAINAGE TO KEEP THE SITE AND WORK WATER FREE AND PERMEATE THE SITE UPON COMPLETION
8. FOOTINGS TO EXTEND BELOW FREE FROST PENETRATION AND MUST REST ON NON E. BEARING THE QUALITY OF BEARING MUST BE CONFIRMED BY THE AUTHORITY HAVING JURISDICTION
9. LEAVE OPENINGS IN FOUNDATION FOR SERVICES REQUIRED
10. EXPOSED SHEET METAL FLASHING SHALL BE 0.5" GALVANIZED STEEL UNLESS OTHERWISE INDICATED
11. SHEET METAL FLASHING SHALL BE INSTALLED OVER EXPOSED OPENINGS
12. WOOD MEMBERS IN CONTACT WITH CONCRETE SHALL BE PROTECTED WITH #15 FELT
13. ROOF TRUSSES TO BE DESIGNED BY OTHERS
14. HEATING WITHIN 12" OF THE FLOOR SHALL BE IN SAFETY GLASS
15. ALL ALL WINDOWS & DOORS TO BE DOUBLE GLAZED ALL WINDOW FRAMES TO BE THERMALLY BROKEN
16. GLASS SKYLIGHTS & WINDOWS WITHIN 36" OF DOOR LOWER ARE TO BE SAFETY GLASS
17. GLASS SKYLIGHTS GREATER THAN 20" IN WIDTH THAT COULD BE MISTAKEN FOR DOORS TO BE SAFETY GLASS
18. GLASS IN WINDOWS LESS THAN 36" ABOVE FORM FLOOR SHALL BE TO BE SAFETY GLASS
19. GLASS IN ENTRANCE SHOWER AND IN SLIDING DOORS TO BE SAFETY GLASS
20. ALL BATHTUBS TO BE WATERPROOFED TO A MINIMUM HEIGHT 6-0" ABOVE FLOOR LEVEL
21. ALL EXPOSED METAL FLASHINGS VENTS DOWNSPOUTS ETC. SHALL BE PAINTED TO MATCH ADJACENT FINISH AS CLOSELY AS POSSIBLE
22. WOOD FASCIAS AND BARGE BOARDS SHALL BE STAINED ON ALL SURFACES INCLUDING ALL UNLISTED SAW CUT ENDS
23. ENCLOSED ROOF AND ATTIC SPACES SHALL BE VENTED IN ACCORDANCE WITH RELEVANT CODES (NOT LESS THAN 1/300 OF ENCLOSED AREA)
24. ROOF VENTS MUST BE UNIFORMLY DISTRIBUTED WITH A MINIMUM OF 25% IN EAVE AND 25% IN ROOF TOP
25. NATURAL VENTILATION OF ENCLOSED CRAWL SPACES SHALL BE PROVIDED IN ACCORDANCE WITH THE RELEVANT CODES (NOT LESS THAN 1/300 OF CRAWL SPACE AREA AND AS EVENLY DISTRIBUTED AS POSSIBLE
26. VENTED CRLSPACE SHALL BE VENTILATED TO 1/150 OF INSULATED CEILING AREA INSULATION SHALL BE 6" MIN ON TOP OF PLATE
27. CAULK ALL EXTERIOR OPENINGS
28. PLUMBING INSTALLATIONS SHALL BE IN ACCORDANCE WITH V.B.B.L. 2007 AND ALL OTHER RELEVANT CODES
29. THE DESIGN AND INSTALLATION OF THE HEATING SYSTEM SHALL BE IN ACCORDANCE WITH V.B.B.L. AND SHALL BE OTHER TYPE NOTED ON THE DRAWINGS.
30. THE ELECTRICAL INSTALLATION SHALL BE IN ACCORDANCE WITH THE V.B.B.L. AND ALL APPLICABLE CODES
31. THE BOTTOM OF AN OPENABLE WINDOW IN A BEDROOM IS NOT TO EXCEED 6'-11" ABOVE THE FLOOR LEVEL AND HAVE A MINIMUM OPENING DIMENSIONS OF 15" WITH AN AREA OF 3.75 SQ. F.
32. HANDRAILS ACTING AS A GUARD TO BE BETWEEN 36" AND 38"
33. WATERPROOF WALLBOARD REQUIRED AS THE BASE AROUND TUBS AND SHOWERS V.B.B.L. 2007
34. R-12 (RSI2) INSULATION UNDER ENTIRE SLAB WITH RADIANT HEAT.
35. NO MORE THAN 2 FACE STEPS CLIMBING PERMITTED FROM 4" TO 36" ABOVE THE FLOOR OR WALKING SURFACE (NO GUARDS)
36. MAXIMUM 4" OPENING IN ALL STAIR DECK AND BALCONY GUARDS (INTERIOR & EXTERIOR)
37. EXCEPT SPACE BETWEEN BOTTOM RAIL AND STAIR TREAD
38. PROVIDE 6" CLEARANCE BETWEEN GRADE AND WOOD
39. WALL TIES FOR MASONRY REQUIRED IN CONFORMANCE WITH V.B.B.L. 2007
40. REFER STANDARDS FOR DWELLING SECURITY AS OUTLINED V.B.B.L. 2007
41. SILL MEMBER REQUIRED FOR OUT SWINGING EXTERIOR DOORS
42. SPRINKLER SYSTEM TO BE DESIGNED, CONSTRUCTED INSTALLED AND TESTED IN CONFORMANCE WITH NFPA 13D INSTALLATION OF SPRINKLER SYSTEM RESIDENTIAL OCCUPANCIES
43. INSULATION WHERE SUBJECT TO MECHANICAL DAMAGE TO BE COVERED AS PER V.B.B.L. 2007
44. 3 SQ.FT. PER 100 SQ.M. EQUAL REQUIRED TO BATHROOM FLOORS
45. CONTINUOUS OR INTERMITTENT EXHAUST FAN TO ALL BATHROOMS AND KITCHENS
46. ONE HARD WIRED SMOKE ALARM REQUIRED PER FLOOR ALL SMOKE ALARMS TO BE INTERCONNECTED
47. PORTABLE FIRE EXTINGUISHERS REQUIRED ON EVERY FLOOR LEVEL WITHIN 5.8m OF BEDROOM DOOR AND 15.8m OF EACH OTHER
48. A B.C.D. DRY CHEMICAL FIRE EXTINGUISHER SHOULD BE AVAILABLE NEAR THE KITCHEN
49. REFURE HOT WATER TANK TO PREVENT OVERTURNING

CIVIL ADDRESS
5870 BREAMAR AVENUE
PORT COQUITLAM B.C.

LEGAL DESCRIPTION
LOT 4 DISTRICT LOT 66
NEW WESTMINSTER DISTRICT PLAN 18705

ZONE RS - R1

LOT AREA 11706.5 S.F.

ITEM	PERM	ACTUAL
L.C.	4562.6	2866.5
G.F.A.	2929.9	2339.6
A.G.F.A.	4562.6	4377.1
B.G.F.A.	1668.3	1962.5
GARAGE	452.1	684.0
ENT. PORCH	36.8	84.0
COVERED DECK		
PATIO / BALCONY	508.1	775.0

FLOOR AREA BREAKDOWN

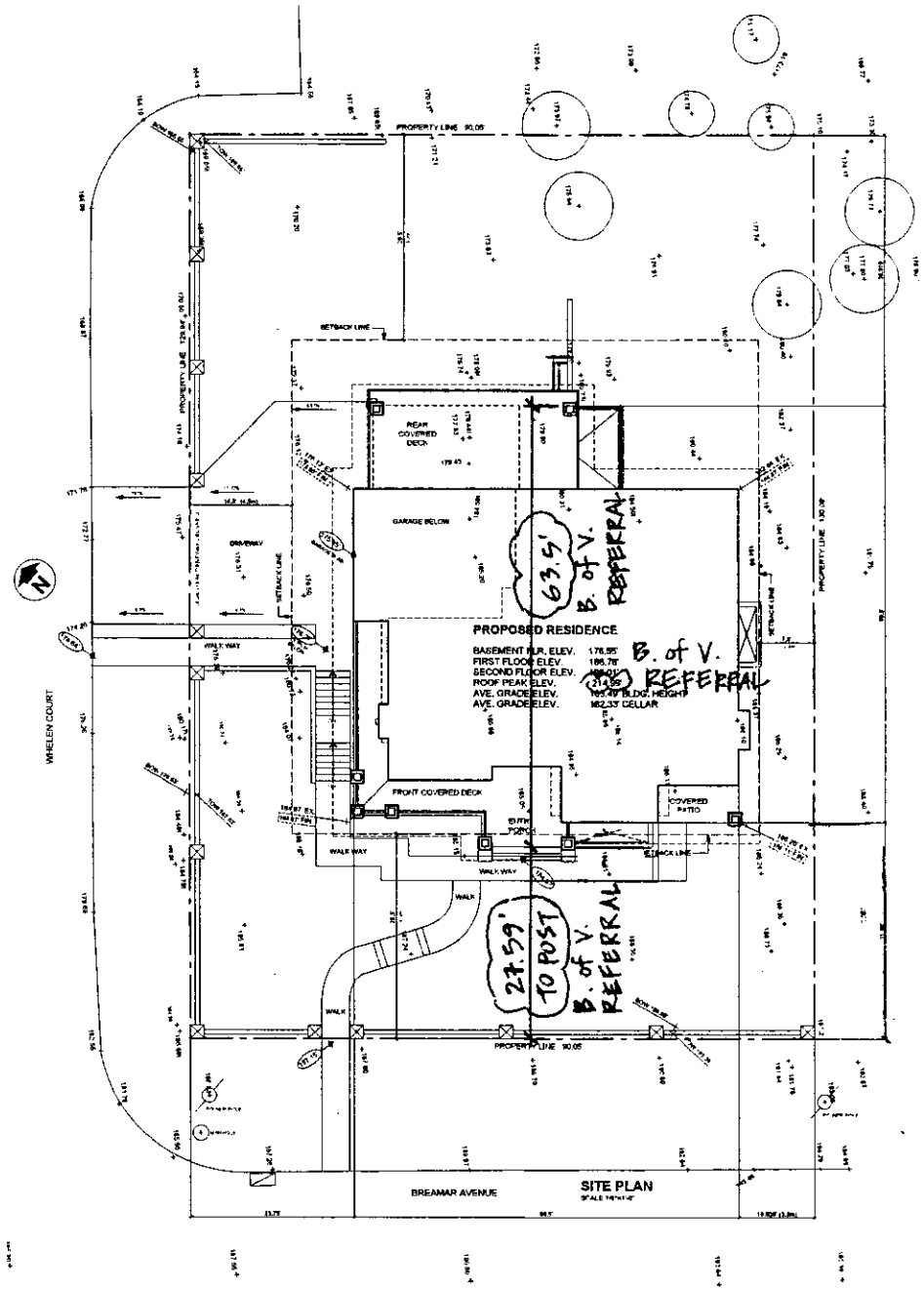
DEL LAP FLOOR	1730.90 S.F.
FIRST FLOOR	2296.00 S.F.
SECOND FLOOR	1778.00 S.F.
FRONT COVERED DECK	207.00 S.F.
REAR COVERED DECK	435.00 S.F.
COVERED PATIO	61.00 S.F.
BALCONY	66.50 S.F.
ENTRY PORCH	84.00 S.F.
3-CAR GARAGE	684.00 S.F.

PRINCIPAL BUILDING HEIGHT
PERMITTED 29.8'
ACTUAL 30.83'

PERMEABLE SITE AREA
PERMITTED
ACTUAL 1843.00 S.F.

LEGEND:

320.50 EX.	EXISTING GRADE ELEVATIONS
	FINISHED GRADE ELEVATIONS
	T.O.CONCRETE WALL ELEVATIONS
	T.O. CONCRETE SLAB ELEVATIONS
	T.O. FLOOR ELEVATIONS
	DIRECTION OF DRAINAGE
	EXISTING TREES TO REMAIN



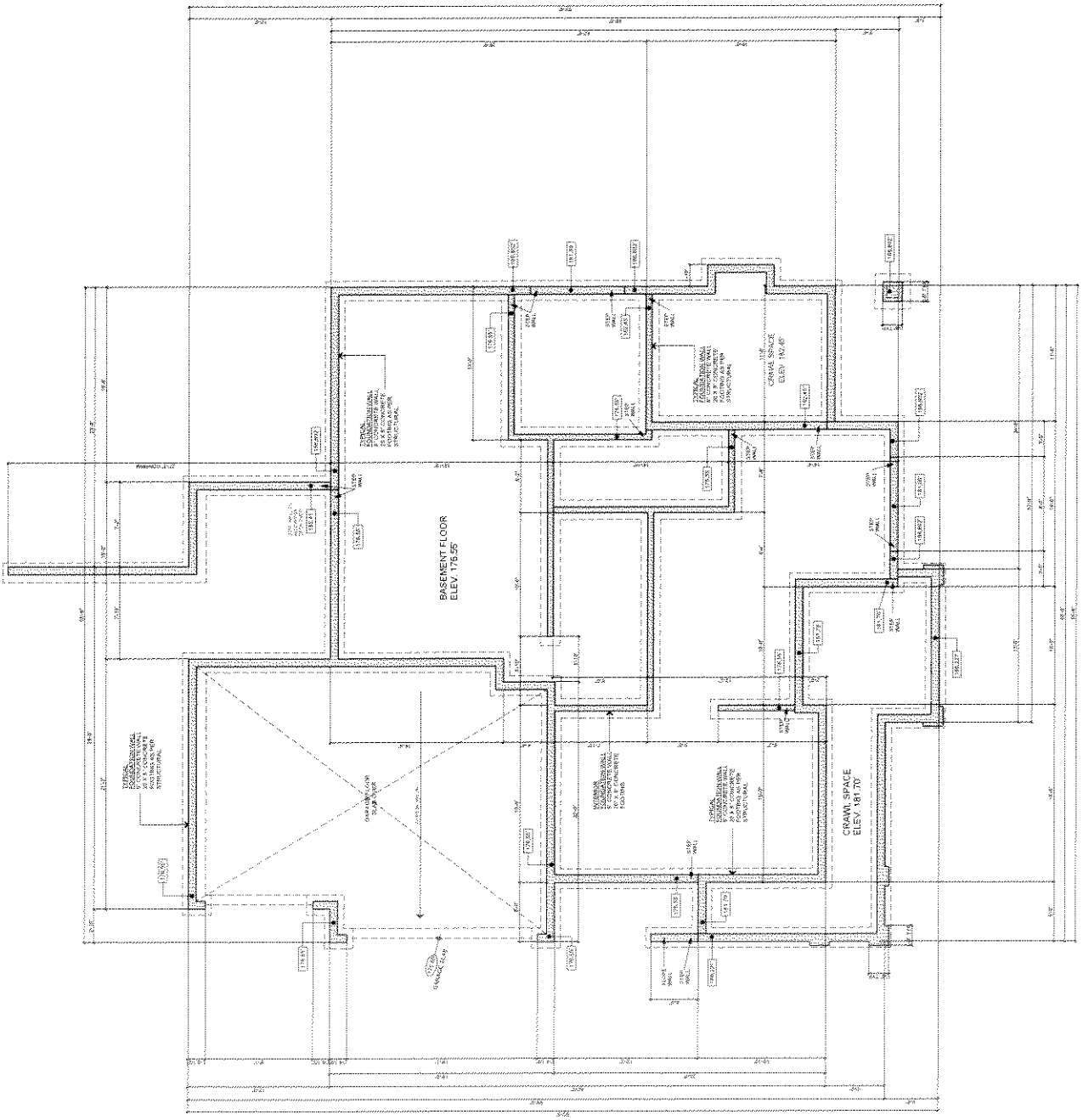
oscar woodman design
1782 view st., port moody.
british columbia V3H3Y2
604 - 937 - 7640

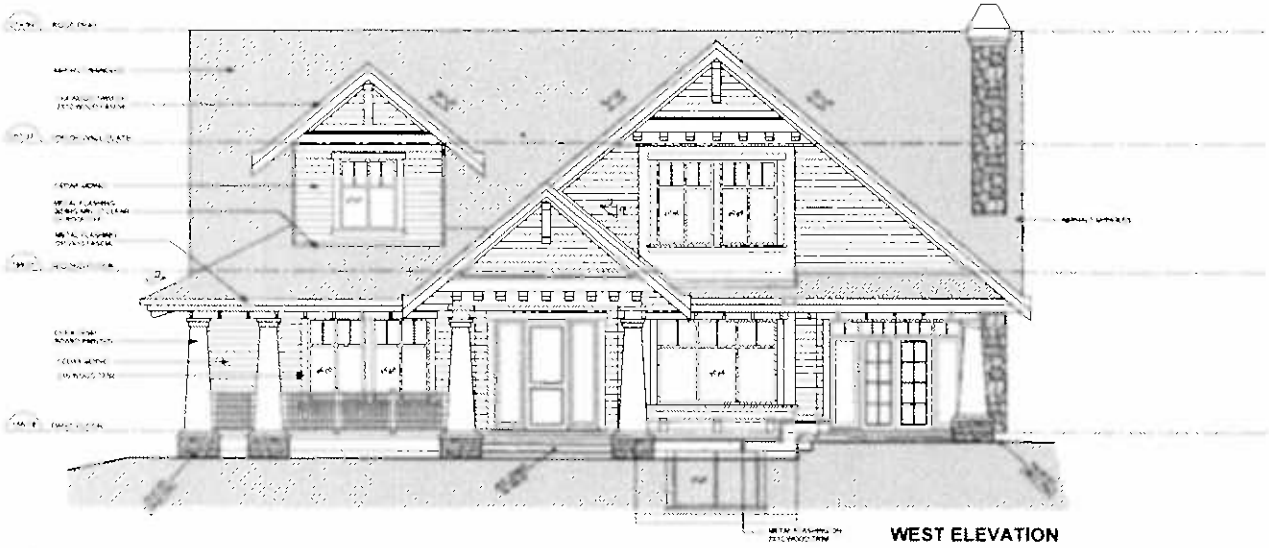
project title
RESIDENCE -
COASTVIEW
CONSTRUCTION LTD.
5870 BREAMAR AVENUE
PORT COQUITLAM, B.C.

sheet title
SITE PLAN

date started: NOV. 2014
job no.
issue,revision
drawn: alex
chkd.
scale: 1/8" = 1'-0"
sheet no.
A1
of 8

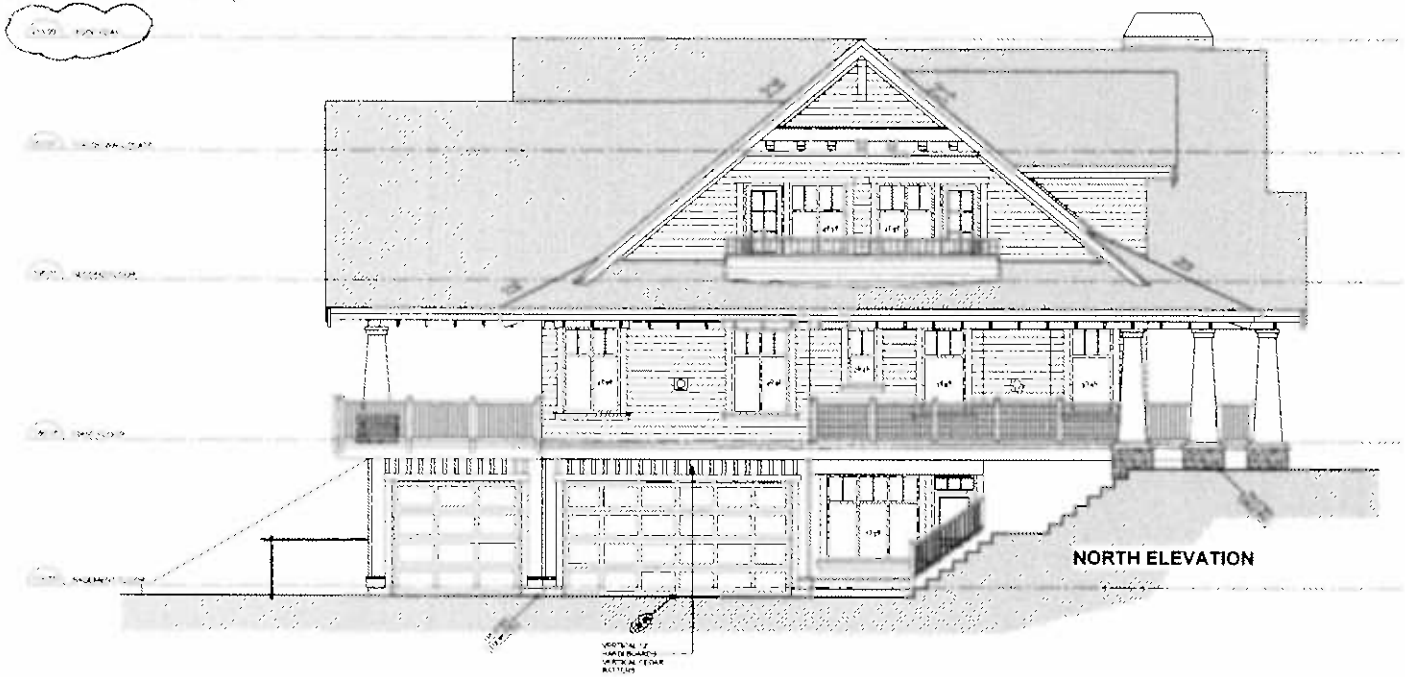
4.(f)


oscar woodman design
1782 view st. port moody.
british columbia V3H3Y2
604 - 937 - 7640
project title
RESIDENCE -
COASTVIEW
CONSTRUCTION LTD.
5870 BREAMAR AVENUE
PORT COQUITLAM, B.C.
sheet title
FOUNDATION PLAN
issue/revision
date drafted
job no.
drawn
checd.
scale
sheet no.
A2
of 8
BASEMENT FLOOR
ELEV. 175.55
CRAWL SPACE
ELEV. 181.70
CRAWL SPACE
ELEV. 182.45
FOUNDATION PLAN



WEST ELEVATION

B. of V. REFERRAL



NORTH ELEVATION

oscar woodman design
1782 view st., port moody
british columbia V3H3Y2
604 - 937 - 7640

project title

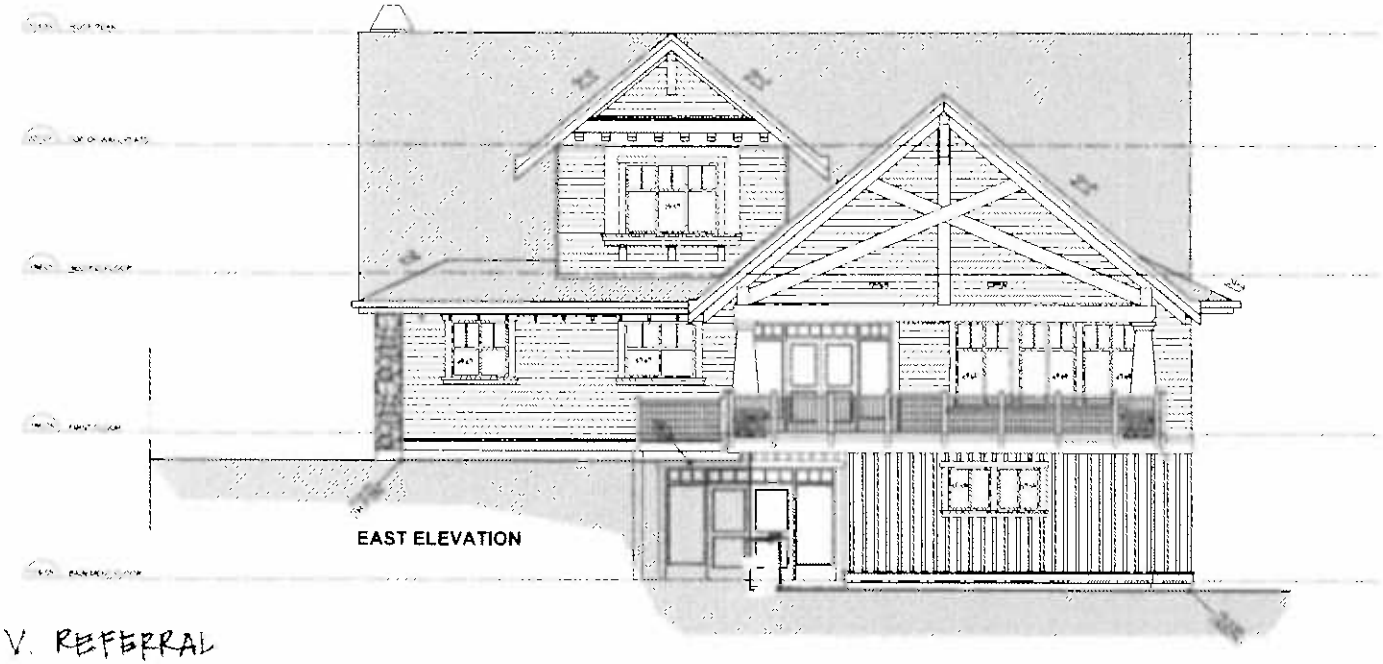
RESIDENCE -
COASTVIEW
CONSTRUCTION LTD.
5870 BREAMAR AVENUE
PORT COQUITLAM B.C.

sheet title

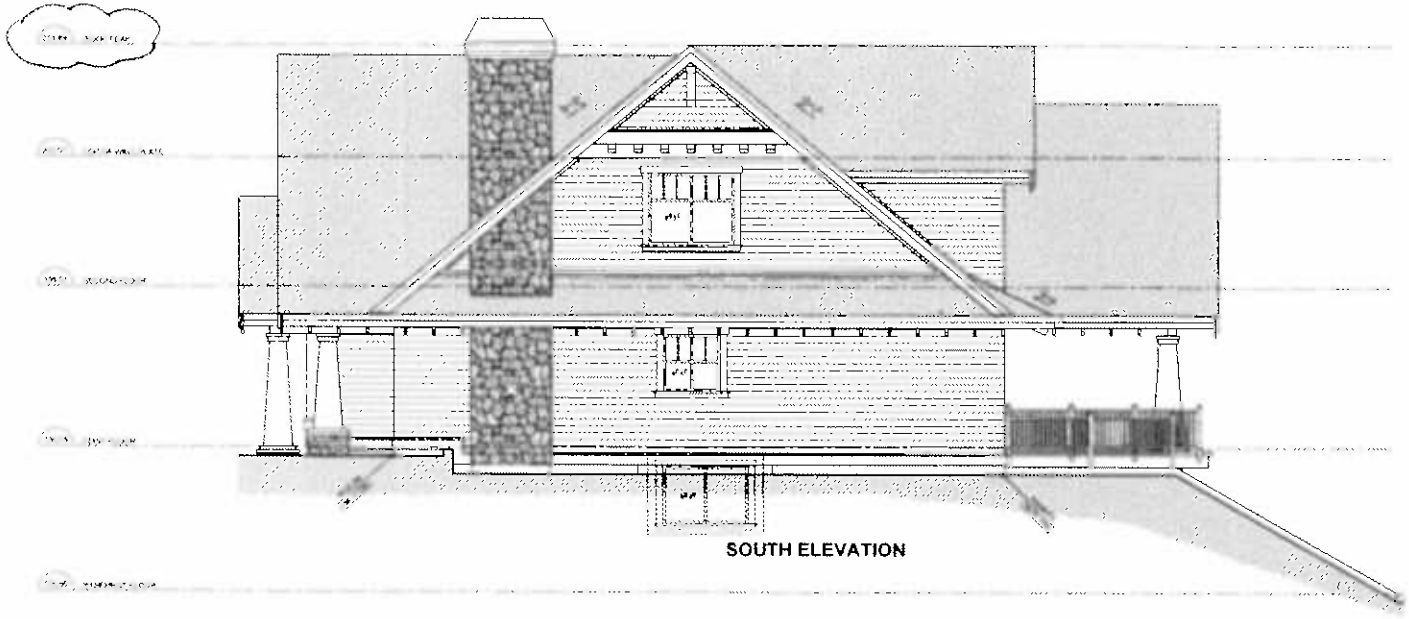
NORTH AND WEST
ELEVATIONS

date started
job no
issue/revision
drawn
chkd
scale
sheet no

A7
of 8



B. of V. REFERRAL



oscar woodman design
1782 view st. port moody
british columbia V3H3V2
604 - 937 - 7640

project title

RESIDENCE -
COASTVIEW
CONSTRUCTION LTD.
5870 BREAMAR AVENUE
PORT COQUITLAM, B.C.

sheet title

EAST AND SOUTH
ELEVATIONS

date started
job no
issue revision
drawn
chkd
scale
sheet no

A8
of 8

DISTRICT LOT 86, GROUP 1, NEW WESTMINSTER DISTRICT, PLAN 18705

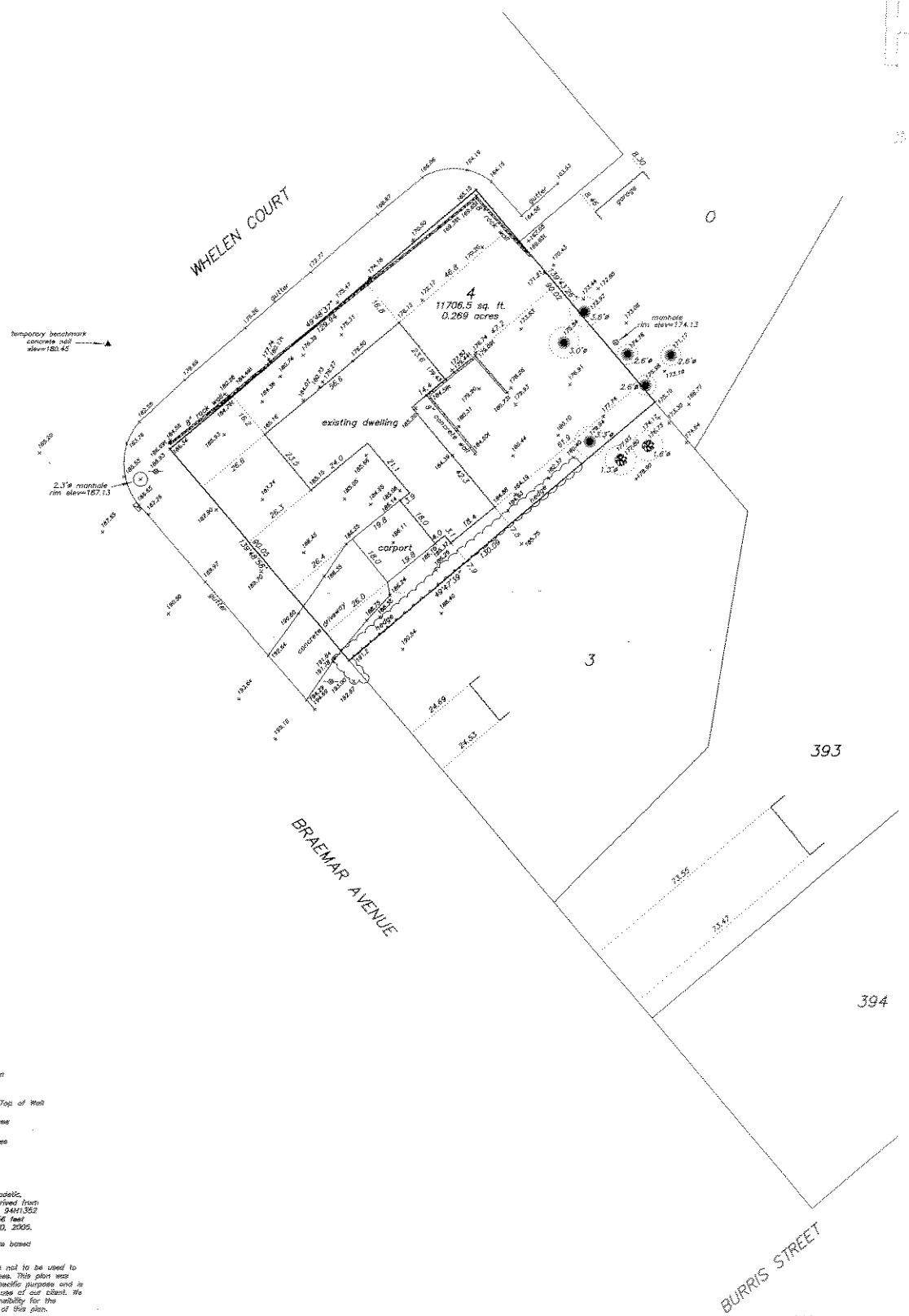
SCALE: 1 inch = 20 feet

10 0 10 20

All distances are in feet.

PARCEL IDENTIFIER 010-405-232

CIVIC ADDRESS 5850 Braemar Avenue Burnaby, B.C.



LEGEND

- Spot Elevation
- Elevation of Top of Well
- Coniferous Tree
- Deciduous Tree
- Power Pole
- Catch Basin

Elevations are Geodetic, shown in feet, derived from Control Monument 94H1352 Elevation = 171.96 feet Datum: CVD28GVRD, 2005.

Lot dimensions are based on field survey.

Offsets shown are not to be used to define property lines. This plan was prepared for a specific purpose and is for the exclusive use of our client. We assume no responsibility for the unauthorized use of this plan.

CERTIFIED CORRECT
this 20th day of October, 2014.

W. PAPOVE B.C.L.S.

CIVIC ADDRESS	FRONT YARD SETBACK
5870 Braemar Avenue	24.61
5890 Braemar Avenue	73.51
Average = (24.61+73.51)/2=49.06	

PAPOVE
PROFESSIONAL LAND SURVEYING INC.
202 – 1120 WESTWOOD STREET
COQUITLAM , B.C. , V3B 7K8
TEL : (604) 464-5199
FAX : (604) 464-8509

FILE NUMBER : 87759-1

4.(f)

POSTING PLAN OF LOT 4, DISTRICT LOT 86, GROUP 1, NEW WESTMINSTER DISTRICT, PLAN 18705

Plan EPP46158

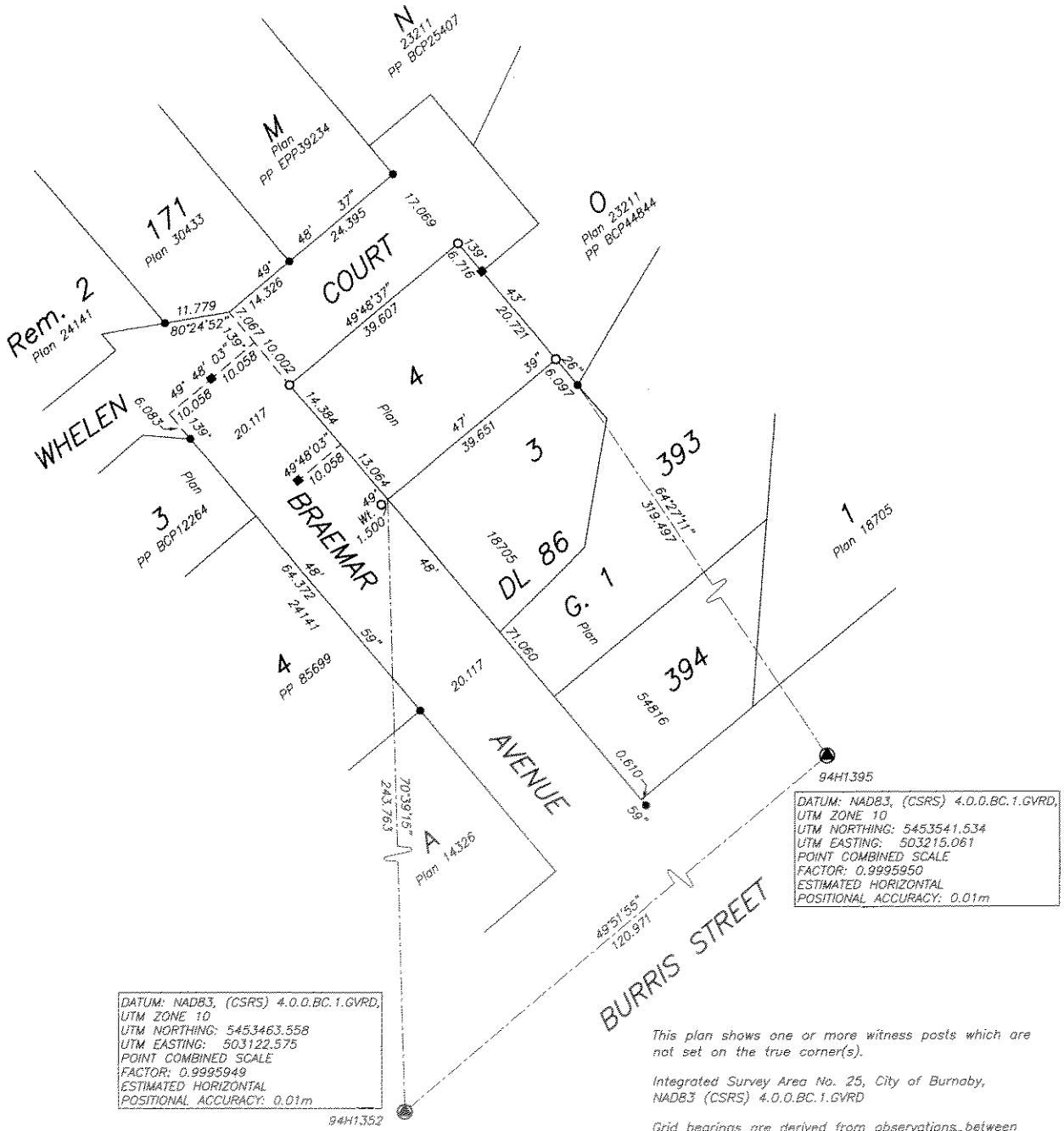
PURSUANT TO SECTION 68, LAND TITLE ACT

BCGS 92G.026

15 0 15 30

All distances are in metres.

THE INTENDED PLOT SIZE OF THIS PLAN IS 280mm IN WIDTH BY 432mm IN HEIGHT (B SIZE) WHEN PLOTTED AT A SCALE OF 1:750



DATUM: NAD83, (CSRS) 4.0.0.BC.1.GVRD,
UTM ZONE 10
UTM NORTHING: 5453541.534
UTM EASTING: 503215.061
POINT COMBINED SCALE
FACTOR: 0.9995950
ESTIMATED HORIZONTAL
POSITIONAL ACCURACY: 0.01m

DATUM: NAD83, (CSRS) 4.0.0.BC.1.GVRD,
UTM ZONE 10
UTM NORTHING: 5453463.558
UTM EASTING: 503122.575
POINT COMBINED SCALE
FACTOR: 0.9995949
ESTIMATED HORIZONTAL
POSITIONAL ACCURACY: 0.01m

This plan shows one or more witness posts which are not set on the true corner(s).

Integrated Survey Area No. 25, City of Burnaby, NAD83 (CSRS) 4.0.0.BC.1.GVRD

Grid bearings are derived from observations between geodetic control monuments 94H1352 and 94H1395.

This plan shows horizontal ground-level distances unless otherwise specified. To compute grid distances, multiply ground-level distances by the average combined factor of 0.9995950 which has been derived from geodetic control monuments 94H1352 and 94H1395.

The field survey represented by this plan was completed on the 2nd day of December, 2014.
William Papove, BCLS #593

This plan lies within the Greater Vancouver Regional District.

PAPOVE
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202 - 1120 WESTWOOD STREET
COQUITLAM , B.C. , V3B 7K8
TEL : (604) 464-5199
FAX : (604) 464-6509

FILE NUMBER : 6775

LEGEND :

- indicates control monument found
- indicates standard iron post found
- indicates standard iron post placed
- indicates lead plug found
- PP indicates posting plan
- Wt. indicates witness