



## **BOARD OF VARIANCE**

### ***NOTICE OF OPEN MEETING***

**DATE:** THURSDAY, 2015 MAY 07

**TIME:** 1:00 PM

**PLACE:** COUNCIL CHAMBER, MAIN FLOOR, CITY HALL

### **A G E N D A**

1. **CALL TO ORDER** **PAGE**

2. **MINUTES**

3. **APPEAL APPLICATIONS**

(a) **APPEAL NUMBER:** B.V. 6157 **WITHDRAWN**

APPELLANT: Murray Gilmour

REGISTERED OWNER OF PROPERTY: Jessie Kumagai

CIVIC ADDRESS OF PROPERTY: 5710 Cedarwood Street

(b) **APPEAL NUMBER:** B.V. 6158 **1:00 p.m.**

APPELLANT: Harp Badesha

REGISTERED OWNER OF PROPERTY: Daljit Dhaliwal

CIVIC ADDRESS OF PROPERTY: 7368 Barnet Road

LEGAL DESCRIPTION OF PROPERTY: Lot 131; District Lot 216; Plan 11241

APPEAL: An appeal for the relaxation of Sections 6.14(5)(a) and 6.14(5)(b) of the Burnaby Zoning Bylaw which, if permitted, will allow for the construction of a single family home at 7368 Barnet Road. The following variances are being requested:

a) the construction of a retaining wall at the frontage of Barnet Road with varying heights up to a maximum of 16.53 feet where the maximum permitted height is 3.28 feet; and

b) the construction of a retaining wall at the rear of the lot with varying heights up to a maximum of 13.67 feet where the maximum permitted height is 5.91 feet.

(c)     **APPEAL NUMBER:**     **B.V. 6159**                             **1:15 p.m.**

**APPELLANT:**     David Wong

**REGISTERED OWNER OF PROPERTY:**     Maria and Aaron Man

**CIVIC ADDRESS OF PROPERTY:**     4188 Rumble Street

**LEGAL DESCRIPTION OF PROPERTY:**     Lot 4; District Lot 156; Plan 1387

**APPEAL:**     An appeal for the relaxation of Sections 6.2(2), 102.6(1)(b), 102.8(1) and 800.6(1) of the Burnaby Zoning Bylaw which, if permitted, will allow for the construction of a new single family home at 4188 Rumble Street. The following variances are being requested:

a) the principal building height, measured from the rear average elevation will be 28.65 feet where a maximum building height of 24.3 feet is permitted. The principal building height, measured from the front average elevation will be 24.3 feet;

b) the principal building will be 3 storeys where a maximum of 2 1/2 storeys is permitted. The proposed upper floor (1095.8 square feet) exceeds the 50% of the main floor (1808.2 square feet) by 191.7 square feet. The lowest floor does not meet cellar qualification; and

c) the front yard setback will be 43.50 feet to the upper floor cantilever where a minimum setback of 55.98 feet is required based on front yard averaging; and

d) an accessory building in a required front yard, located 28.54 feet from the North property line abutting Rumble Street and 5.25 feet from the West property line, where siting of an accessory building in a required front yard is prohibited by the Zoning Bylaw.

(d)     **APPEAL NUMBER:**     **B.V. 6160**                             **1:15 p.m.**

**APPELLANT:**     Elton Donald

**REGISTERED OWNER OF PROPERTY:**     Elton and Ryoko Donald

CIVIC ADDRESS OF PROPERTY: 3971 Yale Street

LEGAL DESCRIPTION OF PROPERTY: Lot 13; District Lot 186; Plan 1124

APPEAL: An appeal for the relaxation of Sections 103.6(1)(b) and 103.9(1) of the Burnaby Zoning Bylaw which, if permitted, will allow for interior alterations/finishing to the basement, main floor and upper floor, an addition to the main floor and upper floor, a new deck to the main floor and upper floor, new porch to the main floor and enclosing of the detached carport only. The following relaxations are being requested:

a) the principal building height will be 3 storeys where a maximum 2 1/2 storeys is permitted. The proposed upper floor (1129 square feet) exceeds the 50% of the main floor (1380 square feet) by 439 square feet. The lower floor does not meet cellar qualifications as it is only 48.1% below average natural grade, where more than 50% is required;

b) the principal building height, measured from the rear elevation, will be 27.17 feet where a maximum 24.3 feet is permitted; and

c) the principal building side yard setback, measured from the west property line to the addition, will be 4.54 feet where a minimum 4.9 feet is required.

(e) **APPEAL NUMBER:** B.V. 6161 **1:30 p.m.**

APPELLANT: Harb Mann

REGISTERED OWNER OF PROPERTY: Leigh-Ann Chu

CIVIC ADDRESS OF PROPERTY: 7913 Suncrest Drive

LEGAL DESCRIPTION OF PROPERTY: Lot 5; District Lot 175; Plan 11750

APPEAL: An appeal for the relaxation of Sections 800.6(1) and 6.2(2) of the Burnaby Zoning Bylaw which, if permitted, will allow for the construction of a single family home at 7913 Suncrest Drive. The construction of an accessory building in a required front yard, located 4.0 feet from the North property line abutting Clinton Street and 4.0 feet from the West property line, where siting of an accessory building in a required front yard is prohibited by the Zoning Bylaw.

(f) **APPEAL NUMBER:** B.V. 6162 **1:30 p.m.**

APPELLANT: Amitoj Sanghera

REGISTERED OWNER OF PROPERTY: Amitoj Sanghera

CIVIC ADDRESS OF PROPERTY: 6585 Halifax Street

LEGAL DESCRIPTION OF PROPERTY: Lot 227; District Lot 132; Plan 32419

APPEAL: An appeal for the relaxation of Section 104.9 of the Burnaby Zoning Bylaw which, if permitted, would allow the construction of a new two family dwelling at 6585 Halifax Street. The front yard setback, to the porch post, will be 29.05 feet where a minimum front yard setback of 42.43 feet is required based on front yard averaging. The overhang projects 2 feet beyond the porch post. The porch stairs project 3 feet beyond the porch post.

(g) **APPEAL NUMBER:** B.V. 6163 **1:45 p.m.**

APPELLANT: Michael Vint

REGISTERED OWNER OF PROPERTY: Michael and Heather Vint

CIVIC ADDRESS OF PROPERTY: 6863 Mandy Avenue

LEGAL DESCRIPTION OF PROPERTY: Lot 3; District Lot 150; Plan 15981

APPEAL: An appeal for the relaxation of Sections 110.6(2)(a), 110.7(a) and 110.8 of the Burnaby Zoning Bylaw which, if permitted, would allow for interior alteration/finishing to the basement and main floor, an addition to the upper floor and a new secondary suite only to 6863 Mandy Avenue. The following variances are being requested:

a) the principal building height will be 29.48 feet where a maximum height of 24.9 feet is permitted;

b) the principal building depth will be 59.63 feet where a maximum 52.20 feet is permitted; and

c) the principal building front yard setback, measured to the upper floor addition, will be 9.65 feet where a minimum 24.90 feet is required.

(h) **APPEAL NUMBER:** B.V. 6164 **1:45 p.m.**

APPELLANT: Sundeep Puar

REGISTERED OWNER OF PROPERTY: Kalwant and Charanjit Puar

CIVIC ADDRESS OF PROPERTY: 3705 Price Street

LEGAL DESCRIPTION OF PROPERTY: Lot 1; District Lot 35; Plan 1123



APPEAL: An appeal for the relaxation of Sections 6.6(2)(d) and 6.6(2)(g)(i) of the Burnaby Zoning Bylaw which, if permitted, will allow for the construction of a new single family home at 3705 Price Street. The following variances are being requested:

a) the setback, from the North property line to the garage foundation, will be 2.0 feet where a minimum setback of 3.94 feet is required. The overhang projects 0.5 feet beyond the foundation; and

b) the setback, from the South property line to the garage foundation, will be 10.01 feet where a minimum setback of 19.7 feet is required. The overhang projects 0.5 feet beyond the foundation.

CITY OF BURNABY  
BOARD OF VARIANCE

MINUTES

A Hearing of the Board of Variance was held in the Council Chamber, City Hall, 4949 Canada Way, Burnaby, B.C., on Thursday, 2015 April 02 at 1:00 p.m.

PRESENT: Ms. C. Richter  
Mr. B. Pound  
Mr. S. Nemeth  
Mr. G. Clark  
Mr. B. Bharaj

STAFF: Ms. S. Knapp, Planning Department Representative  
Mr. E. Prior, Administrative Officer

**1. CALL TO ORDER**

The Secretary called the Hearing to order at 1:05 p.m.

**2. MINUTES**

MOVED BY MR. B. POUND:

SECONDED BY MR. S. NEMETH:

"THAT the minutes of the Hearing of the Burnaby Board of Variance held on 2015 March 05 be adopted as circulated."

CARRIED UNANIMOUSLY

**3. APPEAL APPLICATIONS**

The following persons filed application forms requesting that they be permitted to appear before the Board of Variance for the purpose of appealing for the relaxation of specific requirements as defined in the Burnaby Zoning Bylaw 1965, Bylaw No. 4742:

**(a) APPEAL NUMBER: B.V. 6151**

APPELLANT: Dharam Kajal

REGISTERED OWNER OF PROPERTY: Sudesh and Dharam Kajal

CIVIC ADDRESS OF PROPERTY: 5469 Forglen Drive

LEGAL DESCRIPTION OF PROPERTY: Lot 9; District Lot 32; Plan 17168

APPEAL: An appeal for the relaxation of Section 104.9 of the Burnaby Zoning Bylaw which, if permitted, will allow for the construction of a new single family dwelling at 5469 Forglen Drive. The front yard setback will be 28.67 feet to the foundation where a minimum front yard setback of 35.66 feet is required based on front yard averaging. The window seat projects 1.0 foot beyond the foundation. The overhang projects 2.0 feet beyond the foundation and the porch stairs project 3.5 feet beyond the foundation.

APPELLANT'S SUBMISSION:

Dharam Kajal submitted an application for relaxation of the Burnaby Zoning Bylaw to allow for construction of a new single family dwelling at 5469 Forglen Drive.

Mr. Dharam Kajal appeared before members of the Board of Variance at the Hearing.

BURNABY PLANNING AND BUILDING DEPARTMENTS COMMENT:

***An appeal for the relaxation of Section 104.9 of the Burnaby Zoning Bylaw which, if permitted, will allow for the construction of a new single family dwelling at 5469 Forglen Drive. The front yard setback will be 28.67 ft. to the foundation where a minimum front yard setback of 35.66 ft. is required based on front yard averaging. The window seat projects 1.0 foot beyond the foundation. The overhang projects 2.0 ft. beyond the foundation and the porch stairs project 3.5 ft. beyond the foundation.***

The applicant is proposing to build a new single family dwelling. The following relaxations are being requested:

The front yard setback, to the foundation, will be 28.67 ft. where a minimum front yard setback of 35.66 ft. is required based on front yard averaging. The window seat projects 1.0 foot beyond the foundation. The overhang projects 2.0 ft. beyond the foundation. The porch stairs project 3.5 ft. beyond the foundation.

The subject site, which is zoned R4 Residential District, is located in the Marlborough neighbourhood, in which the age and condition of single and two-family dwellings vary. This interior lot, approximately 60 ft. wide and 115 ft. deep, fronts onto the southwest side of Forglen Drive. Abutting the subject site to the northwest, southeast and across the lane to the southwest are single family dwellings, and directly across Forglen Drive to the northeast is a two-family dwelling. The site observes an upward slope of approximately 17.8 ft. in the north-south direction. Vehicular access to the site is provided from the rear lane. This property came before the board (BOV 6142) in February 2015, and was withdrawn. The proposal with a slightly greater front yard setback has been brought before the Board today.

The applicant proposes to redevelop the site with a new single family dwelling including an accessory detached garage, which is the subject of this appeal.

**The appeal** requests a front yard setback of 28.67 ft., measured to the foundation of the proposed single family dwelling, with a further projection for a bay window of 1.0 ft. and for roof eaves of 2.0 ft., where front yard averaging requires a minimum setback of 35.66 ft.

In 1991, Council responded to public concerns regarding the bulk and massing of newer and larger homes that were being built in existing neighbourhoods. Several text amendments to the Zoning Bylaw were made to address these concerns, including a requirement to set new construction back from the front property line based on an average of the two dwellings on either side of the subject site. The intent was to help to ease new construction into existing street frontages with minimal impact.

In this case, the front yard averaging calculations are based on the front yard setbacks of the two dwellings at 5449 and 5459 Forglan Drive immediately west of the subject site and on the front yard setback of the dwelling at 4981 Buxton Street immediately east of the subject site. These front yards are 39.23 ft., 39.06 ft. and 28.68 ft. deep respectively, resulting in an average setback of 35.66 ft. The proposed setback is 28.67 ft. The 9 ft. wide bay window, which is proposed in the southern portion of the front elevation, would project a further 1.0 ft. The roof eaves would project further from this southern portion by 2.0 ft. The northern portion of the front elevation is proposed to be set back further by 2.83 ft., resulting in a distance of 31.5 ft. from the foundation to the front property line.

The proposed siting would place the subject dwelling 10.39 ft. in front of the neighbouring dwelling to the northwest and in line with the neighbouring dwelling to the southeast. With respect to the neighbouring dwelling to the northwest, if the actual 'corner to corner' relationship is considered, the subject dwelling would project 7.56 ft. in front of this residence. The proposed side yard setbacks, which measure slightly over 9 ft. on both sides of the proposed dwelling, somewhat mitigate the massing impacts of the proposal.

Also, on the southeast elevation, the second floor is set back a further 1.81 ft. from the front property line, to accommodate a high volume space on the main floor. The result is that the area of the proposed residence that extends past the neighbouring home to the southeast is minimal, consisting primarily of roof elements and a shallow bay window on the main floor.

However, there remains the concern that the proposed siting of the subject dwelling would dominate the neighbouring one-story dwelling to the northwest, which is at lower elevation.

Further, the siting of the proposed dwelling would be approximately 11.33 ft. closer to the front property line than the existing dwelling on the subject site, which observes an approximately 40 ft. front yard setback, similar to the adjacent lots to the northwest. In view of the above, the existing massing relationship between the subject property and the adjacent properties to the northwest would be substantially changed.

With regard to the broader neighbourhood context, three out of five lots in the subject block, excluding the subject lot, observe an average front yard setback of approximately 39-40 ft.

The remaining lot at the south terminus of the subject block (immediately southeast of the subject site), which is an irregular corner lot, observes a shorter front yard setback (28.68 ft.). The proposed siting, while consistent with this southernmost lot, provides an abrupt transition between the longer front yard setbacks to the northwest and the shorter front yard setback of the lot to the southeast. Therefore, the intent of the Bylaw would not be met.

Further, it is noted that the siting of the proposed dwelling would provide for a rear yard setback of approximately 35.18 ft., measured from the rear covered deck. As such, there is still more room for modifying the proposal in order to meet the intent of the Bylaw to ease the new construction into the existing street frontages with minimal impact.

Since this request would create negative impacts on the neighbouring properties and the existing streetscape, this Department **cannot support** to the granting of **this variance**.

ADJACENT OWNER'S COMMENTS:

Correspondence was received on 2015 April 02 from Ms. Claire Stegen, 4981 Buxton Street in opposition to this appeal.

No further submissions were received regarding this appeal.

DECISION:

MOVED BY MR. B. BHARAJ:

SECONDED BY MR. S. NEMETH:

“THAT based on the plans submitted this appeal be ALLOWED.”

FOR: MR. B. BHARAJ  
MR. B. POUND  
MR. G. CLARKE  
MS. C. RICHTER

OPPOSED: MR. S. NEMETH

CARRIED

(b) **APPEAL NUMBER:** B.V. 6152

APPELLANT: Tom Harman

REGISTERED OWNER OF PROPERTY: Tom Harman

CIVIC ADDRESS OF PROPERTY: 16 Holdom Avenue North

LEGAL DESCRIPTION OF PROPERTY: Lot 5; District Lot 218; Plan 4953

APPEAL: An appeal for the relaxation of Sections 105.3(1) and 105.8(1) of the Burnaby Zoning Bylaw which, if permitted, will allow for the construction of a new deck at the rear of a single family dwelling at 16 Holdom Avenue North. The following variances are being requested:

- a) the lot coverage will be 1709.6 square feet where a maximum lot coverage of 1603.7 feet is permitted; and,
- b) the depth of the principal building will be 72.06 feet where a maximum depth of 60.0 feet is permitted.

APPELLANT'S SUBMISSION:

Tom Harman submitted an application for the relaxation of the Burnaby Zoning Bylaw to allow for the construction of a new deck at the rear of a single family dwelling at 16 Holdom Avenue North.

Mr. Tom Harman and Mr. Jason Harman appeared before members of the Board of Variance at the Hearing.

BURNABY PLANNING AND BUILDING DEPARTMENTS COMMENT:

*An appeal for the relaxation of Sections 105.3(1) and 105.8(1) of the Burnaby Zoning Bylaw which, if permitted, will allow for the construction of a new deck at the rear of a single family dwelling at 16 Holdom Avenue North. The following variances are being requested:*

- a) the lot coverage will be 1709.6 square feet. where a maximum lot coverage of 1603.7 square ft. is permitted; and,*
- b) the depth of the principal building will be 72.06 ft. where a maximum depth of 60.0 ft. is permitted.*

The applicant has built an uncovered deck (without permit) at the rear of an existing single family dwelling. The following relaxations are being requested:

- 1) Lot coverage will be 1709.6 sq. ft. where maximum lot coverage of 1603.7 sq. ft. is permitted.
- 2) The depth of the principal building will be 72.06 ft. where a maximum depth of 60 ft. is permitted.

The subject R5 property is located in the Capitol Hill neighbourhood, in which the age and condition of single family dwellings varies. This interior lot, approximately 33 ft. wide and 121.38 ft. long fronts onto North Holdom Avenue to the west. The lot slopes downwards from Holdom Avenue to the lane, so that the house has the appearance of a two storey house in front, and a three storey house at the lane. The subject house was before the Board twice in

1988 for variances to reduce the width of the south side yard. Both requests were granted, and a south side yard of 2.5 ft. where 3.3 ft. is required was approved.

The deck under discussion faces the lane to the east of the principal building.

**The first requested variance would permit the** lot coverage to be 1709.6 sq. ft. where maximum lot coverage of 1603.7 sq. ft. is permitted.

The intent of the Bylaw in regulating lot coverage is to control massing, so that there are no negative impacts on the adjacent properties, and to ensure that there is adequate outdoor recreation area for the subject property.

In this instance, the area under the deck is open, and it does not increase the perception of massing on the subject site. The rear yard has an area 24.38 ft. deep by 33 ft. wide for outdoor recreation, plus access to the 8 ft. by 33 ft. wide area below the deck.

In this instance, the increase in the permitted lot coverage does not appear to have a negative impact on the subject site in terms of removing outdoor living area or creating additional massing. However, it is difficult to determine hardship in this case. Until a year ago, there was a deck off the dining room which spanned half the width of the back of the house. Subsequently, a deck which spans the full 28 ft. width of the house was constructed. When the house received its building permits in 1988, the lot coverage was 1,517 sq. ft. where the Bylaw permits 1,603 sq. ft. Therefore, a deck that is 8 ft. wide and 11 ft. long could be constructed that would comply with the Bylaw. As design options exist to provide a deck that would be in compliance with the Bylaw, this Department **cannot support** this request for a **variance**.

**The second variance would permit** the depth of the principal building to be 72.06 ft. where a maximum depth of 60 ft. is permitted.

The existing house was constructed in 1989 with an attached two car garage facing onto North Holdom. The 68 foot depth of the house was permissible at that time for a house in the R5 zone. In 1996, the R5 Bylaw was changed to restrict the depth of all principal buildings to a maximum of 60 ft. or 50% of the lot depth, with the intention of preventing new dwellings which would present long walls, such that the massing of the building impacted on the neighbouring properties.

The existing house is legal non-conforming by 8 ft.. The proposed deck, which was constructed without the benefit of a building permit, increases the apparent building depth to 76 ft.. However, the measurement of building depth allows for a 3.94 foot projection from the house which is not included in the overall building depth, so that the variance requested is to permit a building which is 72.06 ft. long.

In this instance, the deck is unroofed and underside of the deck is open, which mitigates the perception of the building massing. However, the proposed deck overlooks and further encloses the rear yard of the property to the immediate south, which is already flanked by the south wall of the existing dwelling. In addition, the proposed deck overlooks the rear yard of the property to the immediate north, including a small deck adjacent to the shared property line. As noted above, design alternatives exist to decrease the size of the deck; a smaller deck

could be placed in the center of the rear elevation and thus reduce impacts on the neighbouring properties to either side.

For the reasons stated above, this department **cannot support** the granting of **this variance**.

ADJACENT OWNER'S COMMENTS:

A petition letter, dated 2015 March 29, was received from homeowners/occupants of 3, 9, 12, 14, 17, 18, 21, 41 and 79 Holdom Avenue North, and 11, 15, 51, 91, 105 and 109 Sea Avenue North. The petition read as follows:

“We urge the Board of Variance to reject the above appeal relating to the construction of a sundeck at the rear of the dwelling at 16 Holdom Avenue.”

Correspondence dated 2015 April 01, was received from Jack and Donna Picknell, 14 Holdom Avenue North, in opposition to the appeal.

Correspondence dated 2015 April 02, was received from j. F. Morris, 97 Sea Avenue North, expressing the following two concerns: 1) the balcony, as it is presently constructed, does not have railings or proper support; and 2) if the variance is granted, the owner would then enclose the balcony or the area underneath which the author is opposed to.

Correspondence was received from Ms. A Barbera, occupant of the subject property at 16 Holdom Avenue North, in support of the variance. Ms. Barbera also expressed concern regarding the manner in which the aforementioned petition was presented to the neighbours. Ms. Barbera believes that the information presented by the petitioner was misleading.

Mr. Jack Picknell, 14 Holdom Avenue North, appeared in opposition to the variance requested. Mr. Picknell expressed concern regarding loss of privacy as well as the work having been done without a building permit.

Ms. Barbera, occupant of the subject property appeared in support of the semi-constructed deck.

A petition letter was received from homeowners/occupants of 4, 16, 21, 22, and 41 Holdom Avenue North and 19, 91 and 101 Sea Avenue North in support of the variances requested. The petition read as follows:

“We, the undersigned, neighbours and residents of 16 Holdom Avenue North, support the homeowner’s application, which is currently under review by the City of Burnaby Board of Variance, for permission to construct a new rear-facing deck and toward that end, relaxation of ss 105.3(1) and 105.8(1) of the Burnaby Zoning Bylaws.”



DECISION:MOVED BY MR. B. BHARAJ:SECONDED BY MR. S. NEMETH:

“THAT based on the plans submitted part (a) this appeal be ALLOWED.”

FOR: MR. B. BHARAJ  
MR. B. POUND  
MR. S. NEMETHOPPOSED: MS. C. RICHTER  
MR. G. CLARK

CARRIED

MOVED BY MR. B. BHARAJ:SECONDED BY MR. S. NEMETH:

“THAT based on the plans submitted part (b) this appeal be ALLOWED.”

FOR: MR. B. BHARAJ  
MR. B. POUND  
MR. S. NEMETH  
MS. C. RICHTER

OPPOSED: MR. G. CLARK

CARRIED

(c)

**APPEAL NUMBER:****B.V. 6153**APPELLANT: Reid Thompson, Woodbridge NW (Deer Lake) Homes Ltd.REGISTERED OWNER OF PROPERTY: Woodbridge NW (Deer Lake) Homes Ltd.CIVIC ADDRESS OF PROPERTY: 4991 Claude AvenueLEGAL DESCRIPTION OF PROPERTY: Lot 171; District Lot 85; Plan 40315APPEAL: An appeal for the relaxation of Section 104.8(1) of the Burnaby Zoning Bylaw which, if permitted, will allow for the construction of a new temporary residential sales centre building at 4991 Claude Avenue. The principal

building depth will be 70.0 feet where a maximum building depth of 60.0 feet is permitted.

APPELLANT'S SUBMISSION:

Jim Billingsley, CEO Woddbridge Northwest Communities (property owner) submitted an application for relaxation of the Burnaby Zoning Bylaw to allow for construction of a new temporary residential sales centre building at 4991 Claude Avenue.

Mr. Reid Thompson appeared before members of the Board of Variance at the Hearing.

BURNABY PLANNING AND BUILDING DEPARTMENTS COMMENT:

*An appeal for the relaxation of Section 104.8(1) of the Burnaby Zoning Bylaw which, if permitted, will allow for the construction of a new temporary residential sales centre building at 4991 Claude Avenue. The principal building depth will be 70.0 ft. where a maximum building depth of 60.0 ft. is permitted.*

The applicant is proposing to construct a temporary residential sales centre for which the following variance is requested:

- 1) A principal building depth of 70 ft. where a maximum building depth of 60 ft. is permitted.

The subject site is located in the Rayside neighbourhood, in an area designated for multi-family residential and park uses in the Rayside Community Plan. The subject site is a recently consolidated lot, 106.23 ft. wide x 205.61 ft. deep. It is one of several properties that are the subject of a rezoning proposal from R4 Residential District (single and two family residential) to CD Comprehensive Development District based on the RM2 Multiple Family Residential District (medium density multi-family development). To the north, across Claude Avenue, are undeveloped R4 District lots under City and Provincial ownership. Older single family residences are located to the immediate east of the subject site. The proposed sales centre would be located approximately 167 ft. from the western property line it shares with 4951 Claude Avenue to the west and 30 ft. from the shared property line with the single family dwelling at 5003 Claude Avenue to the east.

The requested variance would permit an overall building depth of 70 ft. where the Bylaw permits 60 ft.. The intent of the Bylaw in regulating building length is to prevent the creating of a long building wall that could create negative effects from massing on neighbouring properties.

The proposed sales centre consists of a 1,761 sq. ft. single storey building. It is located approximately 30 ft. from the closest house, which is 5003 Claude Avenue to the east. This large side yard reduces the impact of the additional building length on the adjacent back yard. In addition, the applicant proposes to construct a solid 6 foot high cedar fence on the shared property line from the front face of the sales centre to the rear of the property. The front yard of the sales centre property will be defined by a three foot tall picket fence.

The additional massing created by the building length is mitigated by the modest scale of the structure and its varied design. The first 41 ft. of the building resembles a house with a traditional pitched roof. This 24 ft. tall “house” is well under the 29.5 ft. Height permitted in the Bylaw for a structure with a sloping roof. The rear 29 ft. of the sales centre is 15 ft. tall, which reduces the massing of the building considerably.

Considering the large size of the subject lot, the solid fence preventing views into the adjacent property and the reduction in building height for the last 29 ft. of the structure, it does not appear that the additional ten ft. of building length will have a negative impact on the adjacent properties. As the intent of the Bylaw is not defeated by this request, this Department **does not** have any objections.

ADJACENT OWNER'S COMMENTS:

No submissions were received regarding this appeal.

DECISION:

MOVED BY MR. B. POUND:

SECONDED BY MR. S. NEMETH:

“THAT based on the plans submitted this appeal be ALLOWED.”

CARRIED UNANIMOUSLY

(d) **APPEAL NUMBER:** **B.V. 6154**

APPELLANT: Gurdeep Sandhar

REGISTERED OWNER OF PROPERTY: Gurdeep and Aneeta Sandhar

CIVIC ADDRESS OF PROPERTY: 5591 Marine Drive

LEGAL DESCRIPTION OF PROPERTY: Lot 9; District Lot 159 and 162; Plan 20185

APPEAL: An appeal for the relaxation of Sections 102.8, 6.14(5)(b) and 800.6 of the Burnaby Zoning Bylaw which, if permitted, will allow for the construction of a new single family dwelling at 5591 Marine Drive. The following variances are being requested:

- a) the front yard setback will be 51.46 feet to the post where a minimum front yard setback of 65.05 feet is required based on front yard averaging;
- b) construction of a retaining wall at the rear of the lot with varying heights up to a maximum of 9.0 feet where the maximum permitted height is 5.91 feet; and,
- c) construction of an accessory building in a required front yard, located 4.0 feet

from the North property line abutting Eleanor Street and 2.0 feet from the West property line, where siting of an accessory building in a required front yard is prohibited by the Zoning bylaw.

**APPELLANT'S SUBMISSION:**

Gurdeep Sandhar submitted an application for the relaxation of the Burnaby Zoning Bylaw to allow for the construction of a new single family dwelling at 5591 Marine Drive.

Mr. Gurdeep and Mrs. Aneeta Sandhar, homeowners, and Mr. Abtar Sandhar, brother of homeowners, appeared before members of the Board of Variance at the Hearing.

**BURNABY PLANNING AND BUILDING DEPARTMENTS COMMENT:**

*An appeal for the relaxation of Sections 102.8, 6.14(5)(b) and 800.6 of the Burnaby Zoning Bylaw which, if permitted, will allow for the construction of a new single family dwelling at 5591 Marine Drive. The following variances are being requested:*

- a) the front yard setback will be 51.46 ft. to the post where a minimum front yard setback of 65.05 ft. is required based on front yard averaging;*
- b) construction of a retaining wall at the rear of the lot with varying heights up to a maximum of 9.0 ft. where the maximum permitted height is 5.91 ft.; and,*
- c) construction of an accessory building in a required front yard, located 4.0 ft. from the North property line abutting Eleanor Street and 2.0 ft. from the West property line, where siting of an accessory building in a required front yard is prohibited by the Zoning bylaw.*

The applicant is proposing to build a new single family dwelling. The following variances have been requested:

- 1) The front yard setback from Marine Drive will be 51.46 ft. to the post where a minimum front yard setback of 65.05 ft. is required based on front yard averaging.
- 2) The relaxation of Section 6.14(5)(b) of the Zoning Bylaw, which, if permitted, will allow for the construction of a retaining wall at the rear of the lot with varying heights up to a maximum of 9.0 ft. where the maximum permitted height is 5.91 ft..
- 3) The relaxation of Section 800.6 of the Zoning Bylaw which if permitted, will allow an accessory building in a required front yard, located 4.0 ft. from the north property line abutting Eleanor Street and 2.0 ft. from the west property line, where siting of an accessory building in a required front yard is prohibited.

The subject site is located in the Big Bend area, in which the age and condition of single family dwellings vary. This rectangular interior lot, approximately 65 ft. wide by 153.29 ft. long, fronts onto the north side of Marine Drive, and also fronts onto the south side of Eleanor Street. Abutting the subject site to the east and west are single family dwellings. To the south, across Eleanor Street, are single family dwellings that sit higher on the slope than the subject lot. Existing and proposed vehicular access to the site is provided by Eleanor Street.

The site slopes downwards from the high point of 69.4 ft. at the northwest corner of the Eleanor Street property line to 46.6 ft. at the south west corner of the front property line on Marine Drive, dropping 22 ft. over the 153.29 foot length of the lot. The land continues to slope downwards across Marine Drive and the lots beyond.

The **first requested variance** would permit: front yard setback on Marine Drive to be 51.46 ft. to the front porch post where a minimum front yard setback of 65.05 ft. is required based on front yard averaging.

In 1991, Council responded to public concerns with respect to the bulk and massing of newer and larger homes that were being built in existing neighbourhoods. Several text amendments to the Zoning Bylaw were made to address these concerns, including a requirement to set new construction back from the front property line based on an average of the the houses on either side of the subject site. The intent was to help to ease the new construction into existing street frontages with minimal impact. In this case, the front yard averaging calculation is based on the front yards of four single family dwellings to the east and west of the subject site. These front yards and their respective depths are 5611 and 5525 Marine Drive to the east (69.95 ft. and 68.92 ft.) and 5571 and 5581 Marine Drive to the west (61.58 ft. and 59.74 ft.).

The front yard on the subject site has been measured from the Marine Drive property line to the front porch posts of the house, which project 3.92 ft. from the front face of the house. The portion of the house immediately adjacent to 5611 Marine Drive is further set back by 3.5 ft., so that in a corner to corner relationship, the subject house has a setback of 58.86 ft., and 5611 Marine Drive has a setback of 69.95 ft., placing the proposed house 11 ft. in front of 5611 Marine Drive.

The required setback of 65.05 ft., based on front yard averaging, would be consistent with the existing streetscape of the newer houses on Marine Drive. However, this may not be achievable with the current design of the principal building, given the required 42.85 ft. front yard setback from Eleanor Street based on front yard averaging. As proposed, the dwelling observes a 53.25 ft. setback from Eleanor Street, consistent with Bylaw requirements. The same dwelling, if shifted 10.4 ft. north, would observe the minimum required front yard setback from Eleanor Street and a 61.86 ft. setback from Marine Drive. If the depth of the building were reduced by 3.19 ft., it could achieve compliance with both required setbacks.

As the request appears to be the result of a design preference, and alternatives exist, this Department **cannot support** the granting of **this variance**.

The **second requested variance** is for the: relaxation of Section 6.14(5)(b) of the Zoning Bylaw, which, if permitted, will allow for the construction of a retaining wall at the rear of the lot with varying heights up to a maximum of 9.0 ft., where the maximum permitted height is 5.91 ft.

The proposed retaining wall runs east-west across the property, 29.5 ft. from the front property line at Eleanor Street. The retaining wall would support the parking area and a garage built at the existing level of Eleanor Street (elev. 69.4 ft.). The elevation at the bottom of the retaining wall would be approximately 61.0 ft.. At this level, a 28.6 ft. wide yard would extend to the rear face of the house, and within this area, two small sunken patios at an elevation of 52.17 ft. would connect with the cellar level.

The intent of the Bylaw in restricting height of walls in the front yard is to ensure uniform, open front yards and to limit the massing impacts on the neighbours.

In this case, the retaining wall would be visible primarily to the residents of the proposed house, and would not have a negative massing impact on the neighbouring properties. As this variance request does not defeat the intent of the Bylaw, this department has **no objections**.

The **third requested variance** is for the: relaxation of Section 800.6 of the Zoning Bylaw which, if permitted, will allow an accessory building in the required front yard, located 4.0 ft. from the north property line abutting Eleanor Street and 2.0 ft. from the west property line, where the siting of an accessory building in a required front yard is prohibited.

The intent of the Bylaw in prohibiting accessory buildings within the required front yard is to provide a uniform streetscape with open front yards and to limit massing impacts on neighbouring properties. The proposal shows a two car garage 21 ft. wide by 21 ft. deep and approximately 12 ft. tall placed in the northwest corner of the site. It is noted that the Engineering Department requires the new dwelling on Marine Drive to take access from Eleanor Street.

With respect to the subject streetscape, none of the properties on either side of Eleanor Street have garages in their front yards. Moreover, design alternatives exist to locate a garage further away from the Eleanor Street property line, either by integrating it into the proposed dwelling or directly adjacent to it. While these alternatives may necessitate some encroachment into the required 42.85 ft. setback, the placement of the garage directly adjacent to the street is not warranted by any hardship.

As design alternatives exist to provide a garage that would not be in the Eleanor Street front yard, and the proposed garage would be an anomaly in the open front yards of Eleanor Street, the proposal would defeat the intent of the Bylaw. For this reason, this Department **cannot support** the request for **this variance**.

ADJACENT OWNER'S COMMENTS:

No submissions were received regarding this appeal.

DECISION:

MOVED BY MR. S. NEMETH:  
SECONDED BY MR. B. POUND:

“THAT based on the plans submitted part (a) this appeal be ALLOWED.”

FOR: MR. B. BHARAJ  
MR. B. POUND  
MR. S. NEMETH  
MR. G. CLARK

OPPOSED: MS. C. RICHTER

CARRIED

MOVED BY MR. S. NEMETH:  
SECONDED BY MR. B. POUND:

“THAT based on the plans submitted part (b) this appeal be ALLOWED.”

CARRIED UNANIMOUSLY

MOVED BY MR. S. NEMETH:  
SECONDED BY MR. B. POUND:

“THAT based on the plans submitted part (c) this appeal be ALLOWED.”

CARRIED UNANIMOUSLY

(e) **APPEAL NUMBER:** B.V. 6155

APPELLANT: Avtar Basra

REGISTERED OWNER OF PROPERTY: Canada Haojun Development Group Co. and  
A-G Tej Construction Ltd

CIVIC ADDRESS OF PROPERTY: 6696 Aubrey Street

LEGAL DESCRIPTION OF PROPERTY: Lot 3; District Lot 132; Plan 20814

**APPEAL** An appeal for the relaxation of Section 6.3.1 of the Burnaby Zoning Bylaw which, if permitted, will allow for the construction of a new two family dwelling with a detached garage at 6696 Aubrey Street. The distance between the principal building and detached garage is 6.01 feet where a minimum distance of 14.8 feet is required. (Zone R-4).

*A previous Board of Variance (BOV 6140 2015 January 08) allowed: a) the principal building front yard setback from the east property line of 36.0 feet where a minimum 40.0 feet is required; and b) the detached garage measured from the north property line of 16.0 feet where a minimum 24.6 feet is required.*

**APPELLANT'S SUBMISSION:**

Avtar Basra submitted an application for relaxation of the Burnaby Zoning Bylaw to allow for construction of a new two family dwelling with a detached garage at 6696 Aubrey Street.

Mr. Vikram Tiku appeared before members of the Board of Variance at the Hearing on behalf of the homeowners.

**BURNABY PLANNING AND BUILDING DEPARTMENTS COMMENT:**

*An appeal for the relaxation of Section 6.3.1 of the Burnaby Zoning Bylaw which, if permitted, will allow for the construction of a new two family dwelling with a detached garage at 6696*

***Aubrey Street. The distance between the principal building and detached garage is 6.01 ft. where a minimum distance of 14.8 ft. is required.***

***A previous Board of Variance (BOV 6140 2015 January 08) allowed: a) the principal building front yard setback from the east property line of 36.0 ft. where a minimum 40.0 ft. is required; and b) the detached garage measured from the north property line of 16.0 ft. where a minimum 24.6 ft. is required.***

The applicant proposed to construct a new two family dwelling with two detached garages at 6696/6698 Aubrey Street. The following variances are requested: the distance between the principal building and detached garage is 6.01 ft. where a minimum distance of 14.8 ft. is required.

The subject site, zoned R4 Residential District, is located in the Lochdale neighbourhood in which the age and condition of single and two-family dwellings vary. This corner lot, approximately 83.1 ft. wide and 121 ft. deep, fronts Sperling Avenue to the east and flanks Aubrey Street to the north. Abutting the site to the south and across the lane to the west are single family dwellings. Vehicular access to the subject property is proposed via the lane. The subject lot is relatively flat with a downward slope of approximately 3.6 ft. in the northwest-southeast direction. The subject site is currently vacant. The subject lot is proposed to be developed with a new two-family dwelling including two (2) two-car detached garage, for which one variance has been requested.

**Note:** The address of this lot has recently been changed from 1205 Sperling Avenue to 6696/6698 Aubrey Street.

On 2015 January 08, the Board approved the following requests (BV 6140): a) a principal building front yard setback, measured from the east property line to the principal building of 36.0 ft. where a minimum of 40.0 ft. is required based on front yard averaging; and b) a proposed detached garage (B-North) measured from the north property line to the detached garage, of 16.0 ft. where a minimum of 24.6 ft. is required. In the current proposal, the eastern front yard setback remains at 36 ft. The two detached single car garages have been replaced by two (2) two-car garages placed side by side in the south west corner of the lot.

**The appeal** proposes a distance between the principal building and detached garage of 6.01 ft. where a minimum distance of 14.8 ft. is required.

The Bylaw requires a separation between a principal building and an accessory building (in this case, the detached garage) to ensure that the overall massing of the buildings does not have a negative impact on subject and neighbouring properties, as well as to provide for sufficient outdoor living space.

With respect to the existing streetscape, the proposed double garage would be located 4.0 ft. from the south west corner of the lot at the lane. The proposed garage would be offset from the garage across the lane at 6690 Aubrey Street. The gable end of the garage would face the back yard of 1255 Sperling Avenue. It does not appear that the placement of the garage in this location would have an adverse effect on the adjacent properties. However, this



Department notes that the previous proposal, which the Board approved, was less intrusive because it consisted of two single car garages, with significantly less floor area, and the massing was broken up by the driveway which separated them.

In addition, the western unit of the duplex would be negatively impacted by the location of the proposed garage. The 6 foot separation requested between the garage and the house would occur for a distance of 36 ft. on the western side. (This Department notes that in the previous proposal, the garage exceeded the required 14.8 ft. separation from the principal building). In this proposal, the garages have increased in size, from two single garages totaling 453.6 sq. ft. to a twinned two car garage totaling 800 sq. ft.. The garages have also increased in height from 9.0 ft. to 14.0 ft. The presence of the garage wall located 6 ft. from the west side of the duplex for a distance of 36 ft. will have an adverse effect on the living space on the ground floor of the western duplex, in terms of light and views, as the kitchen and the wok kitchen have small windows that will face onto the garage wall. As well, the garage occupies almost 40% of the side yard of the western duplex, leaving little room for outdoor recreation for this unit.

This variance request appears to be the result of a design choice rather than hardship, as alternatives exist to redistribute or reduce the proposed floor area to meet the required setback. It is noted that the Board has already approved a variance that would permit two smaller garages that would have less of an impact. As design solutions exist, and an alternative has been approved, this Department **cannot support** the granting of **this variance**.

ADJACENT OWNER'S COMMENTS:

No submissions were received regarding this appeal.

DECISION:

MOVED BY MR. G. CLARK:

SECONDED BY MR. B. BHARAJ:

“THAT based on the plans submitted this appeal be ALLOWED.”

FOR: MR. G. CLARK  
MR. B. BHARAJ

OPPOSED: MR. B. POUND  
MR. NEMETH  
MS. C. RICHTER

DENIED

(f) APPEAL NUMBER:

**B.V. 6156**

APPELLANT: Afsana Malik

REGISTERED OWNER OF PROPERTY: Darmendra and Shoba Singh

CIVIC ADDRESS OF PROPERTY: 5875 Royal Oak Avenue

LEGAL DESCRIPTION OF PROPERTY: Lot 50; District Lot 32; Plan 17623

APPEAL: An appeal for the relaxation of Sections 104.8(1), 104.9 and 104.11 of the Burnaby Zoning Bylaw which, if permitted, will allow for construction of a new single family dwelling at 5875 Royal Oak Avenue. The following variances are being requested:

- a) the depth of the principal building will be 41.17 feet where a maximum depth of 30.88 feet is permitted based on 50 percent of the lot depth;
- b) the front yard setback will be 11.00 feet to the porch post where a minimum front yard setback of 42.75 feet is required based on front yard averaging. The porch overhang and stairs project 2.0 feet and 1.83 feet respectively beyond the foundation; and,
- c) the rear yard setback will be 11.33 feet to the foundation where a minimum setback of 29.5 feet is required. The overhang projects 2.5 feet beyond the foundation.

APPELLANT'S SUBMISSION:

Afsana Malik, on behalf of the homeowners, submitted an application for relaxation of the Burnaby Zoning Bylaw to allow for construction of a new single family dwelling.

Ms. Malik, Mr. Darmendra and Shoba Singh appeared before members of the Board of Variance at the Hearing.

BURNABY PLANNING AND BUILDING DEPARTMENTS COMMENT:

*An appeal for the relaxation of Sections 104.8(1), 104.9 and 104.11 of the Burnaby Zoning Bylaw which, if permitted, will allow for construction of a new single family dwelling at 5875 Royal Oak Avenue. The following variances are being requested:*

- a) the depth of the principal building will be 41.17 ft. where a maximum depth of 30.88 ft. is permitted based on 50 percent of the lot depth;*
- b) the front yard setback will be 11.00 ft. to the porch post where a minimum front yard setback of 42.75 ft. is required based on front yard averaging. The porch overhang and stairs project 2.0 ft. and 1.83 ft. respectively beyond the foundation; and,*
- c) the rear yard setback will be 11.33 ft. to the foundation where a minimum setback of 29.5 ft. is required. The overhang projects 2.5 ft. beyond the foundation.*

The applicant is proposing to build a new single family dwelling. The following relaxations are being requested:

- 1) The depth of the principal building will be 41.17 ft. where a maximum depth of 30.88 ft. is permitted based on 50 percent of the lot depth;
- 2) The front yard setback will be 11.00 ft., to the porch post, where a minimum front yard setback of 42.75 ft. is required based on front yard averaging. The porch overhang projects 2.0 ft. beyond the foundation. The porch stairs project 1.83 ft. beyond the foundation; and,
- 3) The rear yard setback to the foundation will be 11.33 ft. where a minimum rear yard setback of 29.5 ft. is required. The overhang projects 2.5 ft. beyond the foundation.

The subject site is located in the Marlborough area, in a single and two family residential neighbourhood where the age and condition of the dwellings vary. This triangular shaped, approximately 6,775.88 sq. ft. corner lot measures 114.04 ft. along its Royal Oak Avenue frontage by 94.32 ft. along the interior property line on the north. The subject property observes an upward slope of approximately 7.2 ft. in the north-south direction.

Immediately to the north of the site is a single family home which also fronts onto Royal Oak Ave. Across the rear lane on the west side of the subject lot are the rear yards of four single family dwellings that front onto Forglen Drive. Vehicular access to the site is proposed from the lane, at the northwest corner of the lot. A new single family dwelling with an attached garage is proposed for the subject site, for which three variances are requested.

The **first appeal** proposes a principal building depth of 41.17 ft. where a maximum depth of 30.88 ft. is permitted based on 50 percent of the lot depth.

The Bylaw's intent in limiting the building depth is to prevent the creation of dwellings that present a long "wall", such that the massing of the building impacts neighbouring properties. In this case, the building depth calculation is based on the projected building depth onto the lot depth, which is the line joining the centre points of the front and rear property lines. Due to the site geometry, this line is on an angle in relation to the front property line. Measured along this line, the proposed building depth is 41.17 ft., which exceeds the maximum permitted building depth by 10.29 ft. Given the orientation of the lot, the relaxation of the lot depth at the south west corner of the house would be most visible from the back yards of the properties at 5918 Forglen Avenue and 5883 Royal Oak Avenue. The view of the proposed house from the rear yard of 5918 Forglen Avenue, which would be approximately 76 ft. distant, would be screened by the garage of 5918 Forglen Avenue, which is located at the lane. The house at 5883 Royal Oak is sited to emphasize the views to the south west, looking away from the proposed house. Consequently, the closest portion of the house at 5883 Royal Oak is 120 ft. distant from the closest wall of the proposed house. The proposed depth of the new house is not likely to have an adverse effect on either property due to the distances involved. As the intent of the Bylaw would not be defeated by the granting of this variance, this Department **does not object** to the granting of **this variance**.

The **second** and **third variances** are interrelated and the result of the triangular shape of the lot, so they will be discussed together. The second variance and third variances are as follows:

The front yard setback, to the porch post, will be 11.00 ft. where a minimum front yard setback of 42.75 ft. is required based on front yard averaging. The porch overhang projects 2 ft. beyond the foundation. The porch stairs project 1.83 ft. beyond the foundation.

The rear yard setback to the foundation will be 11.33 ft. where a minimum rear yard setback of 29.5 ft. is required. The overhang projects 2.5 ft. beyond the foundation.

In 1991, Council responded to public concerns with respect to the bulk and massing of newer and larger homes that were being built in existing neighbourhoods. Several text amendments to the Zoning Bylaw were made to address these concerns, including a requirement to set new construction back from the front property line based on an average of the the houses on either side of the subject site. The intent was to help to 'ease' the new construction into existing street frontages with minimal impact.

When front yard averaging is applied to a triangular shaped lot, the available building envelope becomes very restricted. In this case, the front yard averaging calculation is based on the front yards of two single family dwellings on rectangular lots at 5839 and 5849 Royal Oak Avenue immediately north of the subject site. These front yards are 31.83 ft. and 53.67 ft. deep respectively. The front yard setback of the dwelling at 5849 Royal Oak particularly affects the average.

In this case, the front yard measurement for the subject site is taken from the front property line to the post on the front porch. The porch overhang projects 2 ft. beyond the foundation. The porch stairs project 1.83 ft. beyond the foundation. The proposed house would be 20.83 ft. in front of the house immediately to the north. However, it would not be possible to construct a house that meets the front yard averaging requirement of 42.75 ft. and a rear yard setback requirement of 29.5 ft. , because the subject lot is a triangular shape. The lot depth at the side of the triangle, at right angles to the Royal Oak frontage where the lot deepest, is only 93.92 ft. deep, and the lot depth continues to decrease to a narrow point at the southwest corner, 114.11 ft. away.

The proposed house is situated so that the requested variances for front and rear setbacks are both approximately 11.0 ft..

As such, the proposed design attempts to balance the front and rear yard variances. In the case of the rear yard, the setback is measured at the closest point of the structure to the curving rear property line. This is the most extreme condition; at the foundation closest to the northern property line, the house is 32.1 ft. from the rear property line.

The intent of the Bylaw in requiring a rear yard setback is to ensure sufficient outdoor living area in the rear yard and to mitigate the massing impacts of new buildings or structures on neighbouring properties. Given the geometry of the site, which permits a greater rear yard setback along the northern property line, which borders the only abutting lot, the impacts of the proposal on adjacent properties appear to be minimal. In addition, outdoor living space has been provided in the rear yard, plus in the triangular yard at the south end of the lot,

which is approximately 1,092 sq. ft. As such, the outdoor living space for the occupants would not be compromised by this proposal.

In view of the above, this Department **does not object** to the granting of **this proposal**.

ADJACENT OWNER'S COMMENTS:

No submissions were received regarding this appeal.

DECISION:

MOVED BY MR. B. POUND:

SECONDED BY MR. S. NEMETH:

“THAT based on the plans submitted part (a) this appeal be ALLOWED.”

CARRIED UNANIMOUSLY

MOVED BY MR. B. POUND:

SECONDED BY MR. S. NEMETH:

“THAT based on the plans submitted part (b) this appeal be ALLOWED.”

CARRIED UNANIMOUSLY

MOVED BY MR. B. POUND:

SECONDED BY MR. S. NEMETH:

“THAT based on the plans submitted part (c) this appeal be ALLOWED.”

CARRIED UNANIMOUSLY

**5. NEW BUSINESS**

No items of new business were brought forward at this time.

ADJOURNMENT

MOVED BY MR. B. POUND:  
SECONDED BY MR. S. NEMETH:

"THAT this Hearing do now adjourn."

CARRIED UNANIMOUSLY

The Hearing adjourned at 3:05 p.m.

\_\_\_\_\_  
Ms. C. Richter

\_\_\_\_\_  
Mr. B. Bharaj

\_\_\_\_\_  
Mr. G. Clark

\_\_\_\_\_  
Mr. S. Nemeth

\_\_\_\_\_  
Mr. B. Pound

\_\_\_\_\_  
E. Prior  
Administrative Officer



# Board of Variance Appeal Application Form

## OFFICE OF THE CITY CLERK

Burnaby City Hall, 4949 Canada Way, Burnaby BC, V5G 1M2, Phone: 604-294-7290 Email: clerks@burnaby.ca

### Applicant

Name of Applicant VIKAS KAPOOR  
 Mailing Address 1086. 208A ST.  
 City/Town LANGLEY BC Postal Code V2Y 0J2  
 Phone Number(s) (H) \_\_\_\_\_ (C) 778-995-1537  
 Email KAPOORHOMES@GMAIL.COM  
 Preferred method of contact: ☒ email ☐ phone ☐ mail

### Property

Name of Owner DALJIT DHALIWAL  
 Civic Address of Property 7368 BARNET RD.  
BURNABY BC

I hereby declare that the information submitted in support of this application is, to the best of my knowledge, true and correct in all aspects, and further that my plans have no conflict with municipal bylaws other than those applied for with in this application.

MAR 25 / 2015  
 Date

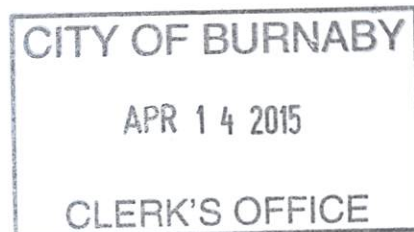
[Signature]  
 Applicant Signature

### Office Use Only

Appeal Number BV# 6/58

#### Required Documents:

- ☐ Hardship Letter from Applicant
- ☐ Site Plan of Subject Property
- ☐ Building Department Referral Letter



**From:** Vikas Kapoor  
7086 208a St  
Langley, BC  
V2Y0J2

**To:** Burnaby Board of Variance  
Burnaby City Hall  
4949 Canada Way, Burnaby, BC  
V5G 1M2

Mar. 25 2015

**Re: Variance to retaining wall regulations to allow construction of retaining walls at the front and rear of 7368 Barnet Road.**

Dear Board of Variance Members,

We are requesting a variance to the Building Bylaw that regulates Front and Rear Yard Retaining Wall Heights. Due to the sloping nature of the Lot, we feel that there is a natural physical hardship that would warrant this request.

The existing grades on both sides of 7368 Barnet Road create a situation that requires varying height retaining walls at the front of the property to allow for a reasonably sloped driveway. As well, the same existing grades on either side of the property will require retaining walls at the rear of the property to allow for the construction of a single family dwelling.

Although we are aware that a previous application for the same request was approved last year, and that each new application and decision is independent from previous ones, I thought it was important to note that for this application, as the home designer, I made every effort to maintain and even reduce the overall height variance previously requested. In the front yard, the retaining wall design is exactly the same as the previous application and at the rear yard the highest point on the varying height walls was reduced.

We feel that the proposed retaining walls fit the intent of the bylaw and do not negatively impact any of the neighbouring properties.

Thank you for your time and consideration.

Sincerely

A handwritten signature in black ink, appearing to be 'Vikas Kapoor', with a stylized, flowing script.

Vikas Kapoor




**BOARD OF VARIANCE REFERRAL LETTER**

<b>DATE:</b> March 27, 2015		<b>DEADLINE:</b> April 14, 2015 for the May 7, 2015 hearing		<i>This is <u>not</u> an application. Please take letter to Board of Variance. (Clerk's office - Ground Floor)</i>
<b>NAME OF APPLICANT:</b> Harp Badesha				
<b>ADDRESS OF APPLICANT:</b> 14626-58 Ave Surrey, B.C. V3S 1S2				
<b>TELEPHONE:</b> 604.306.2017				
<b>PROJECT</b>				
<b>DESCRIPTION:</b> New single family dwelling				
<b>ADDRESS:</b> 7368 Barnet Road				
<b>LEGAL:</b>	<b>LOT:</b> 131	<b>DL:</b> 216	<b>PLAN:</b> 11241	

The above mentioned application, which includes the attached plan of the proposal, has been refused by the Building Department on the basis of contravention of:

**Zone/Section(s) R2 [6.14(5)(a); 6.14(5)(b)]**  
of the Burnaby Zoning Bylaw No. 4742

**COMMENTS:**

The applicant is proposing to build a new single family dwelling. The following relaxations are being requested.

- 1) The relaxation of 6.14(5)(a) of the Zoning By-Law which, if permitted, will allow for the construction of a retaining wall at the frontage of Barnet Road with varying heights up to a maximum of 16.53 feet where the maximum permitted height is 3.28 feet.
- 2) The relaxation of 6.14(5)(b) of the Zoning By-Law which, if permitted, will allow for the construction of a retaining wall at the rear of the lot with varying heights up to a maximum of 13.67 feet where the maximum permitted height is 5.91 feet.

*Note: The applicant recognizes that should the project contain additional characteristics in contravention of the zoning by-law a future appeal(s) may be required*

DS

*Kushnir*

Peter Kushnir  
Assistant Chief Building Inspector, Permits and Customer Service

# Barnet Rd. Residence

Residential Home Plans For:  
7368 Barnet Road  
Burnaby, BC

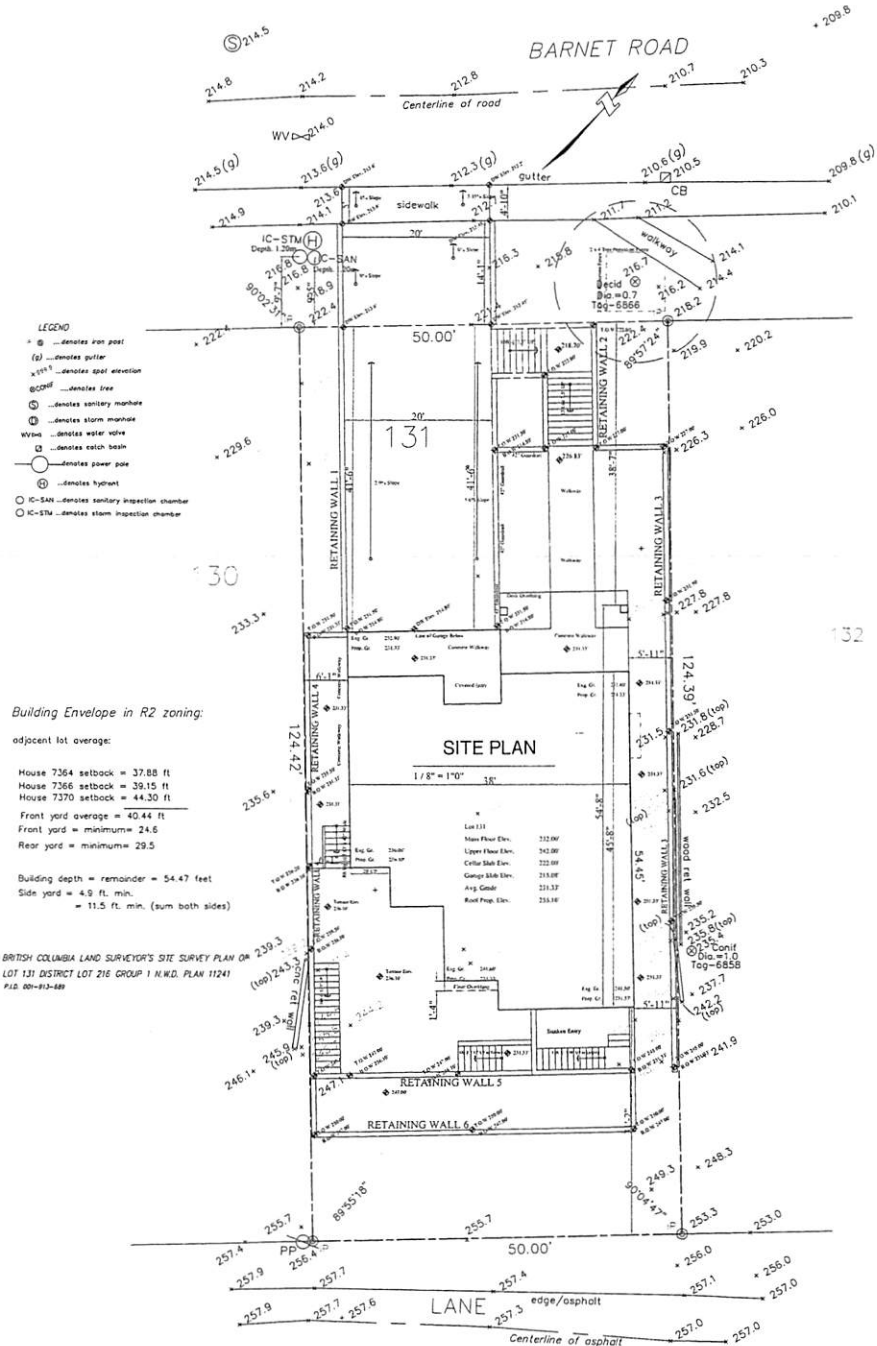
RECEIVED  
MAR 19 2015  
BUILDING DEPARTMENT

## Zoning

Address	7368 Barnet Road Burnaby BC
Lot#	Lot 131
Legal Description	Lot 131, DL 216, Group 1 NWD Plan 11241
Lot Size	577.85 m <sup>2</sup> (6220 sf)
Lot Coverage	Allowable 40% = 2488 sf Proposed = 1823 sf
Building Size	Max Permitted .60% = 3732 SF Proposed = 3730 SF Above Grade .40% = 2643 SF Proposed = 2643 SF
	Main 1445 sf Upper 1198 sf Cellar 1087 sf Sec. Suite 507 sf Attached Garage 452 sf Covered Deck Allow. 298 sf Covered Entry 54 sf Open Area (over 12') 55 sf Accessory 0 sf Proposed Deck 283 sf
	Total FAR 3730 sf Total Coverage 1823 sf
Building Height	7.4m Max Height
Proposed Use	Single Family Dwelling
Zone	R2
Heating	Radiant In Floor Heating and Forced Air Electric Baseboard Heating in Sec. Suite

## Drawing List

Page No.	Drawing
A1-0	Site Plan & Zoning Info
A2-0	Cellar Floor Plan & Suite Details
A3-0	Main & Upper Floor Plan
A4-0	Front & Rear Elevation & Roof Layout
A5-0	Left & Right Elevation & Energy Calcs.
A6-0	Cross Sections
A7-0	Retaining Walls
A8-0	Details
A9-0	
A -0	



Notes	Builder	Site	Drawing Title	Sheet
Kapoor Home Design Ltd. assumes no responsibility for structural or dimensional errors or omissions or any liability that may result during or after construction. The contractor and/or owner must verify all drawings and verify Kapoor Home Design Ltd. of any errors or omissions prior to the start of construction. Without dimensions shall have precedence over actual dimensions. These Plans conform to latest edition of BC Building Code (2012).	Kapoor Home Design Ltd. 8661 201 St Langley BC 778-995-1537 kapoorhomes@gmail.com	Avaya Homes Ltd. 604-306-2017	7368 Barnet Road	Site Plan A1-0

BUILDING DEPARTMENT

255.63'	Max Permitted Height
255.16'	Max Proposed Height
253.33'	T/O of Flat Roof
252.00'	T/O Upper Floor Wall Plate

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242.00' Under Floor Elevation

241.00	T/O Main Floor Top Plate
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232.00'	Main Floor Elevation
	Ex. Gr.
	Prop. Gr.

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222.00' Cellar Slab Elevation

26- Garage Slab Elevation

Flat Roof Below above

Master Bedroom 3

24° Roof Overhang Unless Noted otherwise

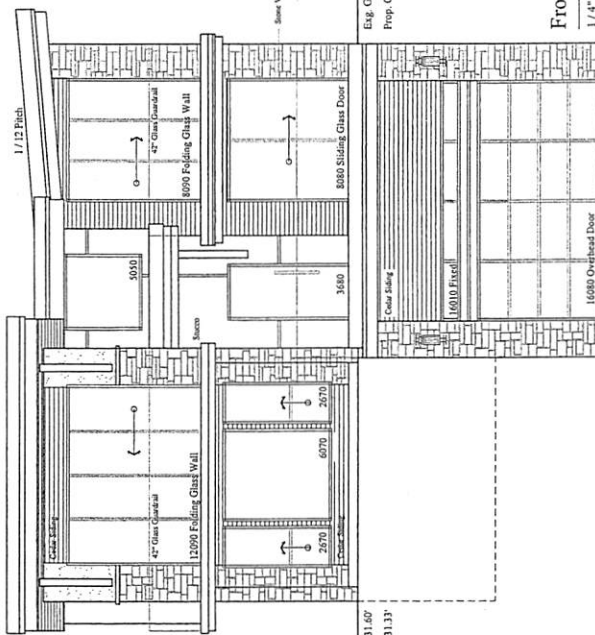
Flat Reef

---

7

5' Roof Overhang

Roof Layout  
3 x 16" = 1'0"



### Front Elevation

$$\frac{0.1 = 4/I}{I}$$

255.63'	Max Permitted Height
255.16'	Max Proposed Height
253.33'	T/O of Flat Roof
252.00'	T/O Upper Floor Wall Plate

--	--

1000

292.00'	Upper Floor Elevation
241.00'	T/O Main Floor Top Plate

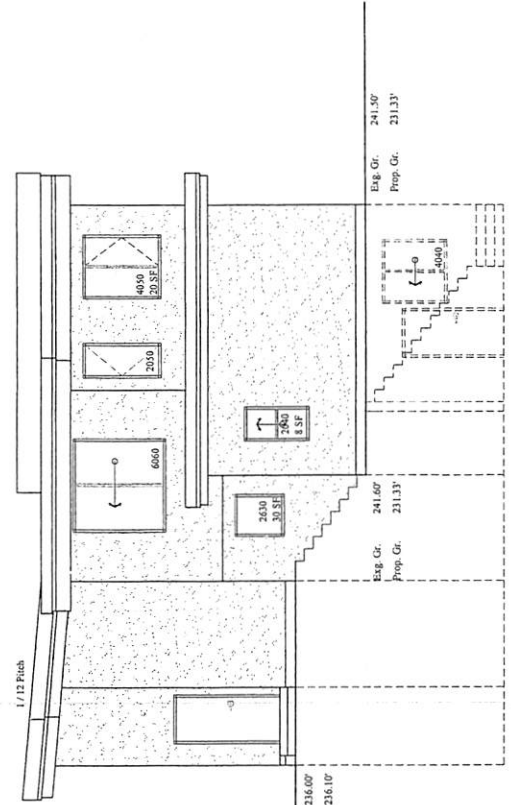
Proj	Eng

213.00' Main Floor Elevation

---

222.00' Celler Slab Elevation

215.08' Garage Slab Elevation



6158

8519

### 3.(b)

Notes	<p>Kapoor Home Design Ltd. 8661 201 St Langley BC          kpoorthomes@gmail.com 779-591-3371          Aanya Homes Ltd. 604-306-2017</p>		<p>that have precedence over isolated dimensions. These Plans contain no larger details of Building Code(2012) and will be subject to change. It is the responsibility of the contractor to ensure that all dimensions, materials and details are in accordance with the Building Code(2012) and the approved plans. The contractor shall be responsible for any errors or omissions in the drawings.</p>
Sheet	Site	Drawings title	<p>Front &amp; Rear Elevations &amp; Roof Layout</p>
			<p>7368 Barnet Road</p>
			<p>A4-0</p>



-27-

6/58

3.(b)

Notes		Kapoor Home Design Ltd. 8661 201 St Langley BC 778-995-1517 kapoorhome@gmail.com	Builder Arya Homes Ltd. 604-306-2017	7368 Barnet Road	Cross Sections	A6-0
Kapoor Home Design Ltd. assumes no responsibility for structural or dimensional errors or omissions or liability for any errors or omissions prior to the start of construction. The contractor shall verify all drawings and details against the approved drawings and specifications. These drawings shall be used in accordance with the Building Code (BCA2012).		Sheet				

Top of Nosing to Revealed Edge 8mm

Stair Detail

1 / 2" = 1' 0"

Typical Window Seat Detail

Typical Window Seat Detail

1 / 2" = 1' 0"

Specifications

- Roofing  
Air Film (Exterior)  
Min. 2 Coats Suco  
Approved Roofing Underlay  
Min. 1/2" Plywood or OSB Sheathing  
R-20 Insulation  
2x12 Min. @ 16 o/c  
Poly Battic  
Gypsum Board  
Air Film (Interior)
- Ceiling  
R-31 Batt Insul. in vaulted ceiling  
Min. 6 mil. Poly Barrier  
3/4" Gypsum Ceiling Board  
Air Film (Interior)
- Soffit  
Soffit as per Owner/Design Guidelines  
(Provide insulation baffle between each truss w/ min. 2 1/2" clear space)
- Exterior Wall  
Air Film Exterior  
Min. 2 Coats Suco  
Air Cavity (rainscreen)  
Building Paper  
Min. 1/2" Plywood or OSB Sheathing  
Schematic req. as per Engineer  
R-20 Batt Insulation  
2x6 studs @ 16" o/c  
Min. 6 mil. poly vapour barrier  
1/2" Gypsum Board  
Air Film (Interior)
- Interior Partition  
2x4/2x6 studs @ 16" o/c as per P. Eng  
1/2" Gypsum Board  
Air Film (Interior)
- Basement Concrete Slab  
Min. 4" Conc. Slab c/w P. Eng approved Rebar if Required  
2" XPS Insulation  
Air Film Exterior  
6" Compacted Sand or Gravel  
4" dia. Drain tile  
c/w min. 6" drainage rock cover all around
- Heated Flooring  
Air Film (Interior)  
Finish Flooring as per Owner  
1.5" light weight conc. topping  
Min. 1/2" T&G Sheathing  
Min. 2 x 10 Floor Joists as per Engineer  
2 x 2 cross bridging @ 6' 0" o/c max.

All Beams and Floor Joists to be Engineered by Structural Engineer  
All Construction to Conform to BCBC2012 or Better.  
All Roof Trusses to be Engineered by Supplier.  
Basement Slab Height above Sanitary Invert to be confirmed by Contractor prior Construction to ensure conformance to Building Code.

Typical Railed Crawlspace Footing

Typical Railed Crawlspace Footing

1' 4" x 1' 0"

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Max Permitted Height  
255.63'  
Max Proposed Height  
253.33'  
T.O. of Flat Roof  
252.00'  
T.O. Upper Floor Wall Plate

Upper Floor Elevation  
242.00'  
T.O. of Flat Roof  
243.33'  
T.O. Main Floor Top Plate

Main Floor Elevation  
232.00'

Cellar Slab Elevation  
222.00'

Heating: Radiant in Floor Heating plus Forced Air

Cross Section 1 / 4" = 1' 0"

1 Kitchen 2 Pantry 3 Walk IN 4 Ensuite 5 Suite Bedroom 6 Hallway 7 Landing Box 8 Fix Room 9 Laundry 10 Bath 11 Hallway 12 Garage

Max Permitted Height  
255.63'  
Max Proposed Height  
253.33'  
T.O. of Flat Roof  
252.00'  
T.O. Upper Floor Wall Plate

Upper Floor Elevation  
242.00'  
T.O. of Flat Roof  
243.33'  
T.O. Main Floor Top Plate

Main Floor Elevation  
232.00'

Cellar Slab Elevation  
222.00'

Heating: Radiant in Floor Heating plus Forced Air

Cross Section 1 / 4" = 1' 0"

1 Crawlspace 2 Entry 3 Hallway 4 Bath 5 Hallway 6 Garage 7 Crawlspace 8 Entry 9 Hallway

Max Permitted Height  
255.63'  
Max Proposed Height  
253.33'  
T.O. of Flat Roof  
252.00'  
T.O. Upper Floor Wall Plate

Upper Floor Elevation  
242.00'  
T.O. of Flat Roof  
243.33'  
T.O. Main Floor Top Plate

Main Floor Elevation  
232.00'

Cellar Slab Elevation  
222.00'

Heating: Radiant in Floor Heating plus Forced Air

Cross Section 1 / 4" = 1' 0"

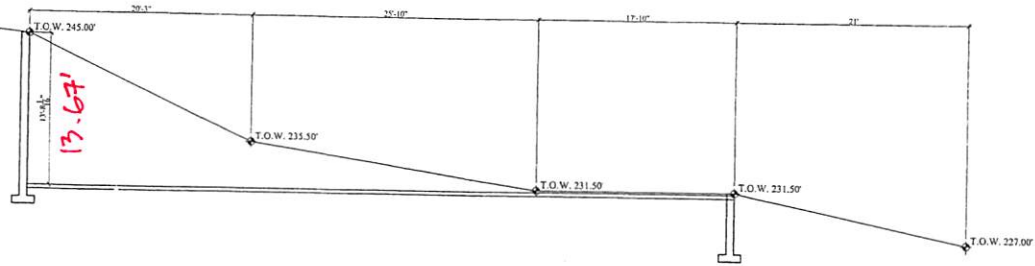
1 Garage 2 Garage 3 Garage 4 Garage 5 Garage 6 Garage 7 Garage 8 Garage 9 Garage

6158

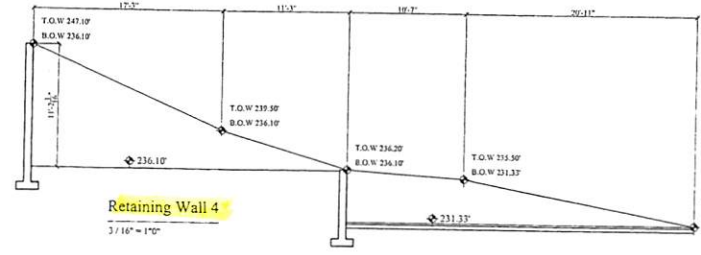


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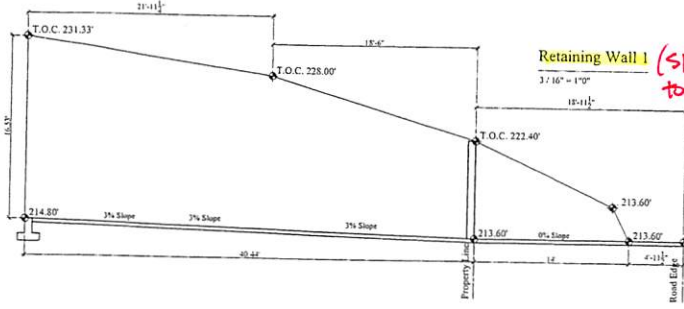
Retaining Wall 3  
3/16" = 1'-0"



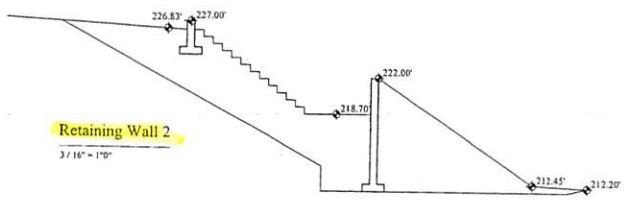
Retaining Wall 4  
3/16" = 1'-0"



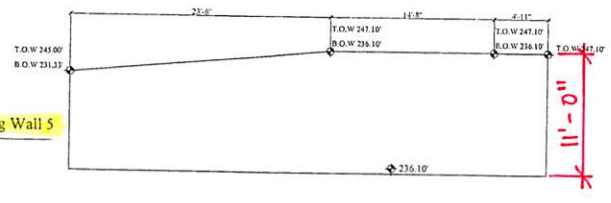
Retaining Wall 1 (SIMILAR TO NORTH WALL)  
3/16" = 1'-0"



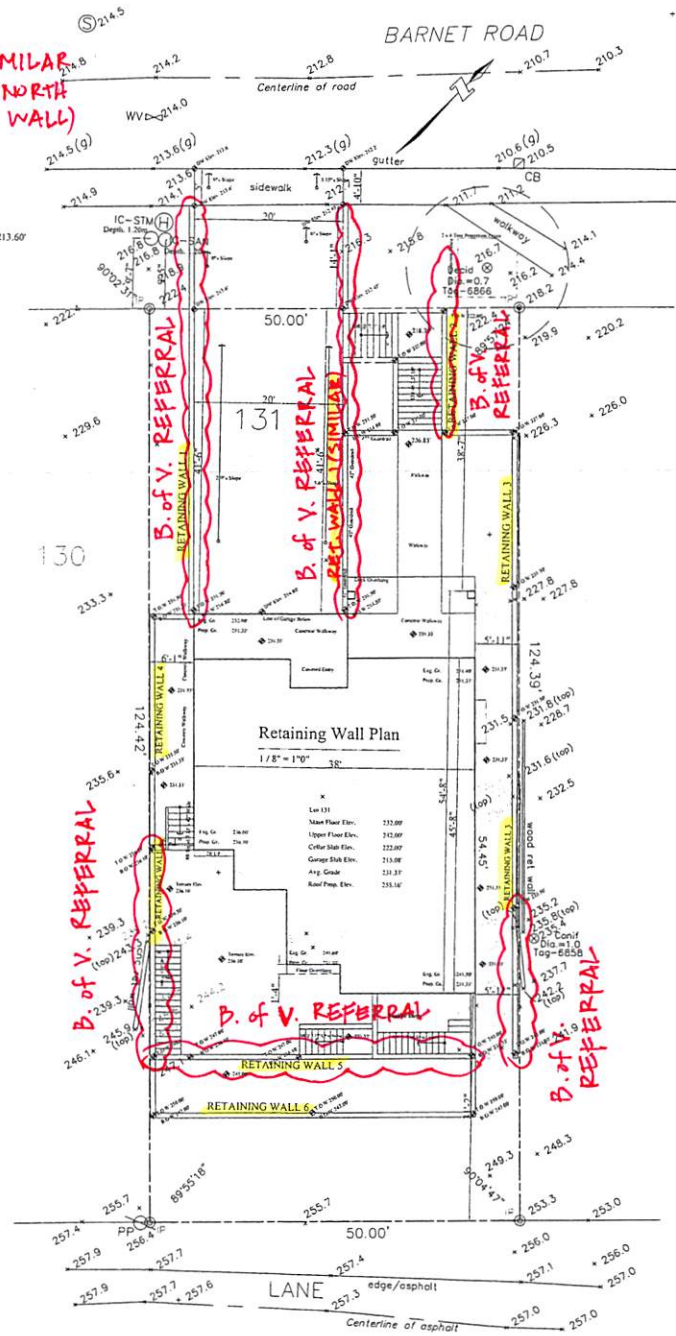
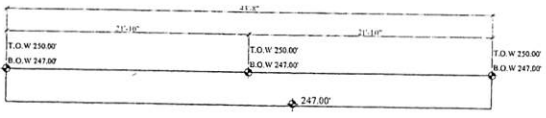
Retaining Wall 2  
3/16" = 1'-0"



Retaining Wall 5  
1/16" = 1'-0"



Retaining Wall 6  
3/16" = 1'-0"

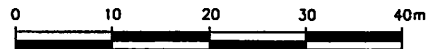


Kapoor Home Design Ltd.  
8661 201 St Langley BC  
778-995-1537  
kapoorhomes@gmail.com

Builder  
Avaya Homes Ltd.  
604-306-2017

Site	drawing title	Sheet
7368 Barnet Road	Retaining Walls	A7-0

**POSTING PLAN OF LOT 131  
DISTRICT LOT 216 GROUP 1  
NEW WESTMINSTER DISTRICT PLAN 11241**  
PURSUANT TO SECTION 68 OF THE LAND TITLE ACT  
BCGS 92G.026  
CITY OF BURNABY  
**SCALE 1:500**



(All distances are in metres)

The intended plot size of this plan is 280mm in width by 432mm in height (B Size) when plotted at a scale of 1:500.

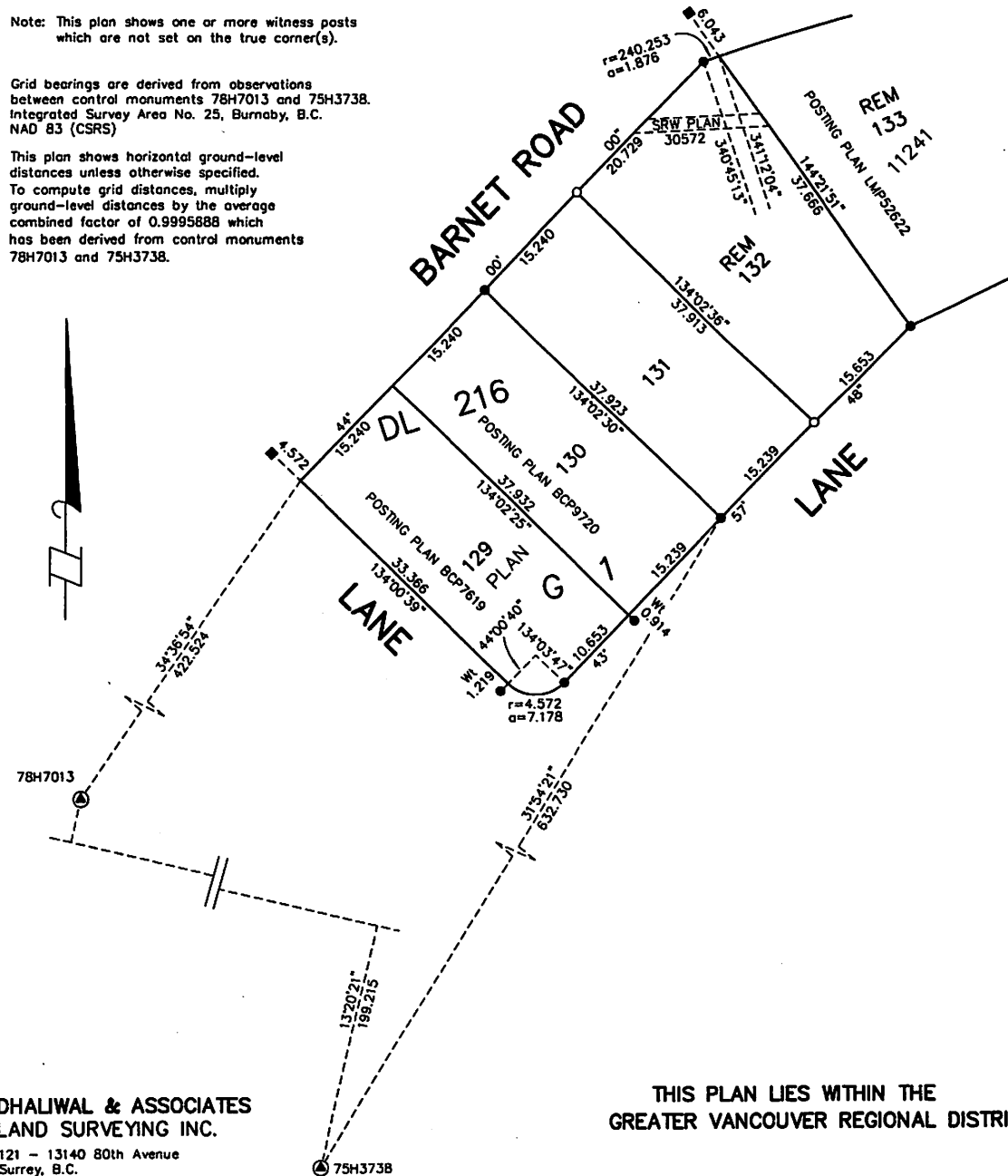
**LEGEND**

- Ⓐ indicates control monument found
- indicates standard iron post found
- indicates standard iron post placed
- indicates lead plug found
- Wt indicates witness

Note: This plan shows one or more witness posts which are not set on the true corner(s).

Grid bearings are derived from observations between control monuments 78H7013 and 75H3738. Integrated Survey Area No. 25, Burnaby, B.C. NAD 83 (CSRS)

This plan shows horizontal ground-level distances unless otherwise specified. To compute grid distances, multiply ground-level distances by the average combined factor of 0.9995888 which has been derived from control monuments 78H7013 and 75H3738.



**DHALIWAL & ASSOCIATES  
LAND SURVEYING INC.**

121 - 13140 80th Avenue  
Surrey, B.C.  
V3W 3B2  
(ph) 604 501-6188  
(fx) 604 501-6189  
FILE :1211136-P01.DWG

**THIS PLAN LIES WITHIN THE  
GREATER VANCOUVER REGIONAL DISTRICT**

The field survey represented by this plan was completed on the 12th day of December, 2012.  
Gene Nikula, BCLS

**BRITISH COLUMBIA LAND SURVEYOR'S SITE SURVEY PLAN OF  
LOT 131 DISTRICT LOT 216 GROUP 1 N.W.D. PLAN 11241**

P.I.D. 001-913-689

For Building Design Purposes

Scale: 1 inch = 16 feet

Current Civic Address:  
7368 Barnet Road  
Burnaby, B.C.

**Notes:**

- All dimensions are in feet.
- Property line dimensions are based on legal field survey.
- This Site Plan adheres to city's Tree By-law.
- Elevations are based on City of Burnaby integrated monument 78H7013 elevation = 288.72 ft (88.003m).

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**LEGEND**

- IP ● ....denotes iron post
- (g) ....denotes gutter
- x 999.9 ....denotes spot elevation
- ⊗ CONIF ....denotes tree
- ⊙ ....denotes sanitary manhole
- ⊕ ....denotes storm manhole
- WV ⊕ ....denotes water valve
- ⊠ ....denotes catch basin
- PP ⊙ ....denotes power pole
- ⊕ ....denotes hydrant
- ⊙ IC-SAN ....denotes sanitary inspection chamber
- ⊙ IC-STM ....denotes storm inspection chamber

**Building Envelope in R2 zoning:**

adjacent lot average: 130

House 7364 setback = 37.88 ft  
House 7366 setback = 39.15 ft  
House 7370 setback = 44.30 ft  
House 7372 setback = 39.98 ft

Front yard average = 40.33 ft  
Front yard minimum = 24.6  
Rear yard = minimum = 29.5

Building depth = remainder = 54.56 feet  
Side yard = 4.9 ft. min.  
= 11.5 ft. min. (sum both sides)

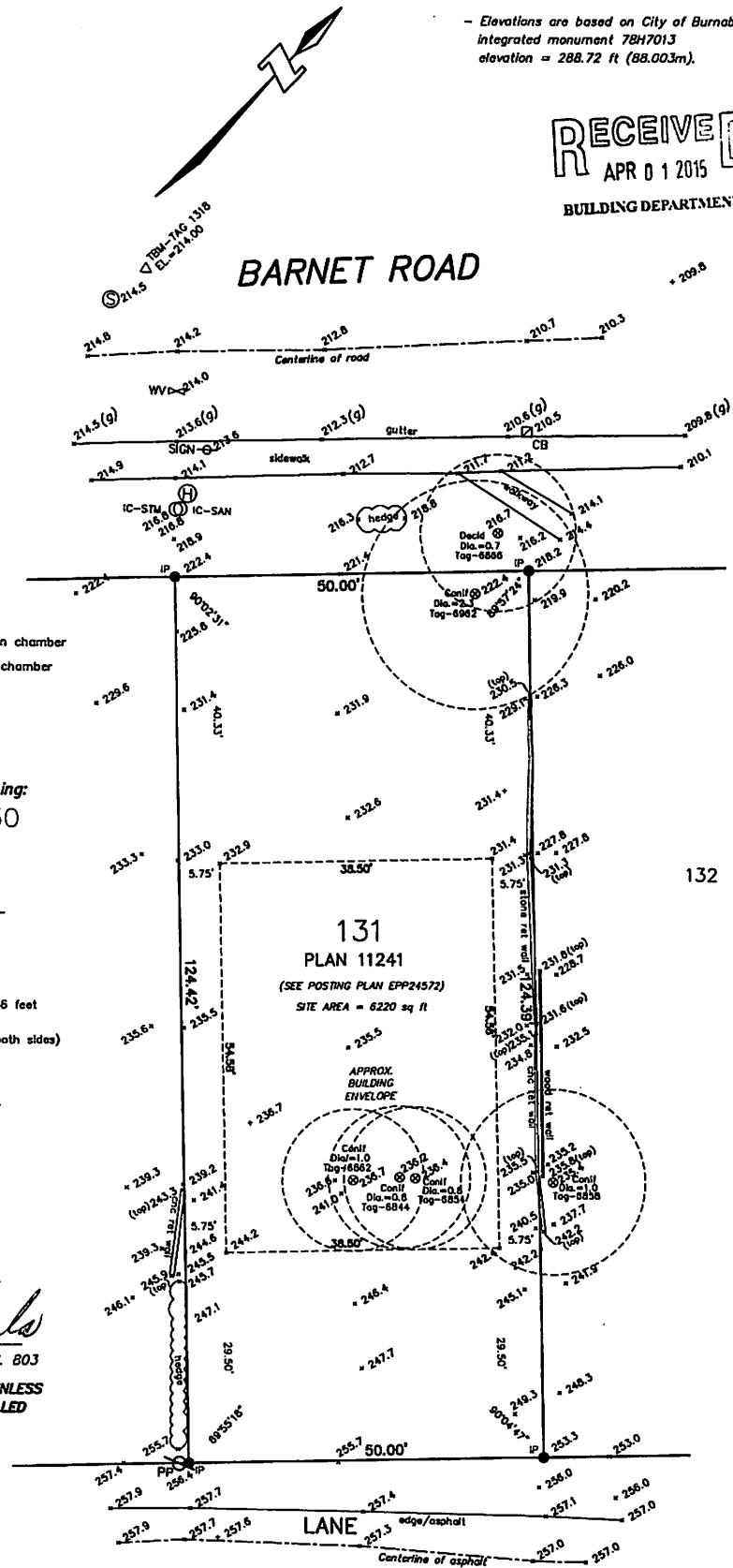
It is the contractor's responsibility  
to verify applicable zoning category  
and setback requirements.

Date of Survey: 27th day of March, 2015

SEAL  
GENE PADE, NIKULAN NO. 118, C.L.S. 803

**THIS DOCUMENT IS NOT VALID UNLESS  
ORIGINALLY SIGNED AND SEALED**

© COPYRIGHT  
DHALIWAL AND ASSOCIATES  
LAND SURVEYING INC.  
216-12899 76th Avenue  
Surrey, B.C. V3W 1E6  
Phone: 604 501-6188  
Fax: 604 501-6189  
File: 1211136-T02



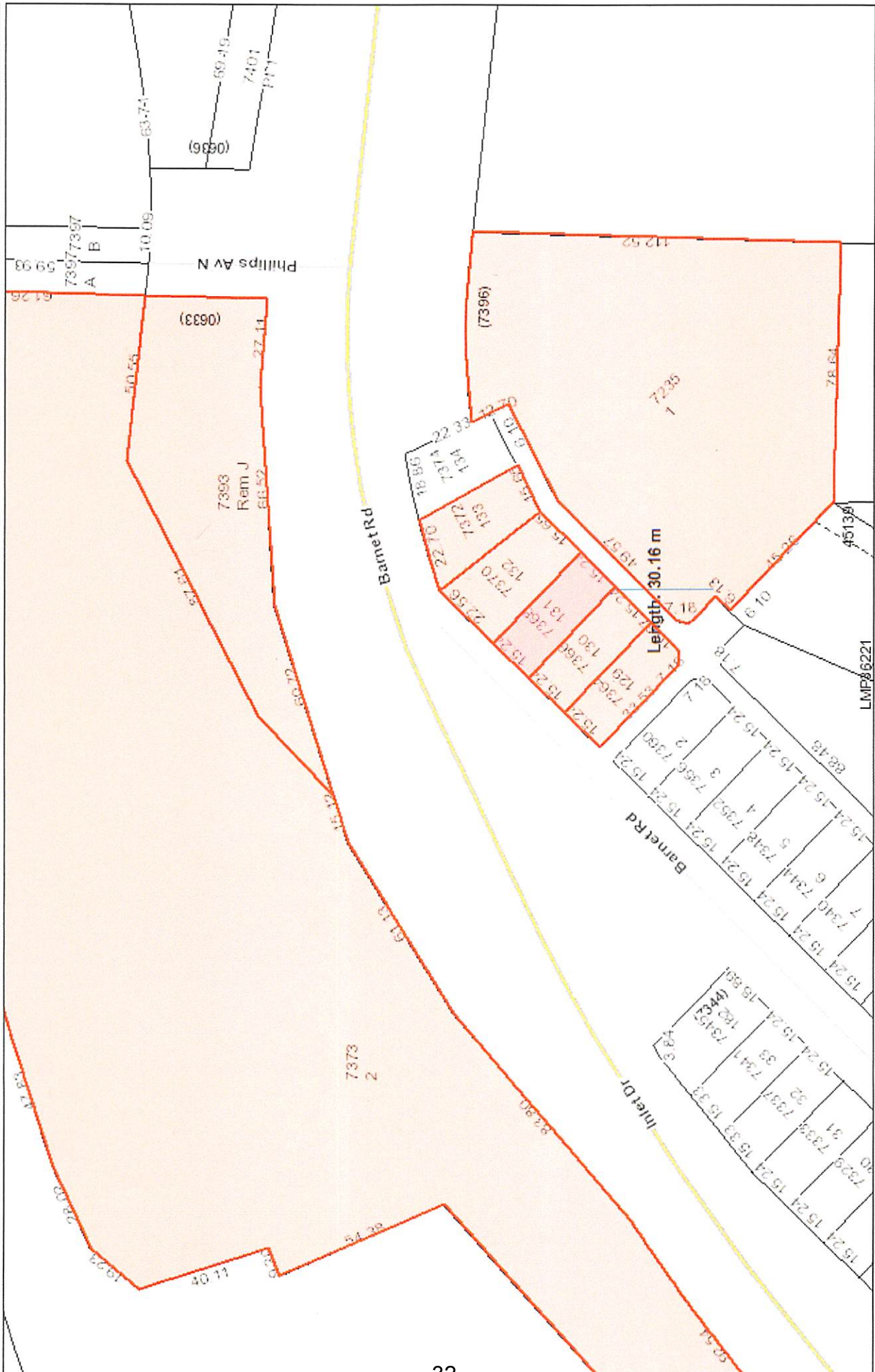




# 7368 Barnet Road

April 10, 2015

1:1,589



BOV

The information has been gathered and assembled on the City of Burnaby's computer systems. Data provided herein is derived from a number of sources with varying levels of accuracy. The City of Burnaby disclaims all responsibility for the accuracy or completeness of information contained herein.

3.(b)



# Board of Variance Appeal Application Form

## OFFICE OF THE CITY CLERK

Burnaby City Hall, 4949 Canada Way, Burnaby BC, V5G 1M2, Phone: 604-294-7290 Email: clerks@burnaby.ca

### Applicant

Name of Applicant David Wong, Architect  
 Mailing Address 8163 Elliott Street  
 City/Town Vancouver Postal Code V5S 2P3  
 Phone Number(s) (H) \_\_\_\_\_ (C) 604 340-3793  
 Email David @ davidwong.ca  
 Preferred method of contact: ☒ email ☐ phone ☐ mail

### Property

Name of Owner Maria & Aaron Man  
 Civic Address of Property 4188 Rumble Street (4178)  
Burnaby, B.C.

I hereby declare that the information submitted in support of this application is, to the best of my knowledge, true and correct in all aspects, and further that my plans have no conflict with municipal bylaws other than those applied for with in this application.

April 14, 2015  
 Date

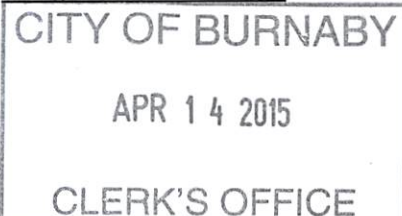
[Signature]  
 Applicant Signature

### Office Use Only

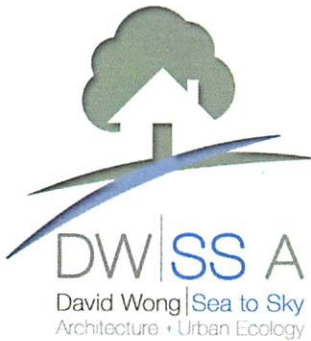
Appeal Date 6/59 Appeal Number BV# \_\_\_\_\_

#### Required Documents:

- ☐ Hardship Letter from Applicant
- ☐ Site Plan of Subject Property
- ☐ Building Department Referral Letter







#28 – 1020 Mainland Street  
Vancouver, B.C. Canada  
V6B 2T4

T. 604. 340.3793  
admin@davidwong.ca

David Wong Architect AIBC

April 10, 2015

Board of Variance  
City of Burnaby  
4949 Canada Way  
Burnaby, BC V5G 1M2

4188 *[Signature]*  
Re: 4178 Rumble Street, Burnaby BC

Dear Board of Variance,

The R2 zoned lot at 4178 Rumble Street, like other properties in the neighbourhood sits on a sloped site. One of the unique aspects of this lot is a very steep drop across the depth of the site, especially near the top (north) portion facing Rumble Street, where it drops 8' over a 20' run (i.e. 40% slope). This rapid drop-off was probably created when the site was cleared decades ago to prepare a levelled area for the two dwellings that were situated there. The "cut" from the levelled area was left behind forming this bit of steep drop.

R2 zoning requires the height of a new building measured from the average of the lowest 2 datum points of the proposed new building footprint. Applying this criteria, the rear of the proposed house would project above the building height envelope by approximately 2 feet due to its steep slope.

Located just below this steep sloped area, is a mature flowering dogwood tree, which we have carefully designed the proposed new house around. This dogwood tree is not in the best of health, and a City of Burnaby landscape inspector who visited the site had indicated that the dogwood tree may be removed, due to its poor condition. The new owners, however, wish to restore this tree, along with all the other trees on the property to their full vitality. In addition, the new owners have just relocated and transplanted over 100 mature trees and shrubs from their existing residence to 4178 Rumble Street, as their existing residence along with all the other houses on that block are slated for demolition for a major redevelopment.

The proposed design of the new house will respect intrinsic site layout qualities — to be located away from existing mature vegetation (on their property and neighbours), and to follow the contours of the site in an effort to minimize cut and fill. The house is designed to be contained in a smaller footprint to minimize tree removal, to minimize its encroachment onto the landscape, and to minimize its mass and shadow effects within and away from neighbours. To achieve the smaller footprint, the house design

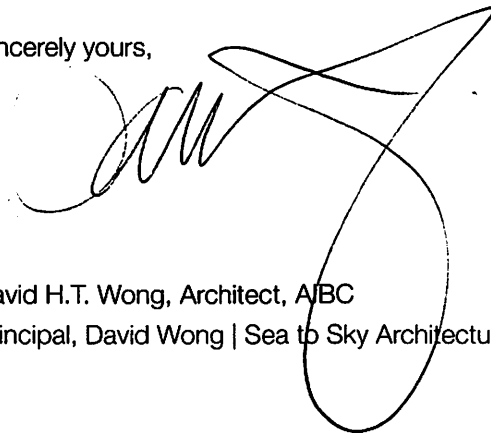
will allocate some of its permitted floor area from the lower floor onto the upper floor to maintain a smaller footprint, and to avoid a "wedding cake" massing; the house steps down the site, and is oriented towards the south and south-west to maximize solar exposure, and is designed to collect 100% of the rain water into cisterns for natural irrigation and non-potable use.

In addition, R2 zoning states a front yard setback at 24.6' or a setback based on adjacent neighbours' front yard setback averaging to help determine the setback of a proposed structure(s) from the front (street) property line. The intention of this regulation is to encourage an approximate similar front yard setback of houses forming the streetscape. A unique situation occurs along this stretch of Rumble Street including the entire block of 4100 block Rumble Street where it does not have a rear lane— some houses and structures on this block are accessed by private driveways off from Rumble Street. The house immediately west of our site, located at 4168 Rumble Street, is set back 138.6' from the street. In applying the front yard averaging formula, this would push our proposed house and garage to almost 60' into the site.

Due to the hardship the existing steep site and existing natural site features present, and of the location of the adjacent house, we respectfully request the Board of Variance to favourably consider:

1. a variance on the height on this house design,
2. a variance on the front yard averaging setback for the main house,
3. a variance on the front yard averaging setback for the garage, and,
4. a variance on the allocation of permitted floor area from the lower floors to the second floor (R2 zoning specifies 50% of floor area below) to maintain the building's tighter footprint and smaller massing.

Sincerely yours,

A large, stylized handwritten signature in black ink, appearing to read 'David Wong', is written over the signature line and extends down towards the printed name.

David H.T. Wong, Architect, AIBC  
Principal, David Wong | Sea to Sky Architecture and Urban Ecology



# **BOARD OF VARIANCE REFERRAL LETTER**

<b>DATE:</b> March 30, 2015	<b>DEADLINE:</b> April 14, 2015 for the May 7, 2015 hearing		<i>This is <u>not</u> an application. Please take letter to Board of Variance. (Clerk's office - Ground Floor)</i>
<b>NAME OF APPLICANT:</b> David Wong			
<b>ADDRESS OF APPLICANT:</b> 28-1020 Mainland St. Vancouver, B.C. V6B 2T4			
<b>TELEPHONE:</b> 604.340.3793			
<b>PROJECT</b>			
<b>DESCRIPTION:</b> New single family dwelling			
<b>ADDRESS:</b> 4188 Rumble Street			
<b>LEGAL:</b>	<b>LOT:</b> 4	<b>DL:</b> 156	<b>PLAN:</b> 1387

The above mentioned application, which includes the attached plan of the proposal, has been refused by the Building Department on the basis of contravention of:

**Zone/Section(s) R2 [6.2(2); 102.6(1)(b); 102.8(1); 800.6(1)]**  
of the Burnaby Zoning Bylaw No. 4742

## **COMMENTS:**

The applicant is proposing to build a new single family dwelling. The following relaxations are being requested.

- 1) The principal building height, measured from the rear average elevation will be 28.65 feet. The principal building height, measured from the front average elevation will be 24.3 feet. The maximum building height of 24.3 feet is permitted.
- 2) The principal building will be 3 storeys where a maximum of 2 ½ storeys is permitted. The proposed upper floor (1095.8 ft<sup>2</sup>) exceeds the 50% of the main floor (1808.2 ft<sup>2</sup>) by 191.7 ft<sup>2</sup>. The lowest floor does not meet cellar qualification.
- 3) The front yard setback will be 43.50 feet to the upper floor cantilever where a minimum front yard setback of 55.98 feet is required based on front yard averaging.
- 4) The relaxation of 800.6 of the Zoning By-Law which, if permitted, will allow an accessory building in a required front yard, located 28.54 feet from the North property line abutting Rumble Street and 5.25 feet from the West property line, where siting of an accessory building in a required front yard is prohibited by the Zoning By-Law.

*Note: The applicant recognizes that should the project contain additional characteristics in contravention of the zoning by-law a future appeal(s) may be required.*

DS

Peter Kushnir  
Assistant Chief Building Inspector, Permits and By-Law Enforcement





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BUILDING DEPARTMENT

david wong architect  
sea to sky architecture  
+ urban ecology

3015-1020 Mainland Street  
Vancouver, BC V6B 2T4  
info@seawings.ca

The following information is for the use of the Building Department only. It is not to be used for any other purpose. The information is provided as a service to the Building Department and is not to be used for any other purpose. The information is provided as a service to the Building Department and is not to be used for any other purpose.

PROJECT NO. 2014-MH-001  
REVISIONS  
CONSULTANT

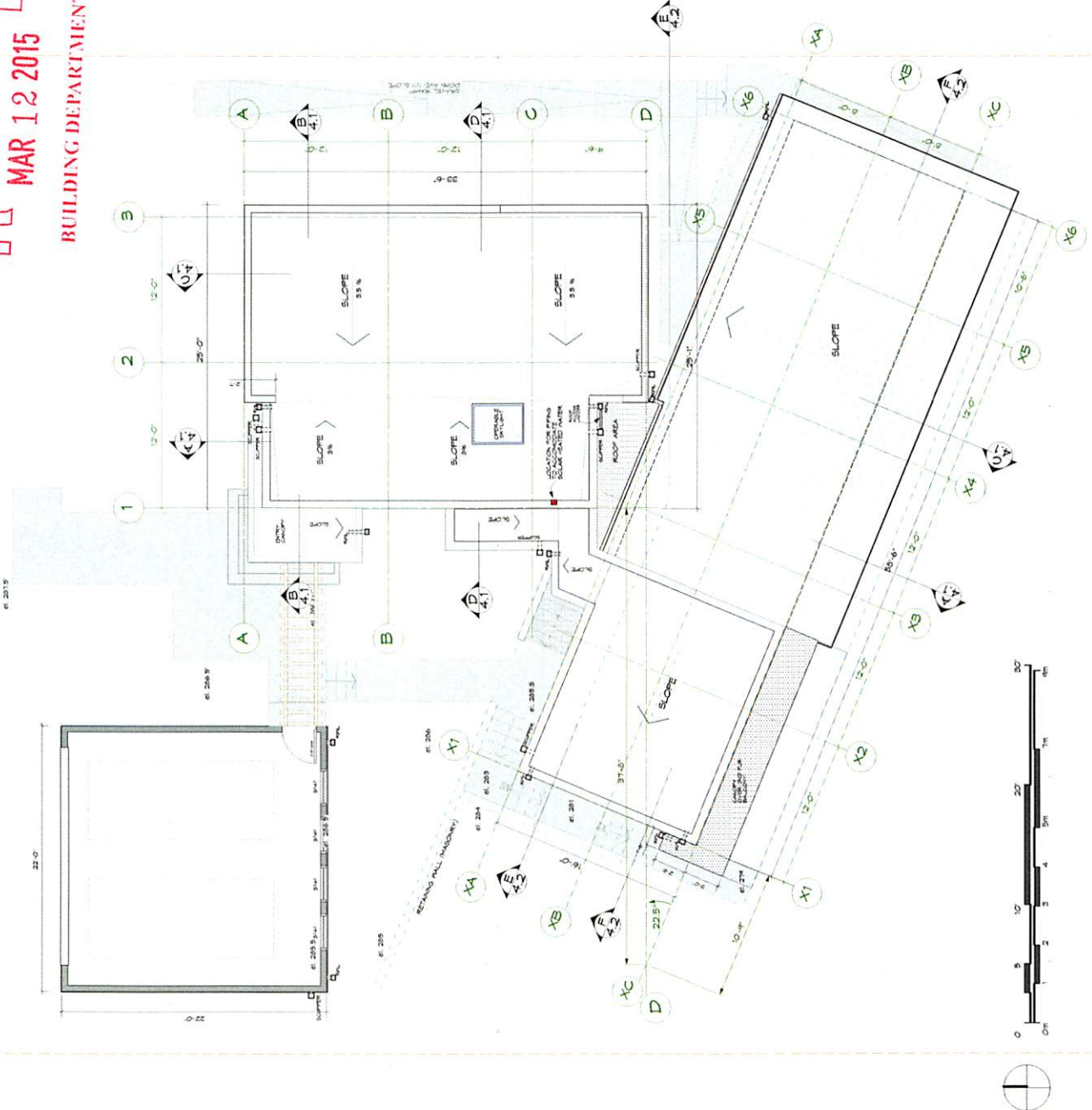
DRAWN BY DWN  
CHECKED BY

PRIVATE RESIDENCE

CLIENT  
SCALE 1/4" = 1'-0"  
DRAWING DATE AUGUST 25, 2014  
PROJECT ADDRESS  
4175 RUMBLE STREET  
BURNABY,  
BRITISH COLUMBIA

ROOF PLAN

PROJECT NO. 2014-MH-001  
A 2.4







**BUILDING DEPARTMENT**

david wong architect  
sea to sky architecture  
+ urban ecology

suite 28-1020 Mainland Street  
 Vancouver, BC V6B 2T4  
 info@staviswinn.ca

[illegible]

NOON	FEB 10, 2019
------	--------------

CONSULTANT

<b>DRAWN BY</b>	<b>CHECKED BY</b>
-----------------	-------------------

MHD

PRIVATE  
RESIDENCE

**CLIENT**

SCALE	DRAWING DATE
-------	--------------

1/4" x 1'-0"	AUGUST 25, 2014
--------------	-----------------

PROJECT ADDRESS

4178 RUMBLE STREET  
BURNABY,  
BRITISH COLUMBIA

**SOUTH & WEST  
ELEVATIONS**

PROJECT NO.	A 3.2
-------------	-------

**3.(c)**



BUILDING DEPARTMENT

david wong architect :  
sea to sky architecture  
+ urban ecology

suite 28-1020 Mainland Street  
Vancouver, BC V6B 2T4  
info@davidwong.ca

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NOON	FEB 19, 2019
REVISIONS	

CONSULTANT

DRAWN BY	CHECKED BY
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MHC

PRIVATE  
RESIDENCE

**CLIENT**

SCALE	DRAWING DATE
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4178 RIVER STREET

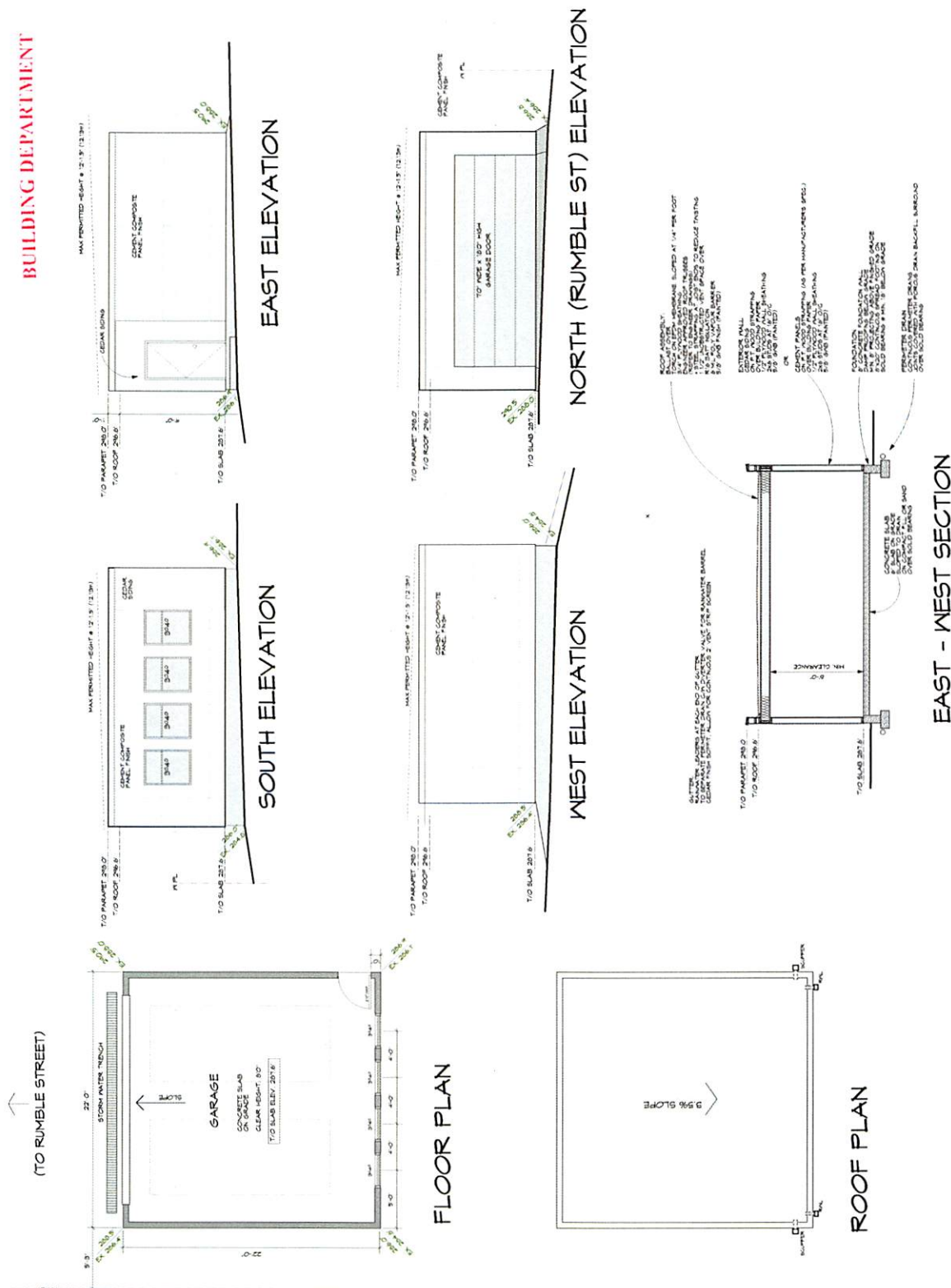
**BURNABY,**

GARAGE

PROJECT NO.	
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A. M. M.

**3.(c)**





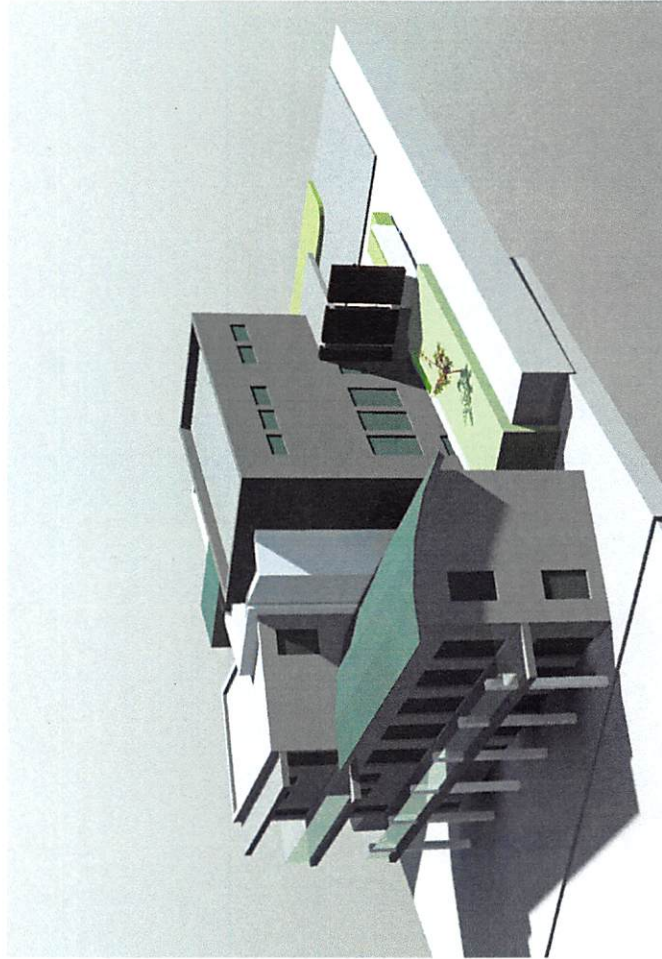


# PRIVATE RESIDENCE

4178 RUMBLE STREET, B.C. CANADA

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MAR 12 2015

BUILDING DEPARTMENT



## NOTES:

DO NOT SCALE DRAWINGS

ALL WORK CARRIED OUT SHALL CONFORM TO THE BUILDING CODE 2012 INCLUDING ALL SUPPLEMENTARY AMENDMENTS, REGULATIONS AND STRUCTURAL DESIGN CRITERIA.

CONTRACTOR AND SUB-CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND INFORMATION PRIOR TO COMMENCING WORK AND SHALL BE RESPONSIBLE FOR ANY DISCREPANCIES TO THE DRAWINGS AND/OR SPECIFICATIONS.

CONTRACTOR IS RESPONSIBLE FOR ON-SITE LOCATION OF BUILDING SERVICES CONFORMING TO BUILDING SETBACKS BEFORE COMMENCING CONSTRUCTION.

CONTRACTOR SHALL ENSURE THAT ALL WORK CARRIED OUT CONFORMS TO MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS, AND IS PERFORMED WITH CARE AND DILIGENCE ACCORDING TO GOOD BUILDING PRACTICES.

WHEN ALTERNATE MATERIALS, PRODUCTS OR METHODS ARE PROPOSED, COMPLETE AND APPROPRIATE DETAILS, LITERATURE AND SAMPLES SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO ORDERING OR FABRICATING.

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INSURANCE, SITE SECURITY, SITE SAFETY AND JOB PAYMENTS.

OPENING SIZES FOR MANUFACTURED COMPONENTS ARE FOR NORMAL SIZES ONLY. VERIFY WITH SUPPLIER OR MANUFACTURER.

PROVIDE PROPER ALUMINUM / GALV. METAL FLASHING OVER ALL EXTERIOR WALL OPENINGS, WINDOWS, PARAPETS, ROOF GABLES AND AROUND ALL ROOF PENETRATIONS.

CAULK AND SEAL ALL EXTERIOR WALL PENETRATIONS.

ALL MOOD MEMBRANES IN CONTACT WITH CONCRETE SHALL BE PROTECTED WITH A CONTINUOUS CLOSED CELL POLYETHYLENE SHEET.

ALL TAPPED TREES TO BE PROTECTED AND RETAINED.

PROVIDE NO LESS THAN 8 INCHES CLEARANCE BETWEEN FINISHED GRADE AND STUCCO MOOD OR OTHER DEMONSTRABLE FINISHES.

CEILING INSULATION SHALL NOT OBSTRUCT SOFFIT AND / OR PARAPET VENTILATION. STRAPPING OR OTHER METHODS SHALL BE USED TO MAINTAIN A MIN. 2" CLEARANCE BETWEEN INSULATION AND UNDERSIDE OF ROOF ASSEMBLY.

BARREL VULT CEILING TO EMPLOY ROCKWOOL INSULATION AS PER DETAIL ON DRAWING A.1.

CEILING DRYWALL TO BE SECURED TO THE LUS OF JOISTS UNLESS NOTED OTHERWISE (N.O.).

INSTALL SMOKE ALARMS CONFORMING TO UL-691 STANDARD FOR SMOKE ALARMS TO EACH PASSAGEWAY IN ACCORDANCE TO BCCS SUBSECTION 4.2.3.3. ALL SMOKE ALARMS TO BE INTERCONNECTED.

TYPICAL CRAWLSPACE / ATTIC SPACE MINIMUM CLEAR HEIGHT OF 3'-0". VENTED 150 FT PER 500 SQ FT FLOOR AREA MINIMUM TWO VENTS.

BUILD-UP AIR CAVITY / RAIN SCREEN SYSTEMS AT EXTERIOR WALL FINISHES.

ALL EXTERIOR SLABS IN WINDOWS AND DOORS TO MEET CURRENT (2015) ENERGY REQUIREMENTS (REFER TO DOOR / WINDOW SCHEDULE).

SAFETY GLASS TO BE USED NEAR BATHROOMS AND SHOWERS, AS WELL AS AT ALL SLIDING EXTENSIONS LESS THAN 12" ABOVE FINISHED FLOOR.

ALL EXTERIOR ACCESS DOORS TO BE 30" MIN. ACCESSIBLE BATHROOMS TO HAVE DOOR OPENINGS AT 2'-0" MIN. (MIN.)

WATERPROOF BACKING MATERIAL TO BE PROVIDED AROUND BACK FLASHINGS, BATHROOMS AND SHOWERS.

SUPPLEMENTARY FLASHING TO BE PROVIDED AT ALL DECKS AND AT ROOF PARAPETS.

INTERIOR GUARDRAILS TO BE 42" HIGH FROM TOP OF FINISHED FLOOR. EXTERIOR GUARDRAILS TO BE 42" HIGH FROM TOP OF FINISHED FLOOR.

NOT SHOWN, HANDRAILS ARE TO BE LOCATED ON "INSIDE RAILS" OF INTERIOR STAIRS.

HEATING SYSTEM IN FLOOR RADIANT HEAT

david wong architect  
sea to sky architecture  
+ urban ecology

suite 28-1020 Mainland Street  
Vancouver, BC V6B 2T4  
info@davidwong.ca

This Drawing may not be scaled. Dimensions to be verified on site. Variations and modifications to the work / design shown on these drawings shall not be carried out without written permission from DWAI/ISA. This drawing and design is, and will remain, the exclusive property of DWAI/ISA, and cannot be reproduced in whole or in part without the written consent of DWAI/ISA. © 2014

## ARCHITECTURAL

- A 1.0 COVER
- A 1.1 GENERAL NOTES & WALL TYPES
- A 1.2 SITE PLAN / ROOF PLAN
- A 2.1 FLOOR PLAN: LOWER GROUND
- A 2.2 FLOOR PLAN: SECOND
- A 2.3 FLOOR PLAN: SECOND
- A 3.1 EAST & NORTH ELEVATIONS
- A 3.2 SOUTH & WEST ELEVATIONS
- A 3.3 GARAGE PLAN & ELEVATIONS
- A 4.1 BUILDING SECTIONS A, B, C, & D
- A 4.2 BUILDING SECTIONS E & F
- A 5.1 DETAIL SECTIONS
- A 5.2 DETAIL STAIRS

REFERENCE AND ADHERENCE TO THE MOST CURRENT B.C. BUILDING CODE FORMS PART OF THIS INFORMATION PACKAGE.

THE SERVICES OF A STRUCTURAL ENGINEER AND OTHER CONSULTANT (E.G. BUILDING ENVELOPE SPECIALIST) IS TO BE ENGAGED FOR EACH AND EVERY STRUCTURE WHOSE DESIGN IS BASED ON THIS SET OF DRAWING INFORMATION.

3.(c)

**POSTING PLAN OF LOTS 4 AND 8, BOTH OF  
DISTRICT LOT 156, GROUP 1,  
NEW WESTMINSTER DISTRICT,  
PLAN 1387**

PURSUANT TO SECTION 88, LAND TITLE ACT  
BCGS: 92G025

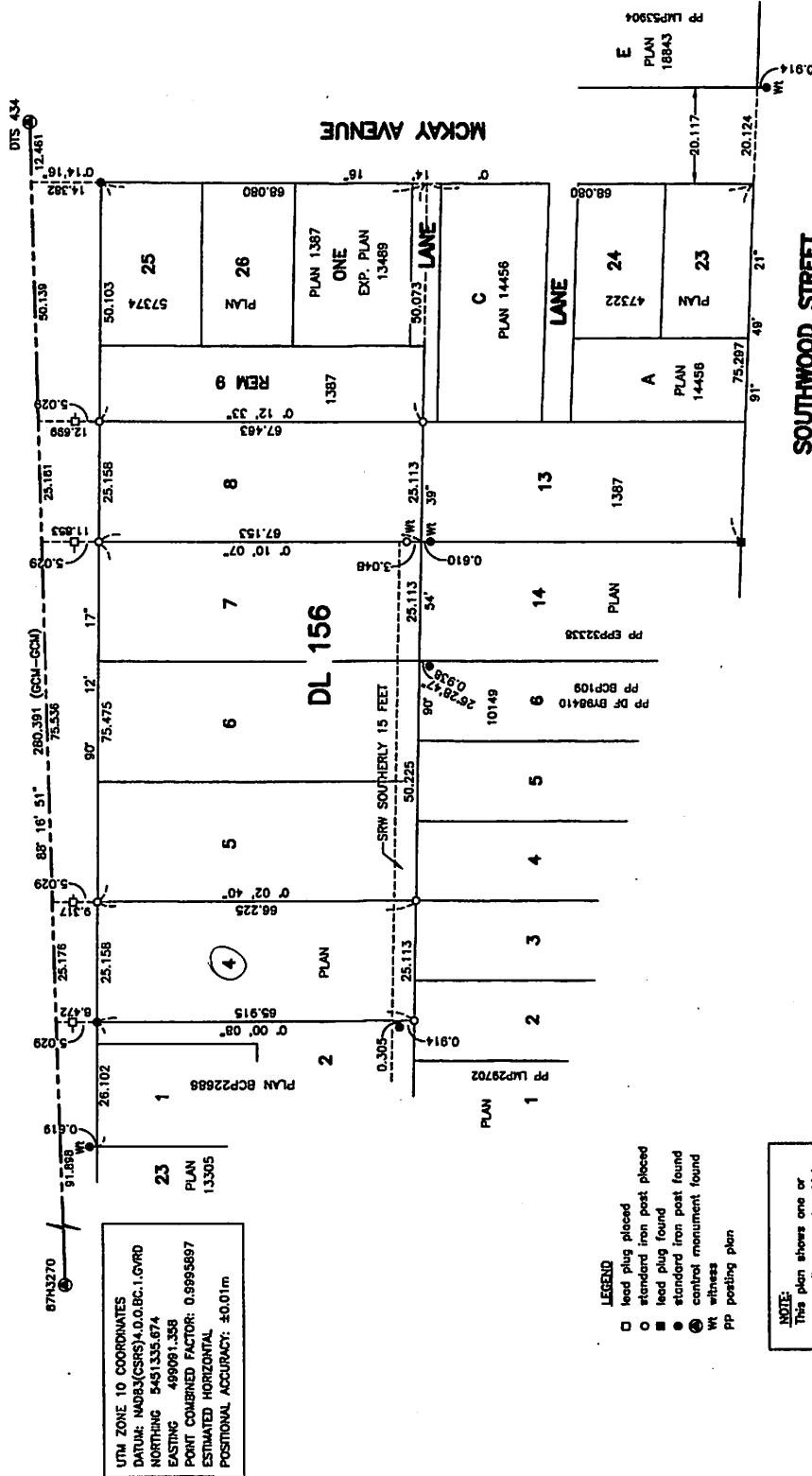
PLAN EPP49483

**RECEIVED**  
MAR 12 2015  
BUILDING DEPARTMENT

0 5 10 20 30 40 50m  
All distances are in metres and decimals  
thereof unless otherwise indicated.  
The intended plot size of this plan is 580mm  
in width by 432mm in height (sheet size C)  
when plotted at a scale of 1:750.

UTM ZONE 10 COORDINATES  
DATUM: NAD83(CSRS) 4.0.0.BC.1.0VRD  
NORTHING 5451344.082  
EASTING 499371.507  
POINT COMBINED FACTOR: 0.9995883  
ESTIMATED HORIZONTAL  
POSITIONAL ACCURACY: ±0.01m

**RUMBLE STREET**



- LEGEND**
- lead plug placed
  - standard iron post placed
  - lead plug found
  - standard iron post found
  - ⊙ control monument found
  - WM witness
  - PP posting plan

**NOTE:**  
This plan shows one or  
more witness posts which  
are not set on the true  
corner(s).

Integrated Survey Area No.25, City of Burnaby  
NAD83 (CSRS), 4.0.0.BC.1.0VRD  
Grid bearings are derived from observations between  
geodetic control monuments 87H3270 and DTS 434.  
The UTM coordinates and estimated horizontal positional  
accuracy achieved have been derived from conventional survey  
observations to control monuments 87H3270 and DTS 434.  
This plan shows horizontal ground-level distances unless  
otherwise specified. To compute grid distances, multiply  
ground-level distances by the overage combined factor of  
0.9995883 which has been derived from control monuments  
87H3270 and DTS 434.

Ken K. Wong and Associates  
Canada and B.C. Land Surveyors  
5624 E. Hastings Street  
Burnaby, B.C. V5B 1R4  
Telephone: 604-294-8881  
Fax: 604-294-0625  
140454 FB914 P100-102  
140872 FB916 P46-47  
R-11728 R-6777 IF-4682  
Drawn by: TB

FILE: SU-2634

*Dark Circle*  
3.(c)  
The field survey represented  
by this plan was completed  
on the 28th day of October, 2014.  
Mark John Russell Doherty, BCLS







# 4188 Rumble Street

April 10, 2015

1:1,911



The information has been gathered and assembled on the City of Burnaby's computer systems. Data provided herein is derived from a number of sources with varying levels of accuracy. The City of Burnaby disclaims all responsibility for the accuracy or completeness of information contained herein.

BOV

3.(c)



# Board of Variance Appeal Application Form

## OFFICE OF THE CITY CLERK

Burnaby City Hall, 4949 Canada Way, Burnaby BC, V5G 1M2, Phone: 604-294-7290 Email: clerks@burnaby.ca

### Applicant

Name of Applicant Elton & Ryoko Donald  
 Mailing Address 3971 Yale St  
 City/Town Burnaby Postal Code V5C-1P8  
 Phone Number(s) (H) \_\_\_\_\_ (C) 604-202-6675  
 Email elton@kennconstruction.ca  
 Preferred method of contact: ☐ email ☒ phone ☐ mail

### Property

Name of Owner Elton & Ryoko Donald  
 Civic Address of Property 3971 Yale St.  
Burnaby B.C.

I hereby declare that the information submitted in support of this application is, to the best of my knowledge, true and correct in all aspects, and further that my plans have no conflict with municipal bylaws other than those applied for with in this application.

April 14, 2015  
 Date

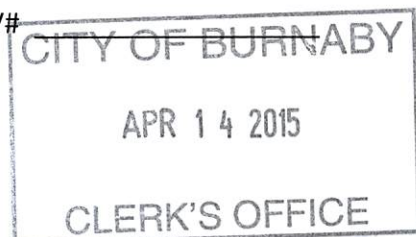
[Signature]  
 Applicant Signature

### Office Use Only

Appeal Date 6160 Appeal Number BV# \_\_\_\_\_

#### Required Documents:

- ☐ Hardship Letter from Applicant
- ☐ Site Plan of Subject Property
- ☐ Building Department Referral Letter





Prepared for the Board of Variance of Burnaby B.C.

April 15<sup>th</sup>, 2015

Re: 3971 Yale Street

Prepared by: Elton Donald

The hardship: the unique conditions of the lot combined with a home that was built more than 60 years ago, prevent the approval of a very practical well designed plan that proposes to retain and reuse the existing solid structure and location of the home.

1. My home is on a steep lot sloping front to back
2. The home was built using a flat roof
3. The existing roof sits at a height above rear average grade of 27 feet which is 3 feet higher than currently permissible.
4. My home was built in a location that is no longer approved as it relates to the west side yard setback rules. Current rule states a side yard setback of 4.9 feet and my house is sitting at 4.54 feet, a difference of about 4-5 inches.

#### Particulars and descriptions

The home is on a steep lot, in rough terms, for just the depth of the house, I lose about 8-7 feet going from the front to back of my house on my property. This relates to the rule stating that the roof height for flat roofs can only be 24ft above the lesser of the front or rear averages. My existing home is sitting at 27ft above the rear grade average. On the front it reads fairly low especially compared to the home on the west.

The hardship of these rules plays in to my case because I am planning to re-construct the home as opposed to tearing it down. It has good bones and seems to be very well framed. For my plans, I want to keep the height that I have now and simply add onto the back of it. This is both good for the recycling of old and still quite useful material, and it is the most efficient way to gain usable space on the upper floor. Unfortunately for my case the planning department can't permit that

That structure was built over 60 years ago and it doesn't conform to the current by law the home is really grounded well into the street scape and doesn't interfere with anyone's view lanes. Having to have an upper floor that would "step down 3ft" which would then satisfy the bylaw requirement, would not be an attractive, efficient, or practical plan at all for this property. Neither would it be practical to have to jog in the new rear addition by 4-5 inches because of the side yard setback.

The home I have is an old time home built sometime after the Second World War, and it was built with a forward thinking design, it had a flat roof. It was one of the things that I liked about the building and something that I thought that I could make use of in my designs that would re-use the existing structure in future design plans. I plan on salvaging the entire structure of the home and doing a very modest addition to the back of the home extending the rear wall back by roughly 2.5 feet, this also relates to the section that violates side yard.

I do not plan to add any height to the home. I think that this is an important point.

I don't want to have to switch my plans to utilise a pitched roof, and I am sure that my neighbours don't want me to do that either, as it will then raise my ridge height and potentially obstruct their views. The massing of a pitched roof will be significantly larger than what is currently in place now.

Due to the fact that my plan does not propose to change the roof to be any higher, and due to the length of time that the structure has already stood as it relates to both the side yard and roof height I would like to propose that I be granted an exception to the current rules and be allowed to keep my existing roof height and extend my current wall by the 2.5 feet I am proposing in my addition plans.

Yours truly,

Elton and Ryoko Donald



(604) 294-7140

### BOARD OF VARIANCE REFERRAL LETTER

<b>DATE:</b> April 10 <sup>th</sup> , 2015		<b>DEADLINE:</b> April 14 <sup>th</sup> , 2015 for the May 7 <sup>th</sup> , 2015 hearing		<i>This is <b>not</b> an application. Please take letter to Board of Variance. (Clerk's office - Ground Floor)</i>
<b>NAME OF APPLICANT:</b> Elton Donald				
<b>ADDRESS OF APPLICANT:</b> 3971 Yale Street				
<b>TELEPHONE:</b> (604) 202-6675				
<b>PROJECT</b>				
<b>DESCRIPTION:</b> Interior alterations/finishing to the basement, interior alterations/finishing to the main floor, addition to the main floor, new deck to the main floor, new porch to the main floor, interior alterations/finishing to the upper floor, addition to the upper floor, new deck to the upper floor and enclosing detached carport (built w/o permit) only.				
<b>ADDRESS:</b> 3971 Yale Street				
<b>LEGAL:</b>	<b>LOT:</b> 13	<b>DL:</b> 186	<b>PLAN:</b> NWP1124	

The above mentioned application, which includes the attached plan of the proposal, has been refused by the Building Department on the basis of contravention of:

**Zone/Section(s) R-3 [103.6(1)(b), 103.9(1)]**  
of the Burnaby Zoning Bylaw No. 4742

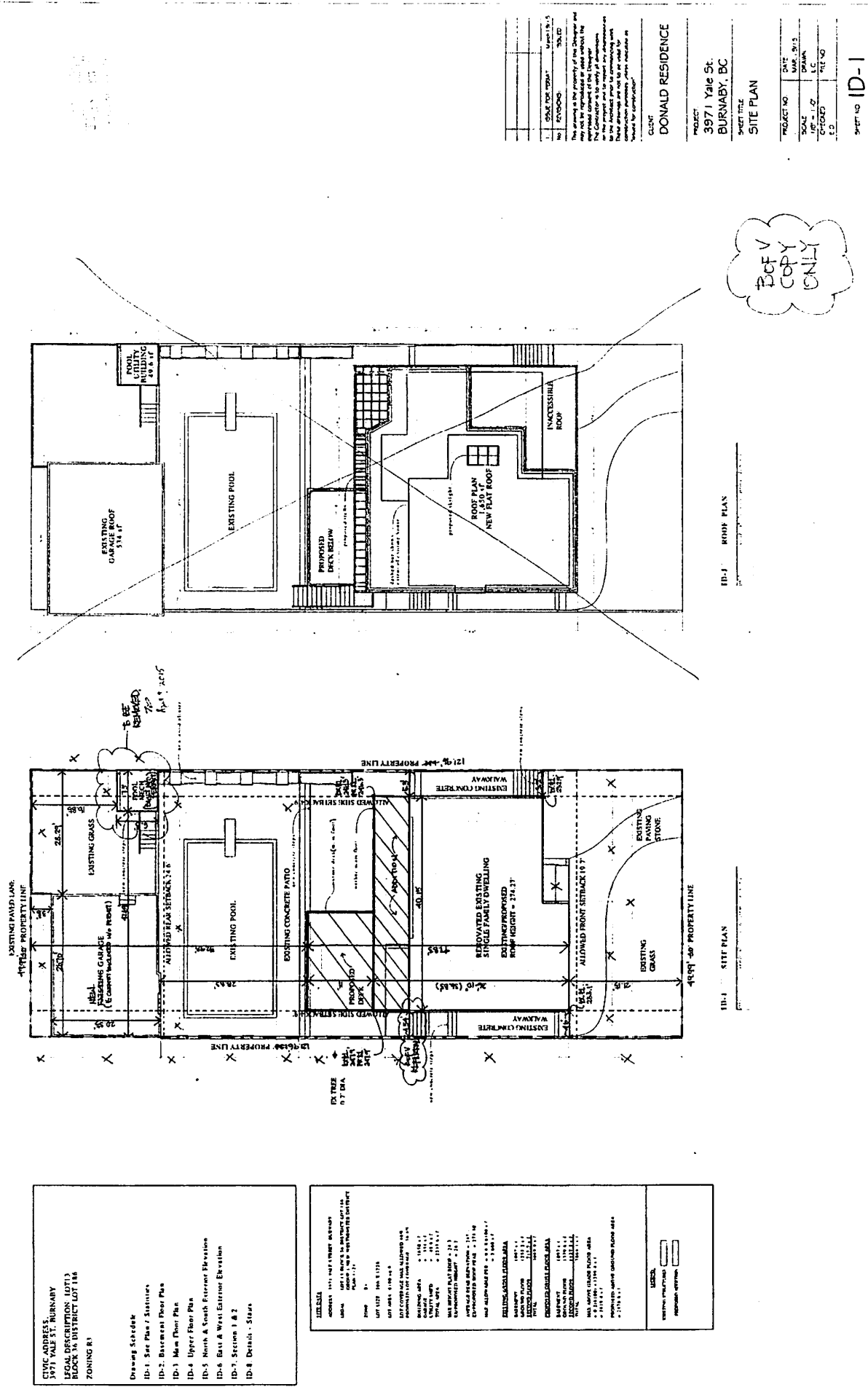
**COMMENTS:**

The applicant is proposing to construct interior alterations/finishing to the basement, interior alterations/finishing to the main floor, addition to the main floor, new deck to the main floor, new porch to the main floor, interior alterations/finishing to the upper floor, addition to the upper floor, new deck to the upper floor and enclosing detached carport only. The following relaxations are being requested:

1. The principal building height will be 3 storeys where a maximum 2 ½ storeys is permitted.  
*Note: The proposed upper floor (1129 ft<sup>2</sup>) exceeds 50% of the main floor (1380 ft<sup>2</sup>) by 439 ft<sup>2</sup>. The lower floor does not meet cellar qualification as it is only 48.1% below average natural grade, where more than 50% is required.*
2. The principal building height, measured from the rear elevation, will be 27.17' where a maximum 24.3' is permitted.  
*Note: The principal building height measured from the front average elevation will be 21.27'.*
3. The principal building side yard setback, measured from the west property line to the addition, will be 4.54' where a minimum 4.9' is required.

BY

Peter Kushnir  
Assistant Chief Building Inspector, Permits and Customer Service



BoV  
COPY  
ONLY

ID-1 ROOF PLAN

ID-2 SITE PLAN

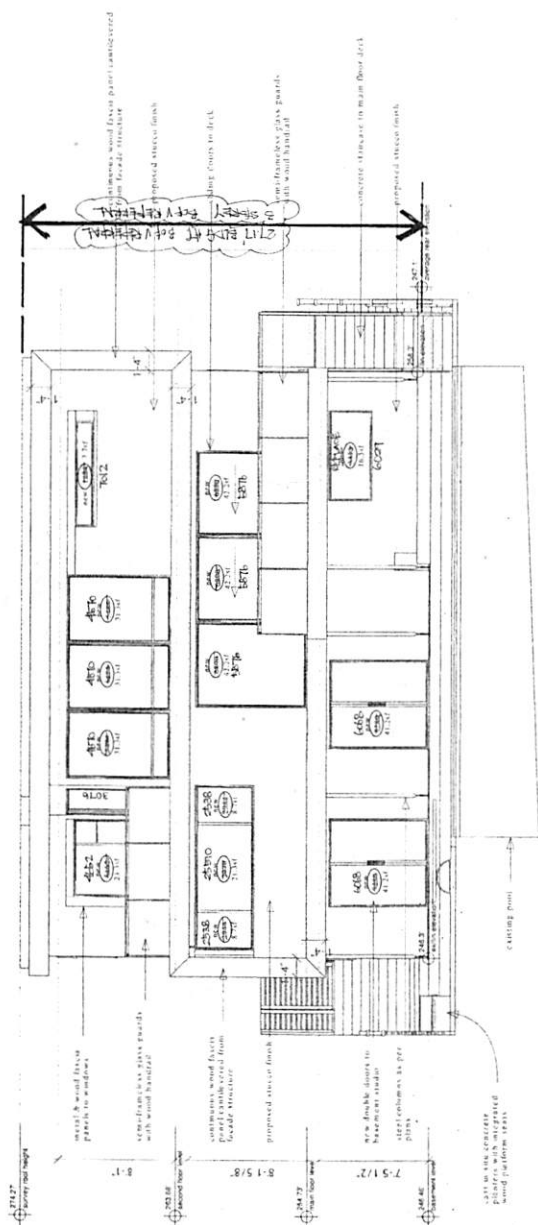
CLIENT  
DONALD RESIDENCE

PROJECT  
3971 Yale St.  
BURNABY, BC

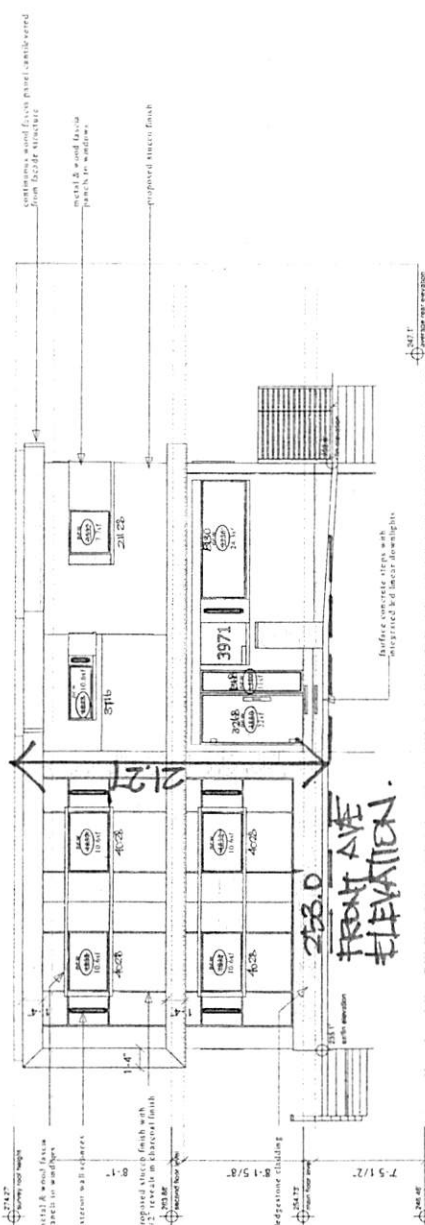
SHEET TITLE  
SITE PLAN

PROJECT NO	DATE
SCALE	MAR. 2015
SCALE	1/8" = 1'-0"
SCALE	1/4" = 1'-0"
SCALE	1/2" = 1'-0"
SCALE	3/4" = 1'-0"
SCALE	1" = 1'-0"

SHEET NO  
ID-1



UD-5 NORTH ELEVATION



10.5 SOUTH AFRICA

ISSUE FOR PERIOD		March 1975	ISSUED
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This drawing is the property of the Designer and may not be reproduced or used without the expressed consent of the Designer. The Contractor is to verify all dimensions in the project and to report any discrepancies to the Architect prior to commencing work. These drawings are not to be used for construction purposes unless indicated as issued for construction.

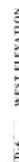
DONALD RESIDENCE

3971 Yale St.  
BURNABY, BC

SHEET TITLE: **PROPOSED  
EXTERIOR ELEVATIONS**

PROJECT NO.	DATE
SCALE	MAR. 2/15
CHECKED	DRAWN
10	LC
	FILE NO.

SHEET NO ID-5



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The Contractor is to verify all dimensions on the project and to report any discrepancies to the Architect prior to commencing work. These drawings are not to be used for construction without written verification as indicated.

CLIENT: DONALD RESIDENCE

PROJECT: 3971 Yale St.

SHEET TITLE:  
PROPOSED  
EXTERIOR ELEVATIONS

PROJECT NO.	DATE:
SCALE:	MAR 1975
1/4" = 1'-0"	DRAWN:
CHECKED:	L.C.
	FILE NO.

Sheet No. 1D-6



TOPOGRAPHIC PLAN OF LOT 13 BLOCK 36

DISTRICT LOT 186 GROUP 1

NEW WESTMINSTER DISTRICT

PLAN 1124

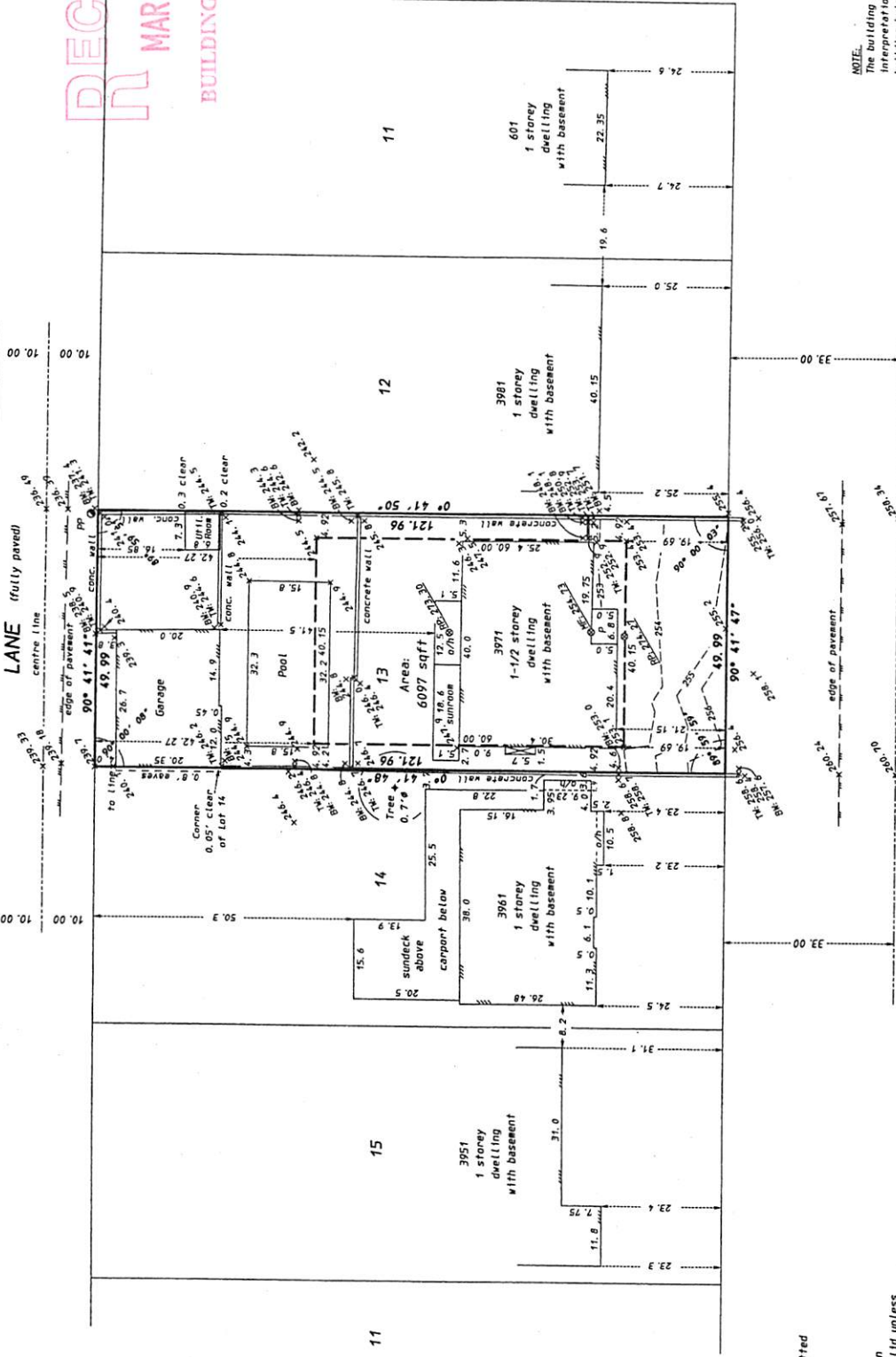
3971 Yale Street  
Burnaby, BC

ZONING: R3

SCALE: 1 INCH = 16 FEET  
0 5 10 20 30 40 50  
All dimensions are in feet and decimals  
thereof unless otherwise indicated.

RECEIVED  
MAR 19 2015  
BUILDING DEPARTMENT

MACDONALD AVENUE N



YALE STREET

- LEGEND:
- LP lead plug
  - IP iron post
  - PP power pole
  - MF main floor
  - EV eaves trough
  - RP roof peak
  - TW top of wall
  - SW top of sidewalk
  - UH utility room
  - CP covered porch
  - o/h overhang
  - sqft square feet

NOTE:  
All trees have been plotted  
as required by Burnaby  
Tree Bylaw 1996.

© copyright restriction  
This document is not valid unless  
originally signed and sealed.

CERTIFIED CORRECT:  
Lot dimensions are based on  
ground survey results.

*E. J. Wong*  
B. C. L. S.  
November 19, 2013

NOTE:  
The building envelope shown is only our  
interpretation of the City of Burnaby  
building bylaws. The size and location  
of the building envelope must be confirmed  
by the City of Burnaby planning department  
prior to any design work. Failure to do so  
will place responsibility for the design  
onto the house designer.

Ken K. Wong and Associates  
Canada and B.C. Land Surveyors  
5624 E. Hastings Street  
Burnaby, B.C. V5B 1R4  
Telephone: 294-8881  
Fax: 294-0625  
130651 FB904 P72  
R-9139  
Drawn by: TB

SETBACK OF ADJACENT DWELLINGS				
HOUSE NO.	LOT NO.	MIN. FRONT SETBACK	AVERAGE	
3951	15	23.3		
3961	14	23.2		
3981	12	25.0		
0001	11	24.6		
	TOTAL	96.1		

NOTE:  
Elevations are based on geodetic datum.  
Bench Mark: Control Monument 7746573  
located at the intersection of Edmondson  
Street and MacDonald Avenue.  
Elevation = 212.24 feet  
( 64,690 metres geodetic )





# 3971 Yale Street

April 10, 2015

1:956



The information has been gathered and assembled on the City of Burnaby's computer systems. Data provided herein is derived from a number of sources with varying levels of accuracy. The City of Burnaby disclaims all responsibility for the accuracy or completeness of information contained herein.

3.(d)



# Board of Variance Appeal Application Form

## OFFICE OF THE CITY CLERK

Burnaby City Hall, 4949 Canada Way, Burnaby BC, V5G 1M2, Phone: 604-294-7290 Email: clerks@burnaby.ca

### Applicant

Name of Applicant HARD MANN  
 Mailing Address 7779 11th AVE  
 City/Town BURNABY Postal Code V3N 2N4  
 Phone Number(s) (H) \_\_\_\_\_ (C) 604-375-1655  
 Email mvddevelopment1@gmail.com  
 Preferred method of contact: ☒ email ☐ phone ☐ mail

### Property

Name of Owner LEIGH-ANN CHU  
 Civic Address of Property 7913 SUNCREST DR BURNABY

I hereby declare that the information submitted in support of this application is, to the best of my knowledge, true and correct in all aspects, and further that my plans have no conflict with municipal bylaws other than those applied for with in this application.

APRIL 15 / 2015  
 Date

[Signature]  
 Applicant Signature

### Office Use Only

Appeal Date \_\_\_\_\_ Appeal Number BV# 6161

#### Required Documents:

- ☐ Hardship Letter from Applicant
- ☐ Site Plan of Subject Property
- ☐ Building Department Referral Letter

Hardship letter to:

Burnaby Board of Variance  
c/o Office of the City Clerk  
4949 Canada Way  
Burnaby, BC V6M 1M2

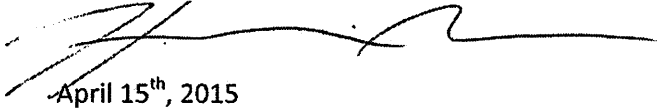
Address: 7913 Suncrest Drive  
Building Permit No. BLD 14-01870

I am requesting an amendment be made to allow a detached garage to be constructed at address 7913 Suncrest Dr as this was initially approved by the building department via the permit application process. The city noticed that an error was made during an inspection and by that time it was too late to make any changes.

I have been willing to work with the building department in order to have this application approved, I approved some grade changes the building department has made to lower the grade of the detached garage as well.

Please take this appeal into consideration. I thank you for your time.

Harb Mann



April 15<sup>th</sup>, 2015



### BOARD OF VARIANCE REFERRAL LETTER

<b>DATE:</b> 02 April 2015		<b>DEADLINE:</b> 14 April 2015 for the 07 May 2015 hearing		<i>This is <u>not</u> an application. Please take letter to Board of Variance. (Clerk's office - Ground Floor)</i>
<b>NAME OF APPLICANT:</b> Harb Mann				
<b>ADDRESS OF APPLICANT:</b> 7779 11 <sup>th</sup> Avenue, Burnaby				
<b>TELEPHONE:</b> (604) 375-1655				
<b>PROJECT</b>				
<b>DESCRIPTION:</b> New Single Family Dwelling				
<b>ADDRESS:</b> 7913 Suncrest Drive				
<b>LEGAL:</b>	<b>LOT:</b> 5	<b>DL:</b> 175	<b>PLAN:</b> 11750	

The above mentioned application, which includes the attached plan of the proposal, has been refused by the Building Department on the basis of contravention of:

**Zone/Section(s) R2 [800.6(1) and 6.2(2)]**  
of the Burnaby Zoning Bylaw No. 4742

**COMMENTS:**

The applicant is proposing to construct a new single family dwelling. The following relaxation is being requested:

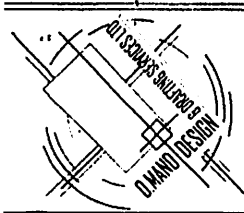
- 1) The relaxation of 800.6(1) and 6.2(2) of the Zoning By-Law which, if permitted, will allow an accessory building in a required front yard, located 4.0 feet from the North property line abutting Clinton Street and 4.0 feet from the West property line, where siting of an accessory building in a required front yard is prohibited by the Zoning By-Law.

*Note: The applicant recognizes that should the project contain additional characteristics in contravention of the zoning by-law a future appeal(s) may be required.*

KL

Peter Kushnir  
Assistant Chief Building Inspector, Permits and Customer Service





14650 - 84 AVENUE  
SURREY, B.C.  
V3S 9K7  
T: 604-5971838  
F: 604-5971850  
dmand@telus.net  
www.dmanddesign.com

THIS SET OF PLANS IS TO BE USED IN CONSTRUCTION OF THE PROJECT WITHIN THE ZONE R-2 RESIDENTIAL DISTRICT. CONTRACTOR SHALL COMPLY WITH ALL CITY OF SURREY REQUIREMENTS FOR THE PROJECT. THE DESIGNER ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS IN THESE PLANS. IT IS THE OWNER'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION. DO NOT SCALE DRAWINGS.

NO.	DATE	DESCRIPTION	BY
1	10/1/14	PRELIMINARY	DM
2	10/1/14	REVISED	DM
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6	10/1/14	REVISED	DM
7	10/1/14	REVISED	DM
8	10/1/14	REVISED	DM
9	10/1/14	REVISED	DM
10	10/1/14	REVISED	DM

7913 SUNCREST DRIVE  
BURNABY, B.C.  
V5C 2H1  
LOT 5  
DL 175 GROUP 1  
NWD PLAN 11750  
PID: 11750  
CUBIC: 11750

DATE	NOV 2014
SCALE	1/4" = 1'-0" (UND)
DATE	NOV 2014
SCALE	1/4" = 1'-0" (UND)
DATE	NOV 2014
SCALE	1/4" = 1'-0" (UND)

CLINTON STREET  
7913 SUNCREST DRIVE  
BURNABY, B.C.

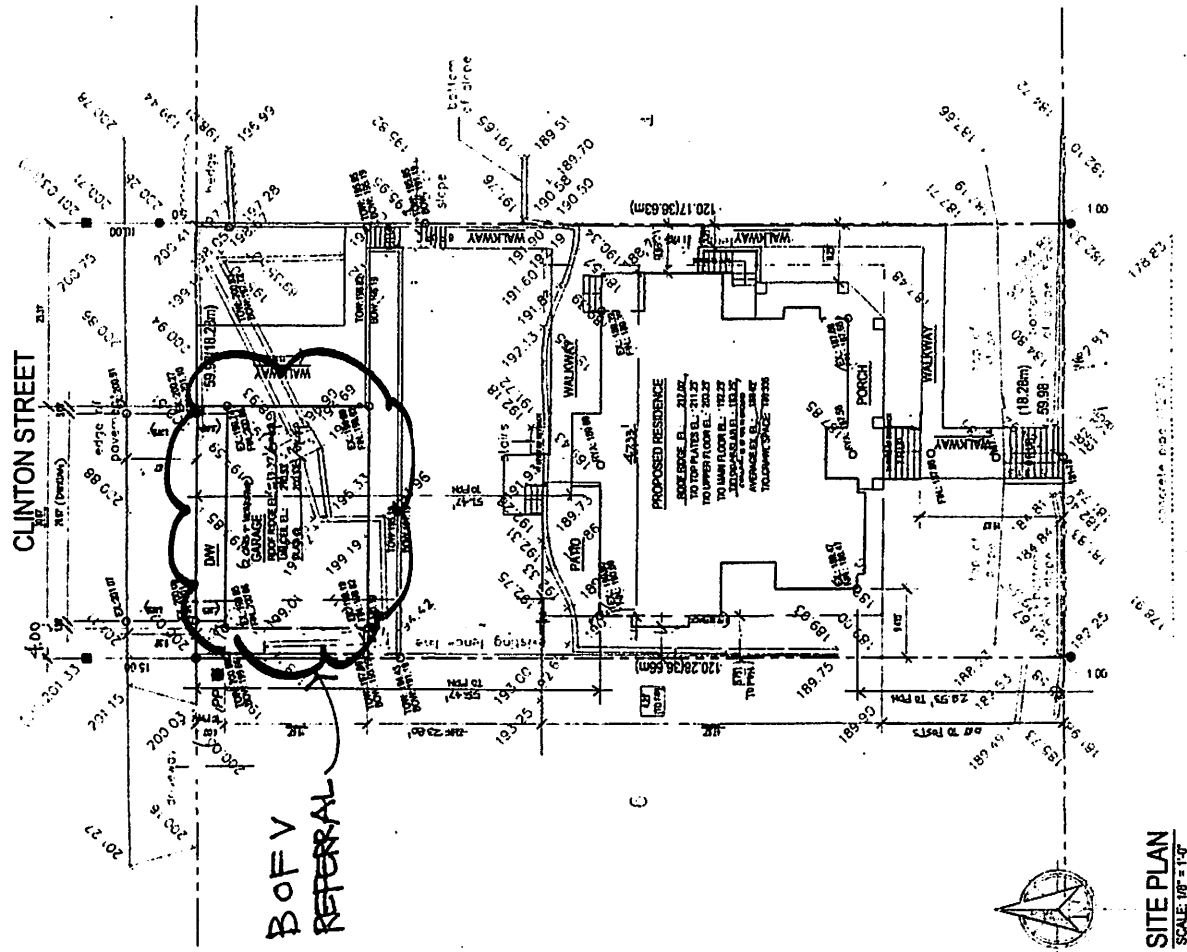
CIVIC ADDRESS:  
7913 SUNCREST DRIVE  
BURNABY, B.C.

LEGAL DESCRIPTION:  
LOT 5  
DL 175 GROUP 1  
NWD PLAN 11750

CALCULATIONS:  
ZONE R-2 RESIDENTIAL DISTRICT

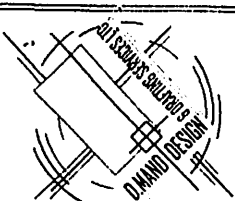
RECEIVED  
APR 02 2015

BUILDING DEPARTMENT



7913 SUNCREST DRIVE

SITE PLAN  
SCALE: 1/8" = 1'-0"



**D.M. DESIGN SOLUTIONS**  
1658 - 84 AVENUE  
SURREY, BC  
V3S 9K7  
T: 604.597.8388  
F: 604.597.830  
demand@telus.net  
www.demanddesign.com

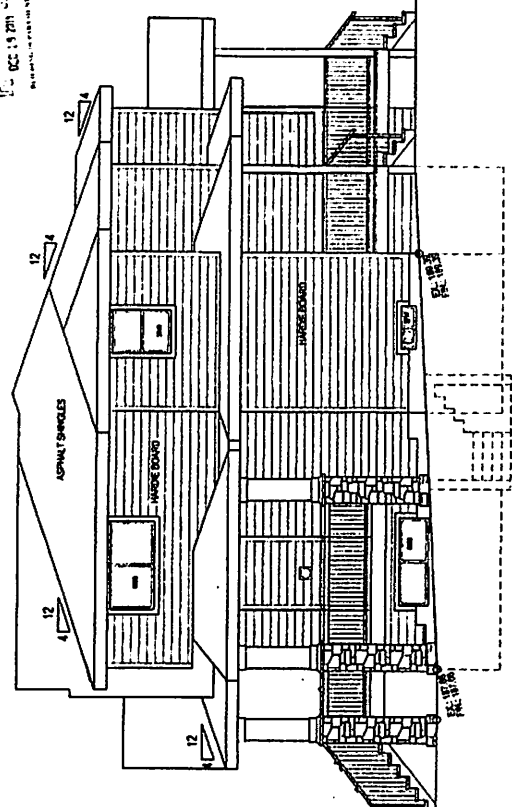
THESE PLANS CONFORM TO BCBC 2012  
CONSTRUCTION SHALL CONFORM WITH  
THESE PLANS AND LOCAL BUILDING  
DEPARTMENT REQUIREMENTS  
CONTRACTOR SHALL OBTAIN ALL  
NECESSARY PERMITS PRIOR TO  
CONSTRUCTION

THESE PLANS ARE NOT A GUARANTEE  
OF ANYTHING AND THE DESIGNER  
ACCEPTS NO LIABILITY FOR ANY  
CONSTRUCTION DEFECTS OR  
OTHER DAMAGES PRIOR TO  
CONSTRUCTION

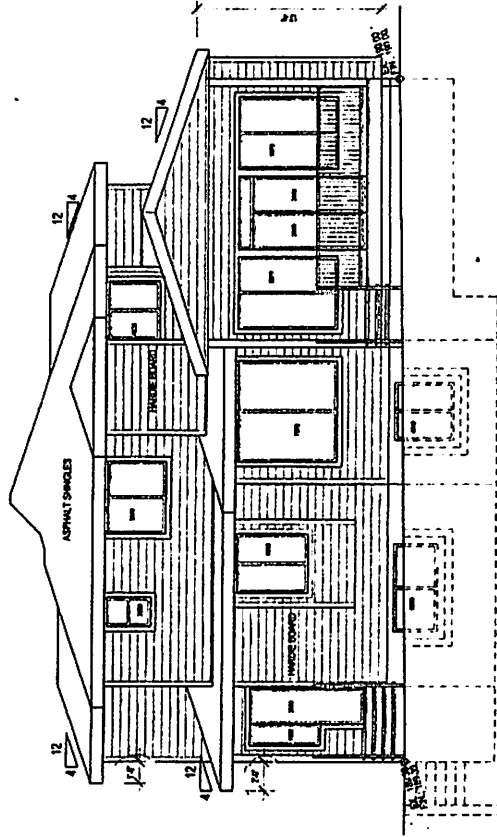
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7913 SUNCREST DRIVE  
BURNABY, B.C.  
V5C 2P5  
PID: 0101  
CLINT

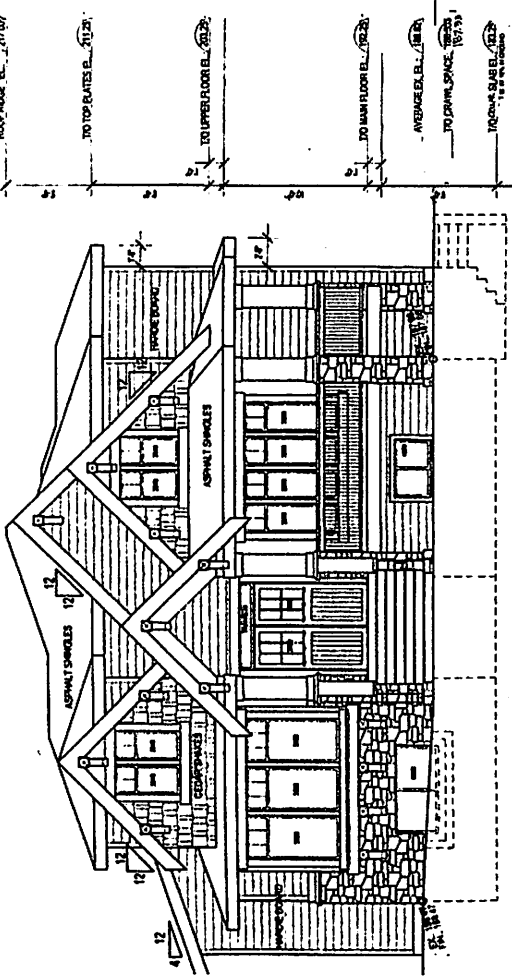
DATE: NOV 2014  
SCALE: 1/4" = 1'-0" (UND.)  
DRAWN: HARP  
CHECKED: DM  
OF 6



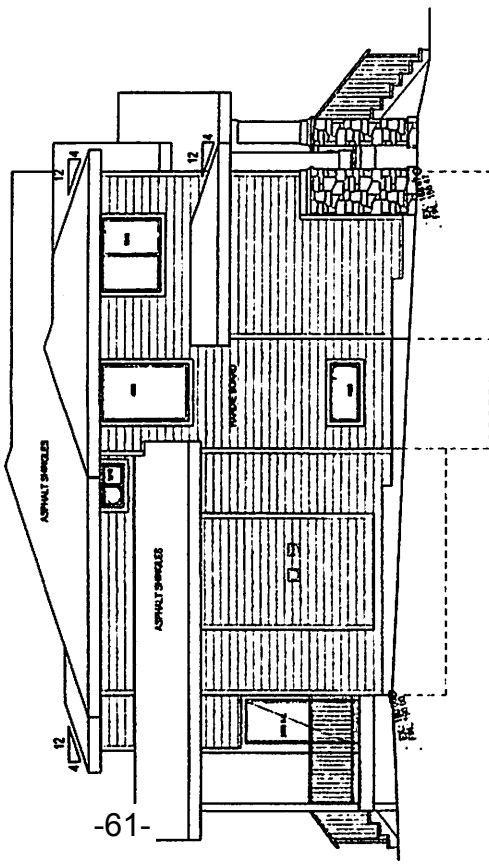
EAST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION



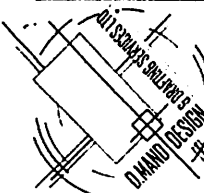
WEST ELEVATION

RECEIVED

APR 02 2015

BUILDING DEPARTMENT

6161



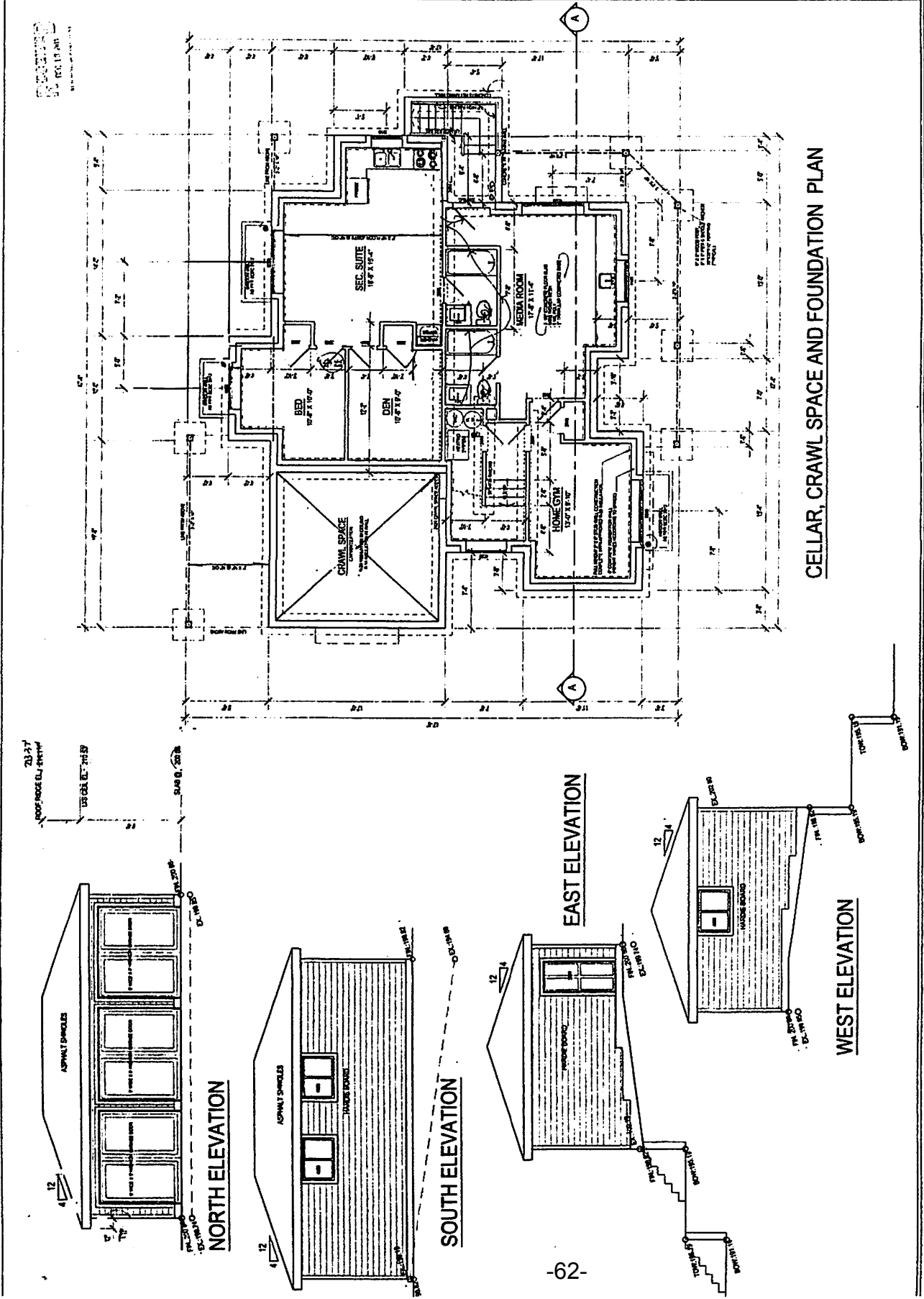
**D.M. DESIGN**  
14658 - 84 AVENUE  
SURREY, B.C.  
V3S 9K7  
T: 604.597.8338  
F: 604.597.8350  
dmand@telus.net  
www.dmandesign.com

THESE PLANS CONFORM TO CBC 2012  
CONSTRUCTION SHALL COMPLY WITH  
ALL CITY, PROVINCIAL AND LOCAL BUILDING  
BY LAWS.  
CONTRACTOR SHALL COVER ALL  
CONCRETE WORK TO BE DONE  
BY THE CITY.  
THESE PLANS ARE THE PROPERTY OF  
D.M. DESIGN. NO PART OF THESE  
PLANS SHALL BE REPRODUCED OR  
TRANSMITTED IN ANY FORM OR BY  
ANY MEANS, ELECTRONIC OR MECHANICAL,  
INCLUDING PHOTOCOPYING, RECORDING,  
OR BY ANY INFORMATION STORAGE AND  
RETRIEVAL SYSTEM, WITHOUT PERMISSION  
IN WRITING FROM D.M. DESIGN.

DO NOT SCALE DRAWINGS

7913 SUNCREST DRIVE  
BURNABY, B.C.  
V5C 2G1  
PID: 101175 GROUP 1  
APPROVED FOR PERMIT

NOV 2014  
1/4" = 1'-0" (UND)  
HARD COPY OF 6



**RECEIVED**  
 APR 02 2015  
 BUILDING DEPARTMENT

# GENERAL NOTES:

THESE DRAWINGS HAVE BEEN PREPARED BY A MEMBER OF THE DESIGN SERVICES LTD. TO COMPLY WITH THE REQUIREMENTS OF THE BRITISH STANDARD CODE OF PRACTICE, BS 5400, THE LOCAL BUILDING CODES AND BY-LAWS.

IT IS THE RESPONSIBILITY OF THE BUILDING OWNER TO CHECK AND VERIFY ALL DIMENSIONS, MATERIALS AND SPECIFICATIONS PRIOR TO CONSTRUCTION. ANY ERRORS OR OMISSIONS SHALL BE BROUGHT TO OUR ATTENTION IMMEDIATELY SO THAT CORRECTIONS CAN BE MADE AND PLANS REPLACED. DESIGNER IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS AFTER CONSTRUCTION HAS COMMENCED.

DIMENSIONS TAKE PRECEDENCE TO SCALE DRAWINGS. DO NOT SCALE THESE DRAWINGS.

ALL CONSTRUCTION AND INSTALLATION OF MATERIALS AND EQUIPMENT SHALL BE DONE IN ACCORDANCE WITH GOOD BUILDING PRACTICE AND MANUFACTURER'S INSTRUCTIONS IN A TIMELY MANNER.

PERMANENT FRAMING MATERIALS ARE TO BE:

- JOISTS: DOUGLAS FIR OR BETTER
- LATHES: DOUGLAS FIR OR BETTER
- BEAMS: DOUGLAS FIR OR BETTER
- RAFTERS: DOUGLAS FIR OR BETTER
- PLATES: DOUGLAS FIR OR BETTER
- STUDS: DOUGLAS FIR OR BETTER
- STUDS: DOUGLAS FIR OR BETTER

ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED. MATERIALS MUST CONFORM TO THE TABLES PROVIDED IN THE B.C.C. RESIDENTIAL STANDARDS AND THE SPAN BOOK 2004 EDITION.

BUILDING FRAMES SHALL BE ANCHORED TO THE FOUNDATION WALLS BY ANCHERING A BELL PLATE TO THE FOUNDATION WALL WITH 1/2" ANCHOR BOLTS SPACED AT 8" ON CENTER, UNLESS OTHERWISE NOTED.

ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PROTECTED WITH A.S.B. FELT, BELL GASKET OR OTHER APPROVED METHOD.

CALCULATIONS AND FLASHING TO BE PROVIDED AS PER B.C.C.

FLOOR JOISTS SPACING MORE THAN 24" ARE TO BE BRIDGED AT MID SPAN OR AT 7' O.C. BY 2" X 2" DIAGONAL BRACING. ALL BRIDGES TO BE 5/8" FIP FLOOR JOIST AND NAILED TO FLOOR JOIST.

PARTITION WALLS PARALLEL TO FLOOR JOISTS SHALL BE SUPPORTED BY A SINGLE JOIST OR BLOORING BETWEEN JOISTS. PARTITION WALLS SUPPORTING KITCHEN CABINETS, PARALLEL TO FLOOR JOISTS SHALL BE SUPPORTED BY DOUBLE JOISTS.

ALL WALLS TO BE 2" X 4" DOUGLAS FIR OR BETTER, UNLESS OTHERWISE SPECIFIED. AND SHALL BE SUPPORTED ON A MINIMUM 2" BASE.

BUILDER TO CHECK SLOPE AND RAIN LOAD GUIDELINES FOR THEIR MUNICIPALITY PRIOR TO ACTION.

ROOF JOISTS SHALL BE VENTED WITH RIDGE TYPE, GABLE TYPE, ANCHOR GABLE TYPE VENTS TO A MINIMUM OF 1.2% OF THE INSULATED CEILING AREA. ROOF JOISTS VENTED TO MINIMUM 1:100. CHIMNEYS SHALL BE VENTED TO A MINIMUM OF 1:100. VENTS SHALL BE UNIFORMLY PLACED AROUND THE BUILDING. CHIMNEYS MAY ALSO BE HEATED BY A FORCED AIR HEATING SYSTEM OR VENTS TO AN ADJACENT BUILDING.

MINIMUM INSULATION REQUIREMENTS

- FOUNDATION WALL: R-12

- ROOF: R-40

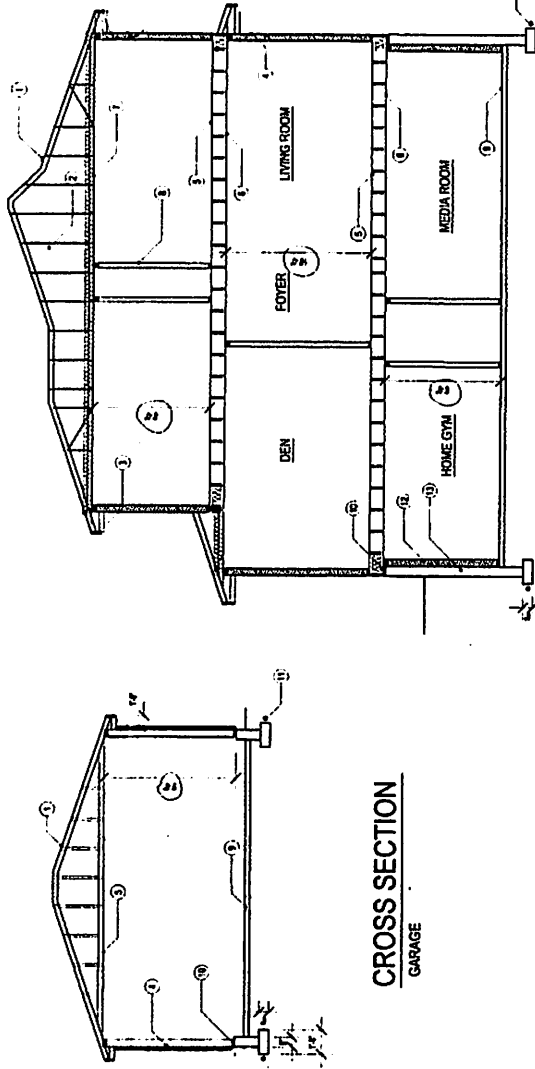
- 2" X 4" WALLS: R-14

- 2" X 6" WALLS: R-18

CEILING INSULATION SHALL BE INSTALLED SO AS NOT TO RESTRICT AIR FLOW THROUGH ROOF VENTS TO ATTIC SPACES.

ATTIC SPACES AND CRAWL SPACES TO HAVE A MINIMUM 2" X 32" ACCESS HATCHWAY, WELL-VENTILATED PROVIDE A COPY OF SPOKE AND SEALED ROOF TRUSS SHOP DRAWINGS & SPECIFICATIONS PRIOR TO FRAMING INSPECTION.

REMOVING WEB MEMBERS, DRILLING OR CUTTING DOWN WALLS NOT BE PERMITTED.

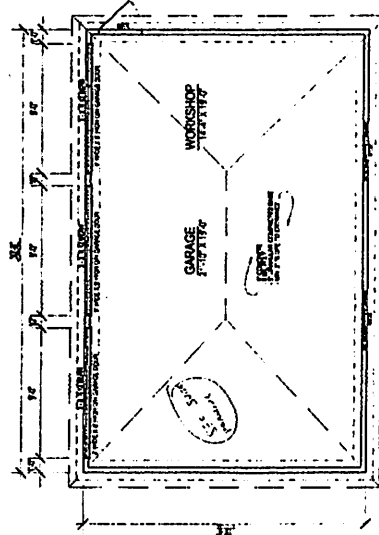


CROSS SECTION  
GARAGE

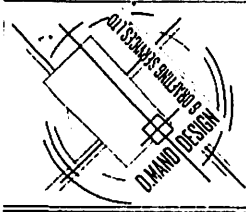
CROSS SECTION A-A

CROSS SECTION SCHEDULE

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100. 1/2" LIGHT WEIGHT CONCRETE TO BE USED FOR ALL CONCRETE.



GARAGE PLAN



14658 - 84 AVENUE  
SURREY, BC  
V3S 5K7  
T: 604.597.8838  
F: 604.597.8550  
dmande@telus.net  
www.dmandesign.com

THESE PLANS CONFORM TO B.C.C. 2012  
CONSTRUCTION SHALL CONFORM WITH  
THESE PLANS AND LOCAL BUILDING  
DEPARTMENT APPROVED TO START OF  
CONSTRUCTION  
THE DESIGNER ASSUMES NO LIABILITY  
FOR THESE PLANS AT THE SIGNATURE OF  
THE DESIGNER. THE DESIGNER HAS  
NOT BEEN ADVISED OF ANY CHANGES  
TO THE PLANS SINCE THE DATE OF  
ISSUANCE OF THESE PLANS.  
DO NOT SCALE DRAWINGS

NO.	REVISION
1	1/2" LIGHT WEIGHT CONCRETE TO BE USED FOR ALL CONCRETE.
2	1/2" LIGHT WEIGHT CONCRETE TO BE USED FOR ALL CONCRETE.
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7913 SUNCREST DRIVE  
BURNABY, B.C.  
V5C 2G7  
TEL: 604.597.8838  
FAX: 604.597.8550  
WWW.DMANDSIGN.COM

DATE: NOV 2014  
SCALE: 1/4" = 1'-0" (UND)  
DRAWN BY: HARRIS, Q.W.  
CHECKED BY: HARRIS, Q.W.  
DATE: NOV 2014

NOV 2014  
1/4" = 1'-0" (UND)  
HARRIS, Q.W.  
DF 6

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APR 02 2015

BUILDING DEPARTMENT

6/61



**SURVEY PLAN OF LOT 5  
DISTRICT LOT 175, GROUP 1  
NEW WESTMINSTER DISTRICT, PLAN 11750**

SCALE 1" = 16'  
All distances are in feet.



Applicable Adjacent House	Depth of Rear Yard
7923 Suncrest Drive	50.06 ft.
7917 Suncrest Drive	28.87 ft.
7907 Suncrest Drive	56.53 ft.
7903 Suncrest Drive	54.27 ft.
Total	190.52 ft.
Average	47.63 ft.

Applicable Adjacent House	Depth of Front Yard
7923 Suncrest Drive	28.57 ft.
7917 Suncrest Drive	31.18 ft.
7907 Suncrest Drive	20.19 ft.
7903 Suncrest Drive	28.14 ft.
Total	117.08 ft.
Average	29.27 ft.

**RECEIVED**  
JAN 05 2015

BUILDING DEPARTMENT

**RECEIVED**  
APR 02 2015

BUILDING DEPARTMENT

CIVIC ADDRESS  
7913 SUNCREST DRIVE  
BURNABY, B.C.

ZONING: R2

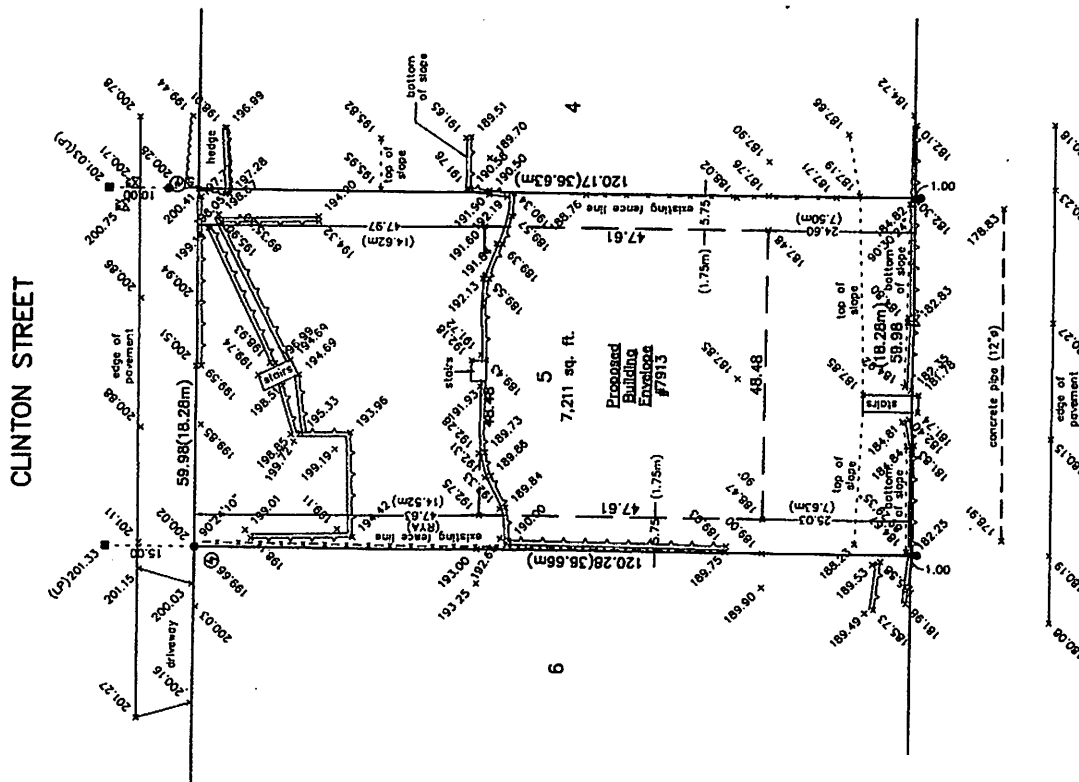
CERTIFIED CORRECT  
DATED THIS 4TH DAY OF SEPT., 2014



IVAN NGAN B.C.L.S.

**LNLIS**  
METRO VANCOUVER  
LAND SURVEYORS

PID: 009-584-340  
FILE: BSU-7913P  
4932 VICTORIA DRIVE, VANCOUVER, BC V5P 3T6  
T 604.327.1535 F 604.327.1536



- NOTES:**
- Lot dimensions are derived from field survey.
  - Elevations are based on Geodetic Datum of Burnaby and are derived from control monument DTS-428 situated at the intersection of Suncrest Drive and Patterson Avenue.
  - For elevation control, use control monument or level plugs in concrete sidewalk only.
  - Building envelope shown is just an approximate interpretation of City Zoning Bylaws. Consult Planning Department for final interpretation prior to design.
  - Symbols plotted are for identification purposes and are not representative of their true size.
  - denotes standard iron post.
  - denotes hydrant.
  - denotes top of wall.
  - denotes bottom of wall.
  - denotes water valve.
  - denotes hydrant.

6/61

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DEC 18 2016

DEC 18 2014

## BUILDING DEFACEMENT

POSTING PLAN OF LOT 5  
DISTRICT LOT 175, GROUP 1  
NEW WESTMINSTER DISTRICT, PLAN 11750

**BCGS 92G.026**

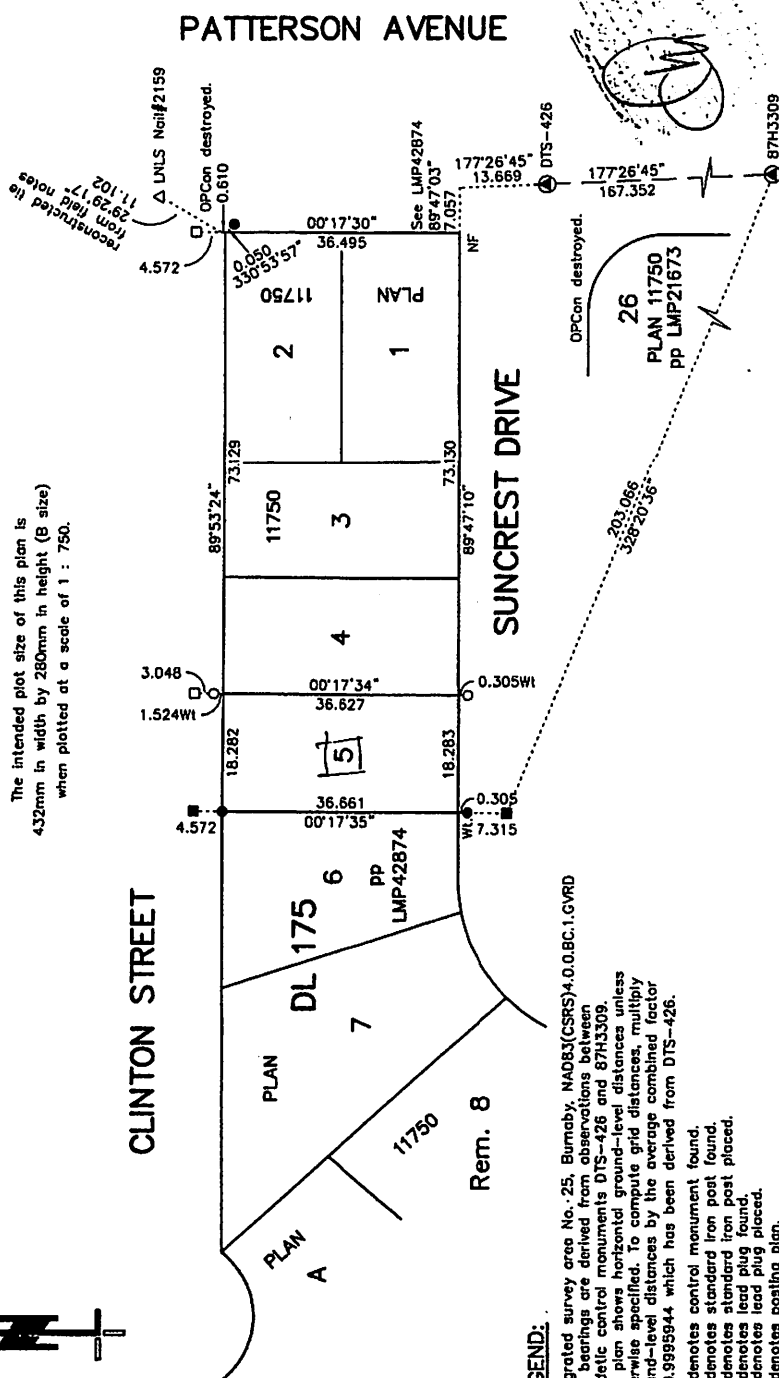
Pursuant to Section 68, Land Title Act.

**SCALE 1 : 750**



**All distances are in metres.**

The intended plot size of this plan is 432mm in width by 280mm in height (B size) when plotted at a scale of 1 : 750.



**LEGEND:**

Integrated survey area No. 25, Burnaby, NAD83(CRS84) 0.0 BC. 1.GVRD grid bearings are derived from observations between geodetic control monuments DTS-426 and 87H3309. This plan shows horizontal ground-level distances unless otherwise specified. To compute grid distances, multiply ground-level distances by the average combined factor of 0.9395944 which has been derived from DTS-426.

Ⓐ denotes control monument found.  
 ● denotes standard iron post found.  
 ○ denotes standard iron post placed.  
 ■ denotes lead plug found.  
 □ denotes lead plug placed.  
 ○○ denotes post/na plan.

**Note:** This plan shows one or more witness posts which are not set on the true corner(s). Unless otherwise shown, offset posts are on the production of the property lines.

The field survey represented by this plan was completed on the 9th day of September, 2014.

This plan lies within the  
Greater Vancouver Regional District

L	N	L	S	METRO VANCOUVER LAND SURVEYORS
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4932 VICTORIA DRIVE, VANCOUVER, BC, V5P 3T6  
T 604.327.1535 F 604.327.1536

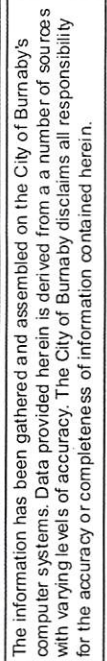
FILE: BSU-7913PT

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APR 02 2015

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6/6/



**3.(e)**



# Board of Variance Appeal Application Form

## OFFICE OF THE CITY CLERK

Burnaby City Hall, 4949 Canada Way, Burnaby BC, V5G 1M2, Phone: 604-294-7290 Email: clerks@burnaby.ca

### Applicant

Name of Applicant AMITOJ SANGHERA  
 Mailing Address 5846 - 124A ST  
 City/Town SURREY Postal Code V3X 1X3  
 Phone Number(s) (H) 604-825-1639 (C) 604-825-1639  
 Email <sup>Email Pkg</sup> Comments to: amitoj.sanghera@gmail.com  
 Preferred method of contact: ☒ email ☒ phone ☐ mail

### Property

Name of Owner AMITOJ SANGHERA  
 Civic Address of Property 6585 HALIFAX ST

I hereby declare that the information submitted in support of this application is, to the best of my knowledge, true and correct in all aspects, and further that my plans have no conflict with municipal bylaws other than those applied for with in this application.

Date

April / 14 / 2015

Applicant Signature

[Signature]

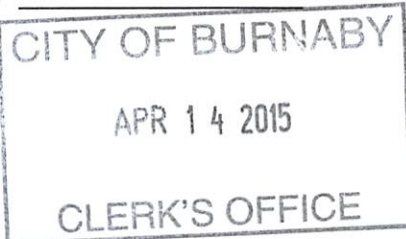
### Office Use Only

Appeal Date 6/62

Appeal Number BV# \_\_\_\_\_

#### Required Documents:

- ☐ Hardship Letter from Applicant
- ☐ Site Plan of Subject Property
- ☐ Building Department Referral Letter



Amitoj Sanghera  
5846 124A St  
Surrey, BC V3X 1X3  
604-825-1639

April 13, 2015

City of Burnaby  
4949 Canada Way  
Burnaby, BC V5G 1M2  
604-294-7944

Attention: Building Department

Subject: 6585 Halifax Street

We would like the city to consider the minimum front yard set-back for 6585 Halifax Street to 29.05ft. Even though the average of 2 consecutive homes on each sides is 42.43 feet, one of the 4 properties, 6561 Halifax Street is 61.2 Ft away from the Lot Line whereas the other properties are around 35 ft.

It is very rare that you will find a house that is 61.2 Ft away from the front lot line, it is practically half of the lot. It was built in 1930, so it is more likely to be demolished in the near future. Also, the front setback required by the R4 zoning is 24.6 Ft and our request is 4.45 Ft more than that.

Considering I have paid such a high premium, it is unreasonable for us to build the properties 42.43 Ft away based on 6561 Halifax St which might be demolished in the future. If we were to build garages facing each other in order to reduce the setback, it is extremely hard to park the vehicles in the garage and the homes always end up selling under market value.

Please look at the other adjacent properties for the average excluding 6561 Halifax St, as it is an old home and might be demolished in the near future.

Sincerely,

Amitoj Sanghera







# BOARD OF VARIANCE REFERRAL LETTER

<b>DATE:</b> March 26, 2015		<b>DEADLINE:</b> April 14, 2015 for the May 7, 2015 hearing		<i>This is <u>not</u> an application. Please take letter to Board of Variance. (Clerk's office - Ground Floor)</i>
<b>NAME OF APPLICANT:</b> Amitoj Sanghera				
<b>ADDRESS OF APPLICANT:</b> 5846 124A St., Surrey V3X1X3				
<b>TELEPHONE:</b> 604-825-1639				
<b>PROJECT:</b>				
<b>DESCRIPTION:</b> New two family dwelling				
<b>ADDRESS:</b> 6585 Halifax Street				
<b>LEGAL:</b>	<b>LOT:</b> 227	<b>DL:</b> 132	<b>PLAN:</b> 32419	

The above mentioned application, which includes the attached plan of the proposal, has been refused by the Building Department on the basis of contravention of:

**Zone/Section(s) R4 [104.9]**  
of the Burnaby Zoning Bylaw No. 4742

## **COMMENTS:**

The applicant is proposing to build a new two family dwelling. The following relaxation is being requested.

- 1) The front yard setback, to the porch post, will be 29.05 feet where a minimum front yard setback of 42.43 feet is required based on front yard averaging. The overhang projects 2 feet beyond the porch post. The porch stairs project 3 feet beyond the porch post.

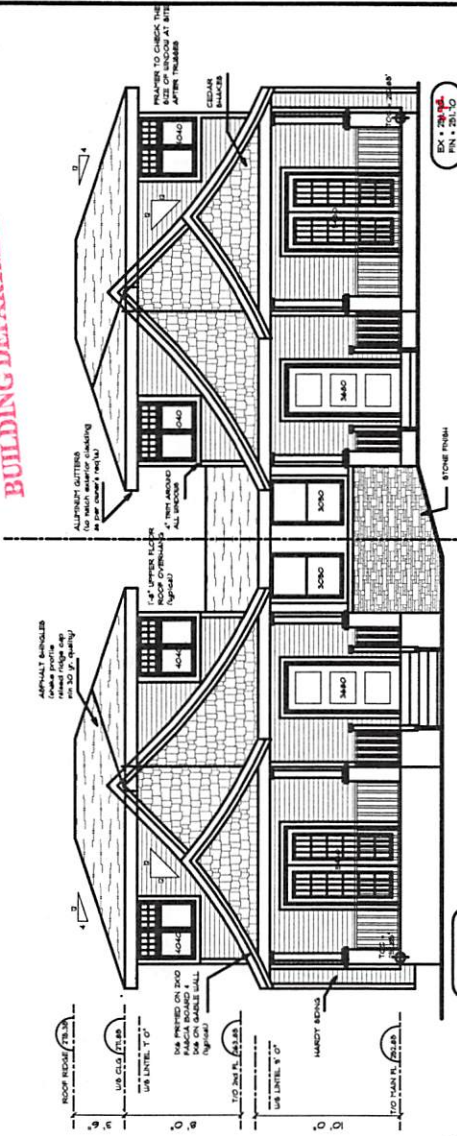
*Note: The applicant recognizes that should the project contain additional characteristics in contravention of the zoning by-law a future appeal(s) may be required.*

BHS

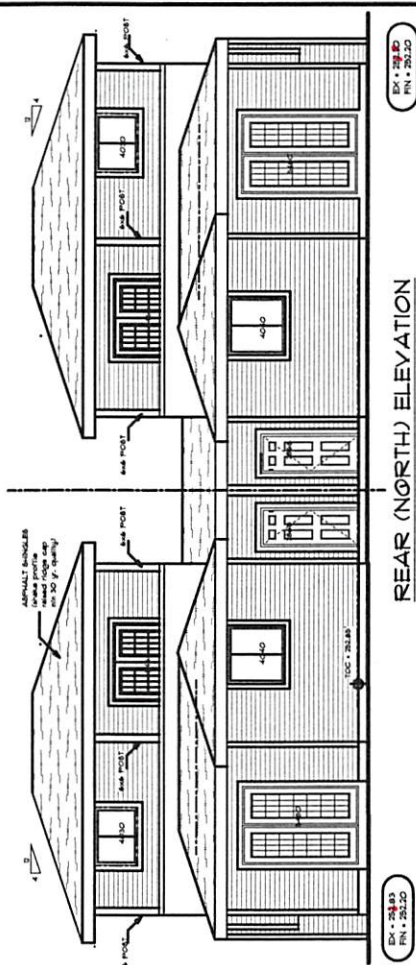
Peter Kushnir  
Assistant Chief Building Inspector, Permits and Customer Service

RECEIVED  
MAR 16 2015

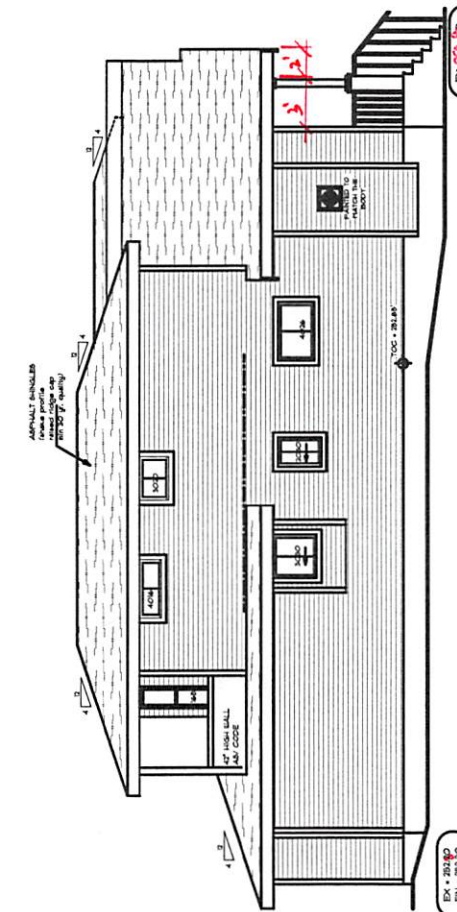
BUILDING DEPARTMENT



FRONT (SOUTH) ELEVATION

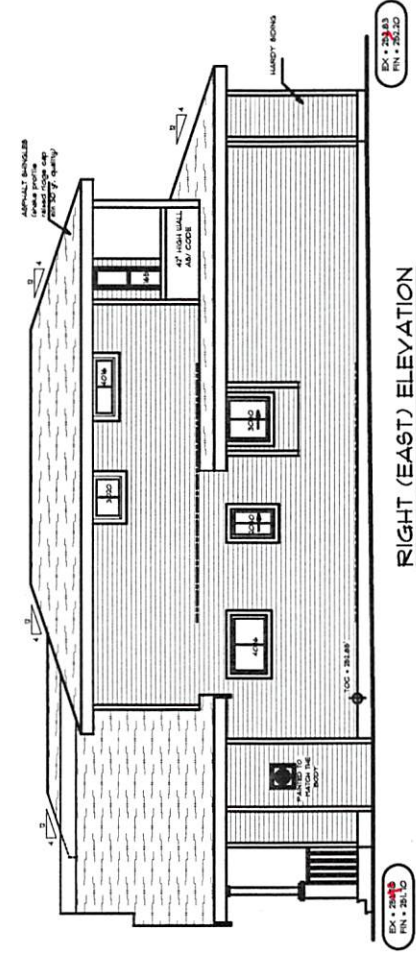


REAR (NORTH) ELEVATION



LEFT (WEST) ELEVATION

TOTAL WALL AREA: 691.4 SQ.FT.  
PERCENTAGE AREA OF WINDOW OPENING: 8.6%  
WINDOW OPENING ALLOWED: 59.58 SQ.FT.  
WINDOW OPENING PROPOSED: 31.00 SQ.FT.



RIGHT (EAST) ELEVATION

TOTAL WALL AREA: 691.4 SQ.FT.  
PERCENTAGE AREA OF WINDOW OPENING: 8.6%  
WINDOW OPENING ALLOWED: 59.58 SQ.FT.  
WINDOW OPENING PROPOSED: 31.00 SQ.FT.

PROPOSED RESIDENCE for Mr. AMITJOY SANGHERA (604-825-1639)  
ON 6585 HAUFAX STREET, BURNABY, B.C.

4 simple design  
this drawing is the exclusive property of  
SIMPLEX HOME DESIGN LTD. nobody is authorized to use  
this drawing without the written approval  
from SIMPLEX HOME DESIGN LTD.

SCALE: 1/4" = 1'-0"  
DATE: MARCH, 2015  
DRAWN: CH

PUN: 10-14-1-13  
DRAWN: CH

4 simple design  
PUN: 10-14-1-13  
DRAWN: CH

6/62



POSTING PLAN OF LOT 227

DISTRICT LOT 132

GROUP 1 NEW WESTMINSTER DISTRICT PLAN 32419

Pursuant to Sec 48 Land Title Act  
BCGS 705.026  
City of Burnaby



The intended plot size of this plan is  
shown in meters by 432m in height & size  
shown plotted at a scale of 1:500

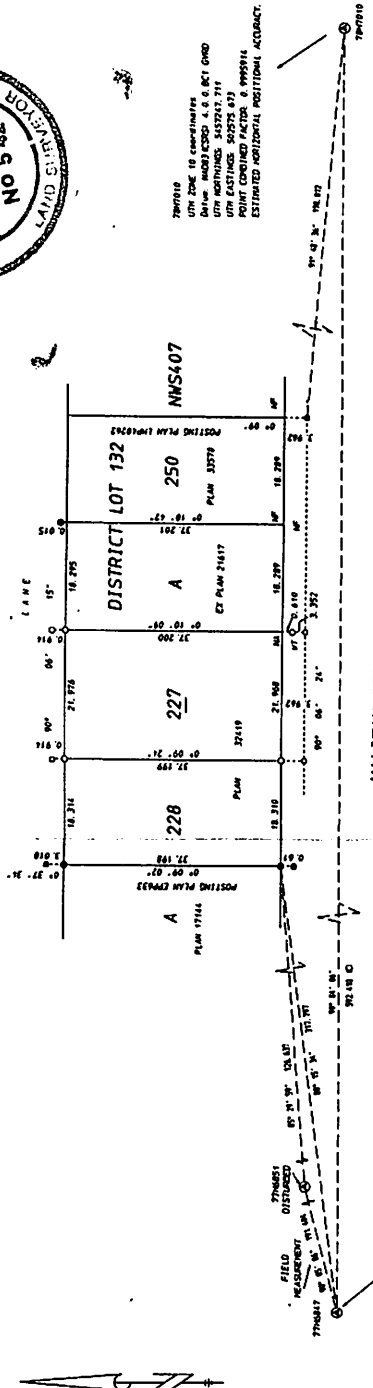
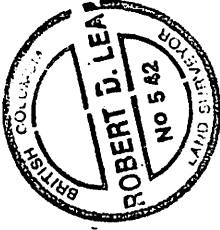
PID: 003-048-471

PLAN EPP46737

RECEIVED

MAR 13 2015

BUILDING DEPARTMENT



THM010  
UTM ZONE 18 coordinates  
Datum: NAD83 (CSRS) 4.0 & BC1 OND  
UTM NORTHINGS: 5457245.418  
UTM EASTINGS: 391893.497  
UTM SCALE FACTOR: 0.9999999999999999  
ESTIMATED HORIZONTAL POSITIONAL ACCURACY: 0.087m

The UTM coordinates and estimated horizontal  
positional accuracy are derived from conventional lines  
to geodetic control monuments THM017 and THM010

Grid bearings are derived from  
conventional lines to geodetic control monuments  
THM017 and THM010

Integrated survey area number 25,  
City of Burnaby, NAD83 (CSRS) 4.0 & BC1 OND

LEA & ASSOCIATES

Land Surveying Ltd.  
1184 W. 12TH AVENUE  
Vancouver, B.C. V6K 2P7  
PHONE: 604-683-1344  
CELL: 164-588-0888

This plan shows horizontal ground-level  
distances unless otherwise specified  
and is based on the following:  
1) 1984 ground-level distances by the average  
combined factor of 0.9999999999999999  
from geodetic control monuments THM017 and THM010

LEGEND

- Lead Plug
- Standard Iron Post
- Control Monument
- Witness
- POSTING PLAN
- CORNER NOT ACCESSIBLE
- Nothing Found
- The plan line within the
- GOVERNMENT SURVEY DISTRICT

ALL SURVEY EVIDENCE IS INTACT THIS  
12th DAY OF MARCH 2015

*Robert D. Leach* BCS

All distances are in metres and  
decimals thereof, unless otherwise noted.  
Witness or offset posts are on property  
line production unless noted otherwise.  
This plan shows one or more witness posts  
which are not on the true corner.

The field survey represented by this plan was completed  
on the 8th day of JANUARY 2015, ROBERT D. LEACH, BCS  
Commission No. 542 FILE 5404

- LEAD PLUG
- IRON PIN
- WT. WITNESS

SCALE: 1 INCH = 20 FEET

(S) ..... top  
(B) ..... bottom

TO SET OUT ANY ELEVATIONS FOR CONSTRUCTION, REFER TO THE POINT MARKED "BENCH MARK".

ALL TREES HAVE BEEN PLOTTED AS REQUIRED.

ALL ELEVATIONS ARE BASED ON THE CITY OF BURNABY - DATUM, AND ARE DERIVED FROM DTM N° 7287 7010 ELEVATION = 2551.00 FEET

LOCATION: 25 SPERLING AVE. & HALIFAX ST.

THE BUILDING ENVELOPE(S) SHOWN HEREON ARE SUBJECT TO BURNABY CITY HALL VERIFICATION. WE CAN ASSUME NO RESPONSIBILITY FOR CHANGES MADE IN THE DIMENSIONS OF THE BUILDING ENVELOPE, AND SUGGEST PRIOR APPROVAL FROM THE CITY OF BURNABY'S APPROPRIATE DEPARTMENT'S PRIOR TO ANY INITIAL HOUSE OR BUILDING DESIGNS.

THIS DOCUMENT IS NOT VALID UNLESS ORIGINALLY SIGNED AND SEALED IN RED COLOUR.

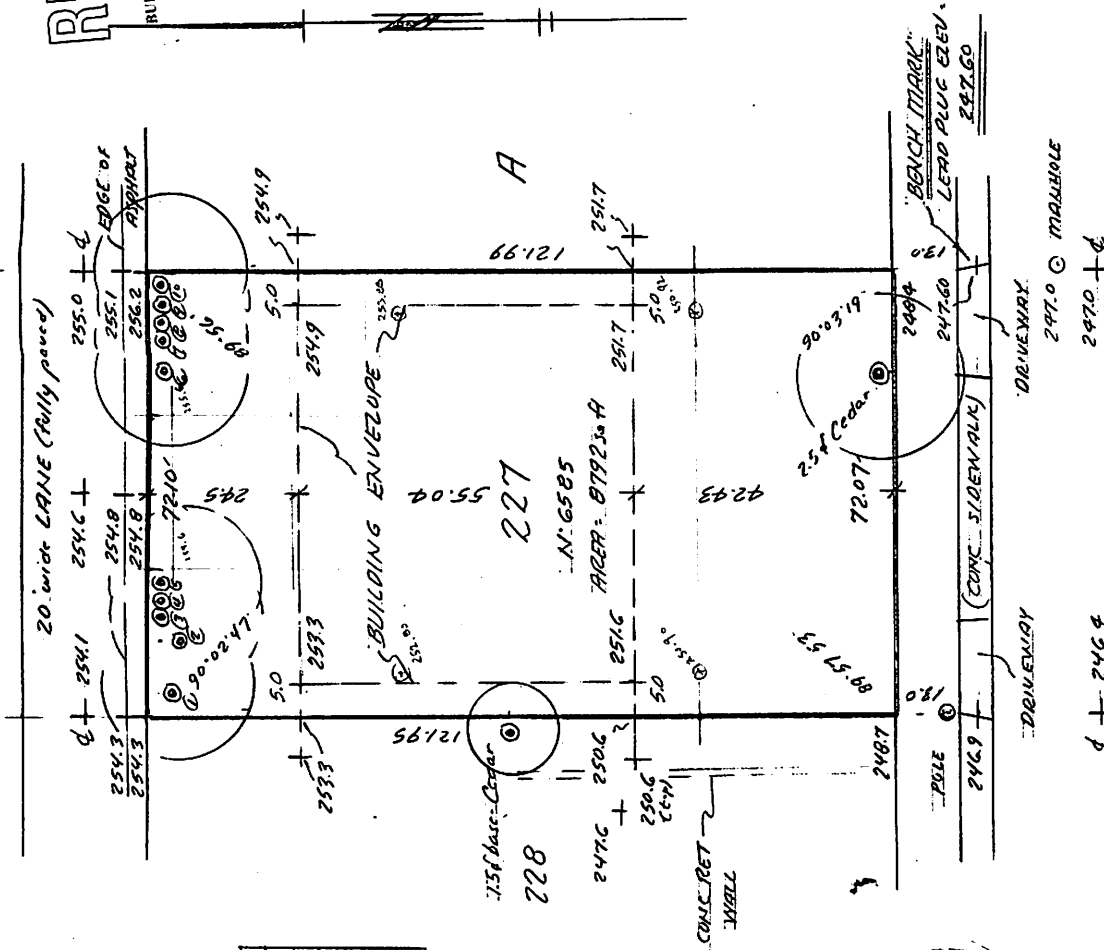
CERTIFIED CORRECT THIS 12<sup>th</sup> DAY OF JANUARY 2015

ROBERT D. LEA, B.C.L.S.

SURVEY PLAN SHOWING THE LOCATION OF THE ADJACENT HOUSE SETBACKS, THE PROPOSED BUILDING ENVELOPE, ELEVATIONS AND TREES ON: LOT 227 DL 132 G.P.I. AMWD. PLAN 32419. PID N° 003-048-471

ADDRESS: 6585 HALIFAX STREET FILE: 5604

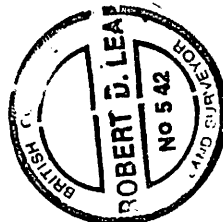
RECEIVED  
MAR 12 2015  
BUILDING DEPARTMENT



AVERAGE HOUSE SETBACK	
ADDRESS:	SETBACK
N° 6557 HALIFAX	33.4
N° 6561	61.2
N° 6597	39.8
N° 6623	35.3
N° 6585 AVERAGE	42.43

TREE LEGEND

- 1) 1.45' base Cedar (3 Shaded tree)
- 2) 1.45' base Cedar (3 Shaded tree)
- 3) 1.45' base Cedar
- 4) 1.26' base Cedar
- 5) 1.86' base Cedar
- 6) 0.94' base Cedar
- 7) 1.94' base Cedar
- 8) 1.94' base Cedar
- 9) 1.45' base Cedar
- 10) 1.94' base Cedar



LEA & ASSOCIATES

LEAD SURVEYING LTD  
3186 W. 12<sup>th</sup> AVE. VANCOUVER, B.C. V6K 2R7  
TEL: 604 683 4344



**5. (1)**





# Board of Variance Appeal Application Form

## OFFICE OF THE CITY CLERK

Burnaby City Hall, 4949 Canada Way, Burnaby BC, V5G 1M2, Phone: 604-294-7290 Email: clerks@burnaby.ca

### Applicant

Name of Applicant MICHAEL VINT

Mailing Address 6863 MANDY AVE

City/Town BURNABY Postal Code V5J 3M2

Phone Number(s) (H) 604 639 6702 (C) 604 671 8861

Email mikevint@shaw.ca

Preferred method of contact: ☒ email ☐ phone ☐ mail

### Property

Name of Owner MICHAEL VINT

Civic Address of Property 6863 MANDY AVE BURNABY  
BC V5J 3M2

I hereby declare that the information submitted in support of this application is, to the best of my knowledge, true and correct in all aspects, and further that my plans have no conflict with municipal bylaws other than those applied for with in this application.

APRIL 14, 2015  
Date

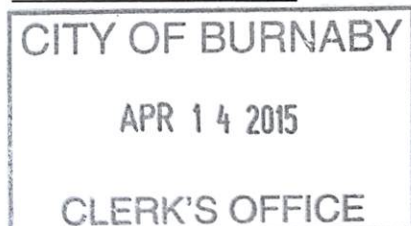
[Signature]  
Applicant Signature

### Office Use Only

Appeal Date 6163 Appeal Number BV# \_\_\_\_\_

#### Required Documents:

- ☐ Hardship Letter from Applicant
- ☐ Site Plan of Subject Property
- ☐ Building Department Referral Letter



April 14, 2015

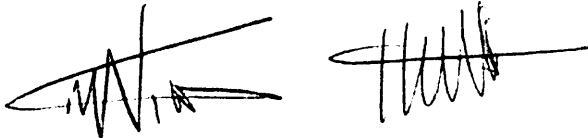
Dear Board of Variance:

We are a family of four, two adults and two children, and are adding a partial second floor above the existing two bedrooms and one bathroom, as we need more living space. The addition of this floor would allow for three additional bedrooms and two bathrooms.

This partial renovation will only affect the front of the house closest to Mandy Street facing east. Putting the addition to the back of the house is impractical as the back of the house has a vaulted ceiling. There will be no increase in size to the existing footprint, only upward.

We respectfully request three variance approvals for the front yard, the total length of the house, and the increased height.

Sincerely

Two handwritten signatures in black ink. The first signature on the left is more stylized with a large loop. The second signature on the right is more straightforward with several vertical strokes.

Michael and Heather Vint

June 26, 2014

Dear Neighbour:

We are adding a partial second floor above the existing two bedrooms, bathroom and office, as we need more living space. The addition of this floor would allow for three additional bedrooms and two bathrooms. The overall height of the building will increase by 8 feet. This partial renovation will only affect the front of the house closest to Mandy street facing east, as the back of the house has a vaulted ceiling. There will be no increase in size to the existing footprint, only upward. We require two waiver approvals; one for the front yard and one for the height. We are not intending to change the front yard however it still requires a waiver.

We thank you for your cooperation. Please sign in the "registered owner" space below together with your name and address – marking your approval.

Please phone us – 604 639 6702, if you have further queries.

Michael and Heather Vint  
6863 Mandy Ave Burnaby BC, V5J 3M2

Registered Owner Marlen De Bruin

Address 6955 Mandy Ave.

Approved M. De Bruin



June 26, 2014

Dear Neighbour:

We are adding a partial second floor above the existing two bedrooms, bathroom and office, as we need more living space. The addition of this floor would allow for three additional bedrooms and two bathrooms. The overall height of the building will increase by 8 feet. This partial renovation will only affect the front of the house closest to Mandy street facing east, as the back of the house has a vaulted ceiling. There will be no increase in size to the existing footprint, only upward. We require two waiver approvals; one for the front yard and one for the height. We are not intending to change the front yard however it still requires a waiver.

We thank you for your cooperation. Please sign in the "registered owner" space below together with your name and address – marking your approval.

Please phone us – 604 639 6702, if you have further queries.

Michael and Heather Vint  
6863 Mandy Ave Burnaby BC, V5J 3M2

Registered Owner Michael Wong

Address 3869 DUBOIS ST.

Approved yes, MSHW

June 26, 2014

Dear Neighbour:

We are adding a partial second floor above the existing two bedrooms, bathroom and office, as we need more living space. The addition of this floor would allow for three additional bedrooms and two bathrooms. The overall height of the building will increase by 8 feet. This partial renovation will only affect the front of the house closest to Mandy street facing east, as the back of the house has a vaulted ceiling. There will be no increase in size to the existing footprint, only upward. We require two waiver approvals; one for the front yard and one for the height. We are not intending to change the front yard however it still requires a waiver.

We thank you for your cooperation. Please sign in the "registered owner" space below together with your name and address – marking your approval.

Please phone us – 604 639 6702, if you have further queries.

Michael and Heather Vint  
6863 Mandy Ave Burnaby BC, V5J 3M2

Registered Owner *J M Brown*

Address *3879 Hubois St. V5J-1K2*

Approved *J M Brown*

June 26, 2014

Dear Neighbour:

We are adding a partial second floor above the existing two bedrooms, bathroom and office, as we need more living space. The addition of this floor would allow for three additional bedrooms and two bathrooms. The overall height of the building will increase by 8 feet. This partial renovation will only affect the front of the house closest to Mandy street facing east, as the back of the house has a vaulted ceiling. There will be no increase in size to the existing footprint, only upward. We require two waiver approvals; one for the front yard and one for the height. We are not intending to change the front yard however it still requires a waiver.

We thank you for your cooperation. Please sign in the "registered owner" space below together with your name and address – marking your approval.

Please phone us – 604 639 6702, if you have further queries.

Michael and Heather Vint  
6863 Mandy Ave Burnaby BC, V5J 3M2

Registered Owner Anne Kloppenborg

Address 6883 Mandy Ave. Burnaby V5J3M2

Approved A Kloppenborg June 29/2014

June 26, 2014

Dear Neighbour:

We are adding a partial second floor above the existing two bedrooms, bathroom and office, as we need more living space. The addition of this floor would allow for three additional bedrooms and two bathrooms. The overall height of the building will increase by 8 feet. This partial renovation will only affect the front of the house closest to Mandy street facing east, as the back of the house has a vaulted ceiling. There will be no increase in size to the existing footprint, only upward. We require two waiver approvals; one for the front yard and one for the height. We are not intending to change the front yard however it still requires a waiver.

We thank you for your cooperation. Please sign in the "registered owner" space below together with your name and address – marking your approval.

Please phone us – 604 639 6702, if you have further queries.

Michael and Heather Vint  
6863 Mandy Ave Burnaby BC, V5J 3M2

Registered Owner Anissa Penney Anissa Penney

Address 3870 Dubois St, Burnaby BC V5J 1L1

Approved Yes. Jul 26/14.

April 13, 2015

Dear Neighbour:

We are adding a partial second floor above the existing two bedrooms, bathroom and office, as we need more living space. The addition of this floor would allow for three additional bedrooms and two bathrooms. The overall height of the building will increase approximately by 8 feet. This partial renovation will only affect the front of the house closest to Mandy street facing east, as the back of the house has a vaulted ceiling. There will be no increase in size to the existing footprint, only upward. We require three variance approvals for the front yard, the total length of the house, and the increased height. We are not intending to change the front yard however it still requires a variance.

We thank you for your cooperation. Please sign in the "registered owner" space below together with your name and address – marking your approval.

Please phone us – 604 639 6702, if you have further queries.

Michael and Heather Vint  
6863 Mandy Ave Burnaby BC, V5J 3M2

Registered Owner

Bruce Gannon

Address

3888 Dobbins St

Approved

MHV

April 13, 2015

Dear Neighbour:

We are adding a partial second floor above the existing two bedrooms, bathroom and office, as we need more living space. The addition of this floor would allow for three additional bedrooms and two bathrooms. The overall height of the building will increase approximately by 8 feet. This partial renovation will only affect the front of the house closest to Mandy street facing east, as the back of the house has a vaulted ceiling. There will be no increase in size to the existing footprint, only upward. We require three variance approvals for the front yard, the total length of the house, and the increased height. We are not intending to change the front yard however it still requires a variance.

We thank you for your cooperation. Please sign in the "registered owner" space below together with your name and address – marking your approval.

Please phone us – 604 639 6702, if you have further queries.

Michael and Heather Vint  
6863 Mandy Ave Burnaby BC, V5J 3M2

Registered Owner

Peony Works

Address

3830 Imperial St

Approved

[Signature]



April 13, 2015

Dear Neighbour:

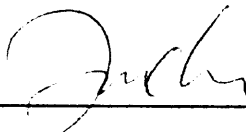
We are adding a partial second floor above the existing two bedrooms, bathroom and office, as we need more living space. The addition of this floor would allow for three additional bedrooms and two bathrooms. The overall height of the building will increase approximately by 8 feet. This partial renovation will only affect the front of the house closest to Mandy street facing east, as the back of the house has a vaulted ceiling. There will be no increase in size to the existing footprint, only upward. We require three variance approvals for the front yard, the total length of the house, and the increased height. We are not intending to change the front yard however it still requires a variance.

We thank you for your cooperation. Please sign in the "registered owner" space below together with your name and address – marking your approval.

Please phone us – 604 639 6702, if you have further queries.

Michael and Heather Vint  
6863 Mandy Ave Burnaby BC, V5J 3M2

Registered Owner

FRANK CHAN 

Address

3870 Imperial St.

Approved



(604) 294-7140

### BOARD OF VARIANCE REFERRAL LETTER

<b>DATE:</b> March 24 <sup>th</sup> , 2015		<b>DEADLINE:</b> April 14 <sup>th</sup> , 2015 for the May 7 <sup>th</sup> , 2015 hearing		<i>This is <b>not</b> an application. Please take letter to Board of Variance. (Clerk's office - Ground Floor)</i>
<b>NAME OF APPLICANT:</b> Michael Vint				
<b>ADDRESS OF APPLICANT:</b> 6863 Mandy Avenue				
<b>TELEPHONE:</b> (604) 604-671-8861				
<b>PROJECT</b>				
<b>DESCRIPTION:</b> Interior alteration/finishing to basement, interior alteration/finishing to main floor, addition to upper floor, and a new secondary suite only.				
<b>ADDRESS:</b> 6863 Mandy Avenue				
<b>LEGAL:</b>	<b>LOT:</b> 3	<b>DL:</b> 150	<b>PLAN:</b> 15981	

The above mentioned application, which includes the attached plan of the proposal, has been refused by the Building Department on the basis of contravention of:

**Zone/Section(s) R-10 [110.6(2)(a), 110.7(a), 110.8]**  
of the Burnaby Zoning Bylaw No. 4742

**COMMENTS:**

The applicant is proposing to construct an addition to an existing single family dwelling. The following relaxations are being requested:

1. The principal building height will be 29.48' where a maximum 24.9' is permitted.
2. The principal building depth will be 59.63' where a maximum 52.20' is permitted.
3. The principal building front yard setback, measured to the upper floor addition, will be 9.65' where a minimum 24.90' is required.

*Note: The applicant recognizes that should the project contain additional characteristics in contravention of the zoning by-law a future appeal(s) may be required.*

BY

Peter Kushnir

Assistant Chief Building Inspector, Permits and Customer Service





















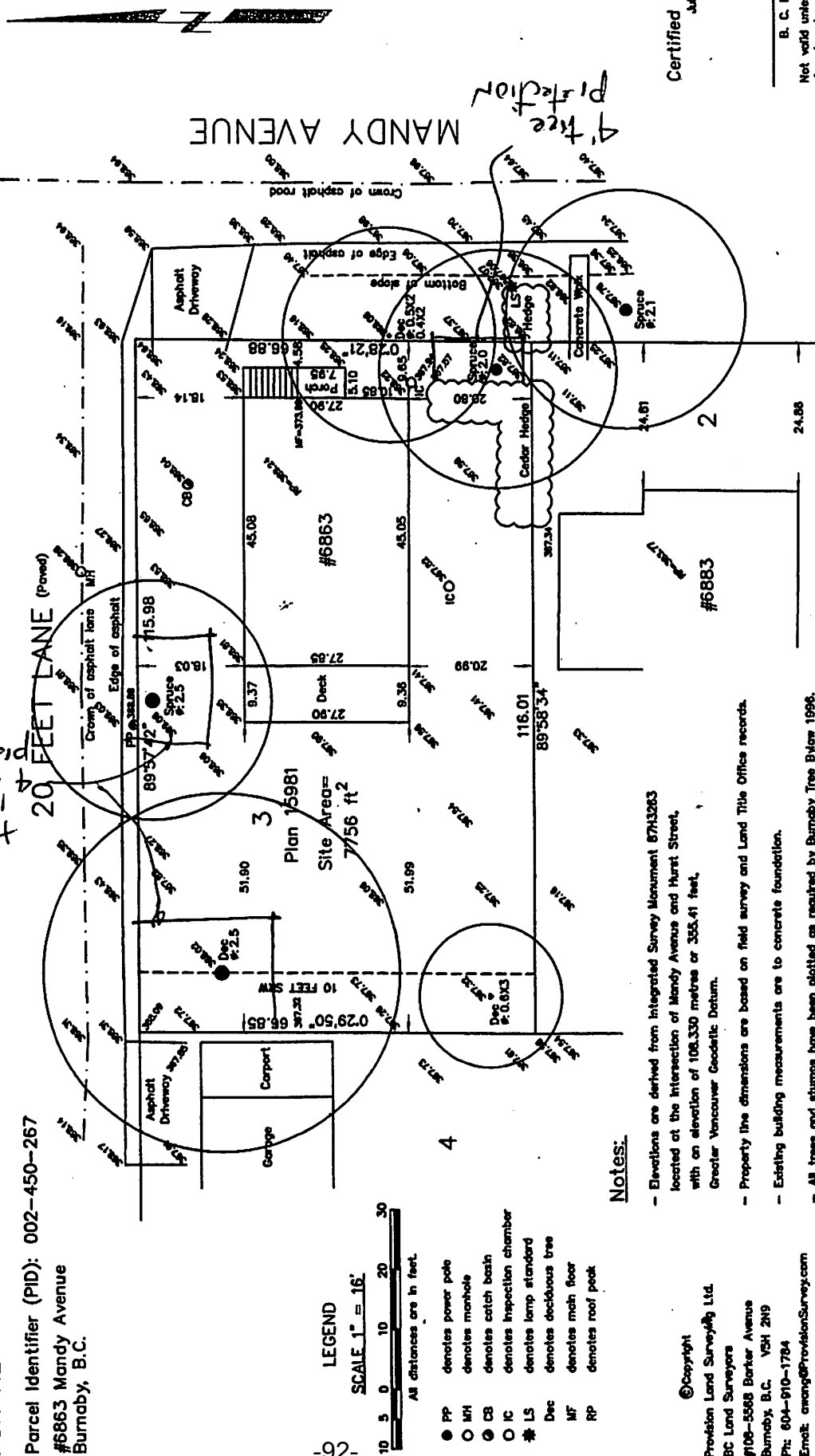




TOPOGRAPHIC PLAN OF LOT 3 DISTRICT LOT 150  
GROUP 1 NEW WESTMINSTER DISTRICT PLAN 15981  
FOR RENOVATION PURPOSES

**BUILDING DEPARTMENT:**

Parcel Identifier (PID): 002-450-267  
#6863 Mandy Avenue  
Burnaby, B.C.



**Notes:**

Elevations are derived from Integrated Survey Monument 8743283 located at the intersection of Mandy Avenue and Hurst Street, with an elevation of 108.330 metres or 355.41 feet.  
Geaciar Vancouver Geodetic Datum.

**Certified Correct:**  
**July 18, 2014**

Existing building measurements are to concrete foundation.

- All trees and stumps have been plotted as required by Burnaby Tree Bylaw 1996.

**B. C. L. S.**

Not valid unless originally  
signed and sealed

**Copyright!**

Provision Land Surveying Ltd.

LEARNERS FIRST CB

2102-5388 Porter Avenue

Burnaby, B.C. V5H 2N9

DATE: 04-010-1781

PH: 604-910-1784

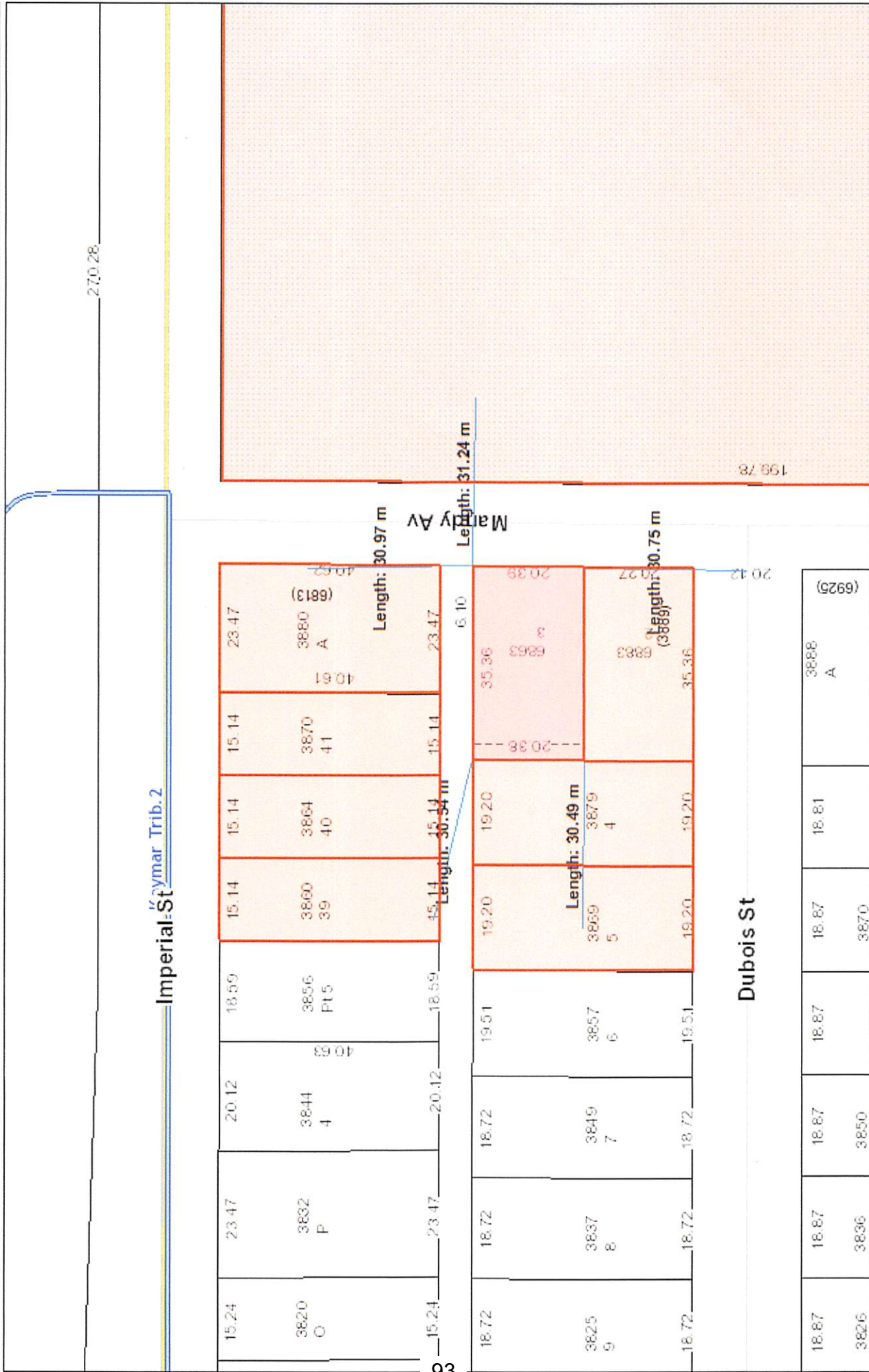
— 100 —



# 6863 Mandy Ave

April 10, 2015

1:956



The information has been gathered and assembled on the City of Burnaby's computer systems. Data provided herein is derived from a number of sources with varying levels of accuracy. The City of Burnaby disclaims all responsibility for the accuracy or completeness of information contained herein.

Box 6163

3.(g)





# Board of Variance Appeal Application Form

## OFFICE OF THE CITY CLERK

Burnaby City Hall, 4949 Canada Way, Burnaby BC, V5G 1M2, Phone: 604-294-7290 Email: clerks@burnaby.ca

### Applicant

Name of Applicant Kalwant Puar  
 Mailing Address 3705 Price Street  
 City/Town Burnaby Postal Code V5G 2K9  
 Phone Number(s) (H) 604-451-7372 (C) 604-454-8361  
 Email \_\_\_\_\_  
 Preferred method of contact: ☐ email ☒ phone ☐ mail

### Property

Name of Owner Kalwant & Charanjit Puar  
 Civic Address of Property 3705 Price Street  
Burnaby BC

I hereby declare that the information submitted in support of this application is, to the best of my knowledge, true and correct in all aspects, and further that my plans have no conflict with municipal bylaws other than those applied for with in this application.

04-13-2015  
 Date

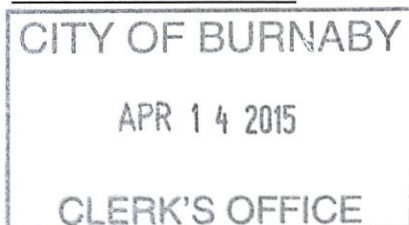
Kalwant Puar  
 Applicant Signature

### Office Use Only

Appeal Date 6/6/15 Appeal Number BV# \_\_\_\_\_

#### Required Documents:

- ☐ Hardship Letter from Applicant
- ☐ Site Plan of Subject Property
- ☐ Building Department Referral Letter





April 13, 2015

Subject: To whom it may concern

I am writing this to apply for double car garage. I am sure for my clearance. I cleared corners and all setbacks. I am not obstructing neighbours. I need an access for indoor parking as we have had problems in this area before. We had our vehicle broken into several times to the extent that we had to leave our vehicles unlocked and glove department open so that the thief don't break in and can see nothing in the vehicle to steal. As you know paying \$800 for broken into vehicle deductible is very hard and we have already done this several times before. So we are requesting to have a double car garage. We have talked to all our neighbours a block around on Price Street and a block on Boundary and none of them have any objection for us to get double car garage.

We appreciate your attention to this.

Sincerely,



Charanjit and Kalwant Puar


**BOARD OF VARIANCE REFERRAL LETTER**

<b>DATE:</b> April 8, 2015		<b>DEADLINE:</b> April 14, 2015 for the May 7, 2015 hearing		<i>This is <b>not</b> an application. Please take letter to Board of Variance. (Clerk's office - Ground Floor)</i>
<b>NAME OF APPLICANT:</b> Sundeep Puar				
<b>ADDRESS OF APPLICANT:</b> 4880 Boundary Road				
<b>TELEPHONE:</b> 604-454-8361				
<b>PROJECT</b>				
<b>DESCRIPTION:</b> New single family dwelling				
<b>ADDRESS:</b> 3705 Price Street				
<b>LEGAL:</b>	<b>LOT:</b> 1	<b>DL:</b> 35	<b>PLAN:</b> 1123	

The above mentioned application, which includes the attached plan of the proposal, has been refused by the Building Department on the basis of contravention of:

**Zone/Section(s) R5 [6.6(2)(d); 6.6(2)(g)(i)]**  
of the Burnaby Zoning Bylaw No. 4742

**COMMENTS:**

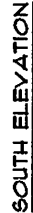
The applicant is proposing to build a new detached garage for a new single family dwelling that is currently under construction. The following relaxations are being requested.

- 1) The setback, from North property line to the garage foundation, will be 2.0 feet where a minimum setback of 3.94 feet is required. The overhang projects 0.5 feet beyond the foundation.
- 2) The setback, from South property line to the garage foundation, will be 10.01 feet where a minimum setback of 19.7 feet is required. The overhang projects 0.5 feet beyond the foundation.

*Note: The applicant recognizes that should the project contain additional characteristics in contravention of the zoning by-law a future appeal(s) may be required.*

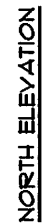
BHS

Peter Kushnir  
Assistant Chief Building Inspector, Permits and Customer Service

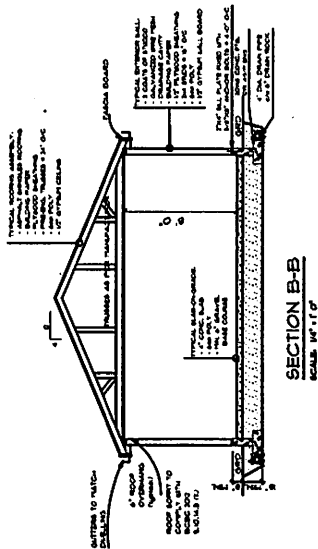


CONTRACTOR TO CHOOSE FROM THE FOLLOWING MATERIALS FOR THE JOISTS AS PER BIDDING 200 8.2.5.1/1

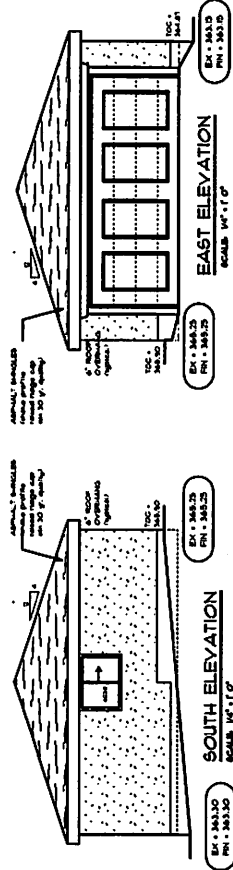
- i) NOT LESS THAN 3" DEEP BLACK OAK STEEL
- ii) NOT LESS THAN 3" DEEP BLACK OAK STEEL
- iii) UNWEAVERED ALUMINUM CONCERNING TO CANADIAN ALUMINUM BOARD JOISTS, AND FAMCOA FOR RESIDENTIAL USE
- iv) NOT LESS THAN 1 1/2" THICK 6" WIDE SPACED BOARD OR GYPSUM BOARD INSTALLED ACCORDING TO CSA A93.3M
- v) NOT LESS THAN 1 1/2" THICK LAMINATED GYPSUM BOARD OR GYPSUM BOARD INSTALLED ACCORDING TO CSA A93.3M
- vi) NOT LESS THAN 1 1/2" THICK LAMINATED GYPSUM BOARD OR GYPSUM BOARD INSTALLED ACCORDING TO CSA A93.3M
- vii) NOT LESS THAN 1 1/2" THICK LAMINATED GYPSUM BOARD OR GYPSUM BOARD INSTALLED ACCORDING TO CSA A93.3M



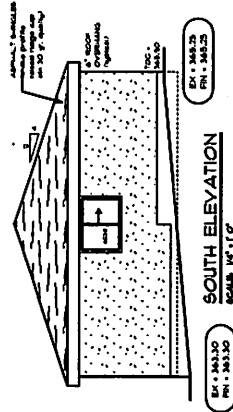
TOTAL WALL AREA:	\$75.00 SF
UNPROTECTED OPENINGS PERMITTED:	
(10% TEMP. GLAZING)	\$48.00 SF
UNPROTECTED OPENINGS PROPOSED:	\$63.00 SF



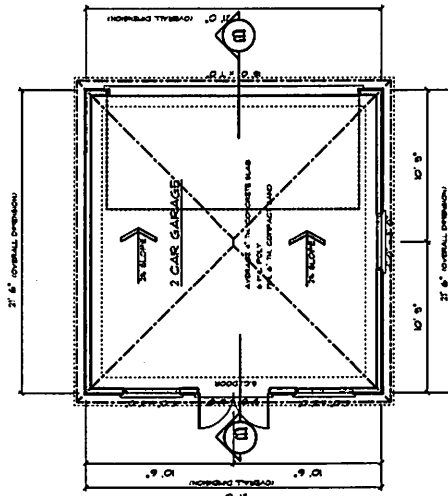
SECTION B-B  
SCALE 1/4" = 1'-0"



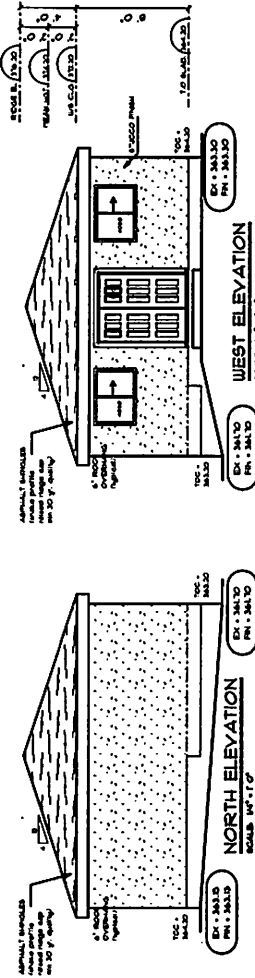
EAST ELEVATION  
SCALE 1/4" = 1'-0"



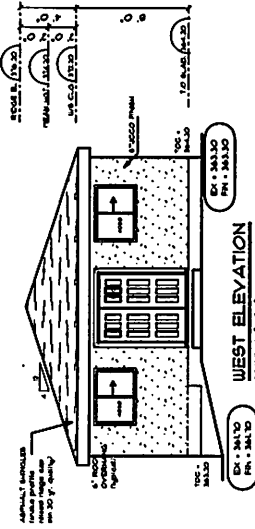
SOUTH ELEVATION  
SCALE 1/4" = 1'-0"



GARAGE PLAN  
SCALE 1/4" = 1'-0"



NORTH ELEVATION  
SCALE 1/4" = 1'-0"



WEST ELEVATION  
SCALE 1/4" = 1'-0"

PROPOSED RESIDENCE for PALJAR DEVELOPEMENT (604-454-8361)  
ON 3705 PRICE STREET, BURNABY, B.C.

This drawing is the exclusive property of  
SIMPLE HOME DESIGN LTD. and is not to be  
reproduced or used in any way without the  
written approval of SIMPLE HOME DESIGN LTD.

SCALE: 1/4" = 1'-0"  
DATE: JAN. 2014

PLAN: 1014-2-14  
DRAWN BY

5

simple home design  
LTD.  
1014-2-14  
604-454-8361



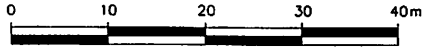
POSTING PLAN OF LOT 1  
 BLOCK 7 DISTRICT LOT 35 GROUP 1  
 NEW WESTMINSTER DISTRICT PLAN 1123  
 PURSUANT TO SECTION 68 OF THE LAND TITLE ACT  
 BCGS 92G.025  
 CITY OF BURNABY  
 SCALE 1:500

PLAN EPP42125

RECEIVED

AUG 20 2014

BUILDING DEPARTMENT



(All distances are in metres)

The intended plot size of this plan is 280mm in width by  
 432mm in height (B size) when plotted at a scale of 1:500.

**LEGEND**

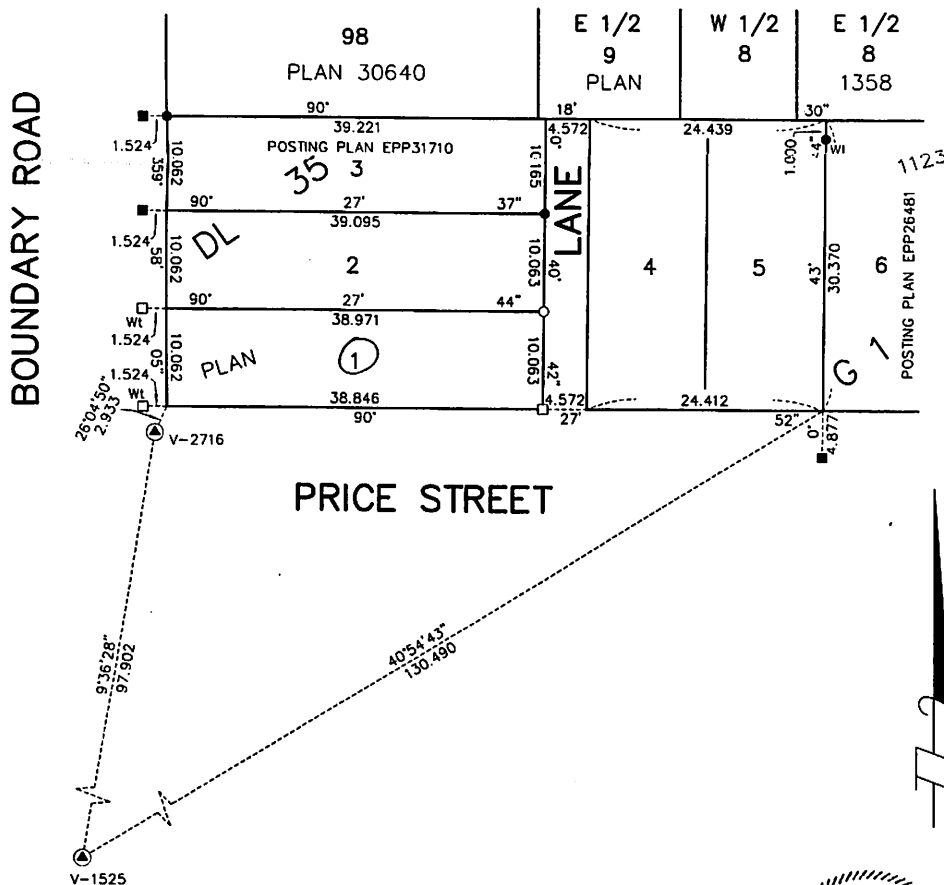
- ⊙ Indicates control monument found
- Indicates standard iron post found
- Indicates standard iron post placed
- Indicates lead plug found
- Indicates lead plug placed
- Wt Indicates witness

Grid bearings are derived from observations between  
 geodetic control monuments V-2717 and V-1525,  
 Integrated Survey Area No. 25, Burnaby, B.C.  
 NAD 83 (CSRS)

This plan shows horizontal ground-level distances unless  
 otherwise specified. To compute grid distances, multiply  
 ground-level distances by average combined factor of  
 0.99958585 which has been derived from geodetic  
 control monuments V-2717 and V-1525.

**Note:**

This plan shows one or more witness posts which  
 are not set on the true corner(s).



DHALIWAL & ASSOCIATES  
 LAND SURVEYING INC.

216-12899 76th Avenue  
 Surrey, B.C.  
 V3W 1E6  
 (ph) 604 501-6188  
 (fx) 604 501-6189

FILE : 1405131-P01.DWG

THIS PLAN LIES WITHIN THE  
 GREATER VANCOUVER REGIONAL DISTRICT

The field survey represented by this plan was  
 completed on the 14th day of July, 2014.

Paul Nikula, BCLS 803

6164

BRITISH COLUMBIA LAND SURVEYOR'S SITE SURVEY PLAN OF  
LOT 1 BLK 7 DISTRICT LOT 35 GROUP 1 N.W.D. PLAN 1123

P.L.D. 003-421-368

For Building Design Purposes

Scale: 1 inch = 16 feet

Current Civic Address:  
4880 Boundary Road  
Burnaby, B.C.

LEGEND

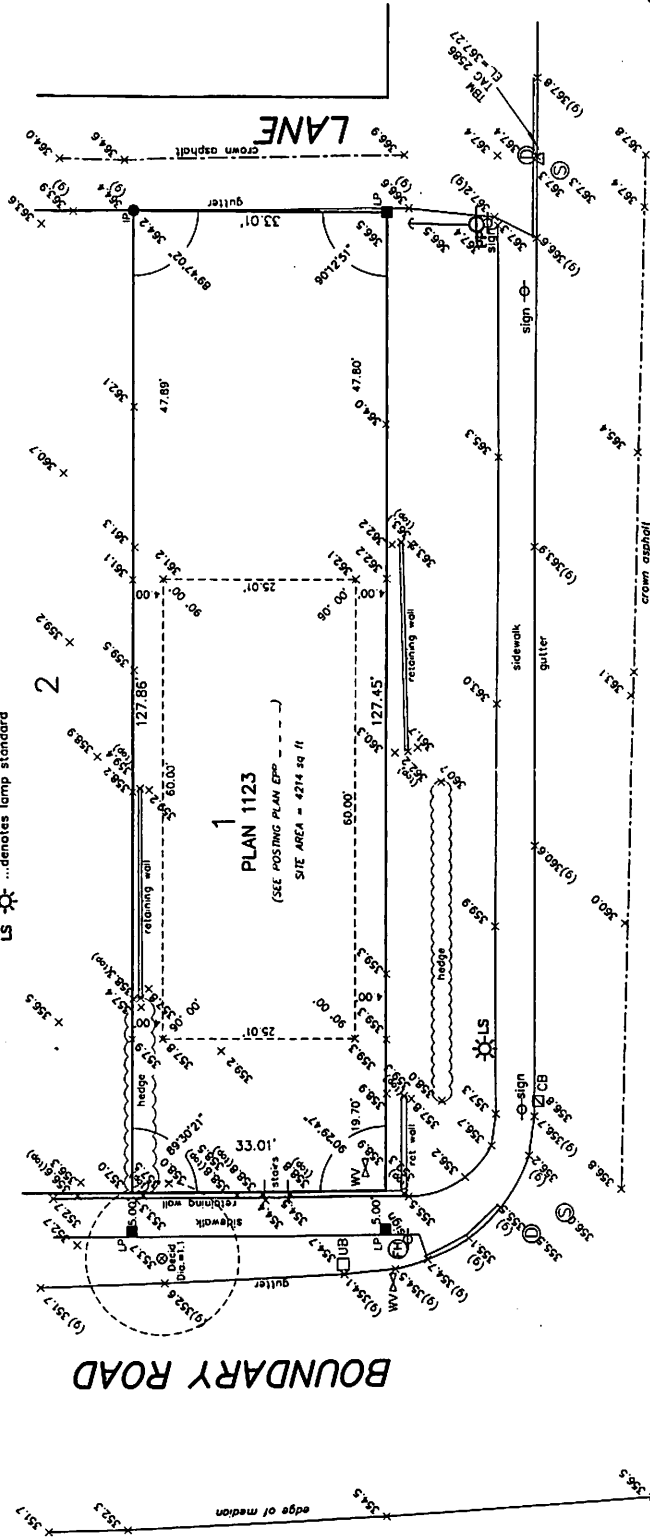
- ...denotes iron post
- ...denotes lead plug
- (g) ...denotes gutter
- ...denotes spot elevation
- ...denotes tree
- ...denotes sanitary manhole
- ...denotes storm manhole
- ...denotes catch basin
- ...denotes hydrant
- WV= ...denotes water valve
- UB ...denotes utility box
- PP ...denotes power pole
- ...denotes anchor
- LS ...denotes lamp standard

- Notes:
- All dimensions are in feet.
  - Property line dimensions are based on legal field survey.
  - This Site Plan adheres to city's Tree Bylaw.
  - Elevations are based on City of Burnaby Integrated monument V2716 elevation = 354.78 ft (108.138m).

Building Envelope in R5 zoning:

- adjacent lot average:
- House 4870 setback = 26.40 ft
- House 4860 setback = 19.7 ft (vacant)
- Front yard average = 23.05 ft
- Front yard = minimum = 19.70 ft
- Rear yard = remainder = 47.80
- Building depth = maximum = 60.00 feet
- Side yard = 4.0 ft. min.

It is the contractor's responsibility to verify applicable zoning category and setback requirements.



PRICE STREET

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LAND SURVEYING INC.  
216-12899 76th Avenue  
Surrey, B.C. V3W 1E6  
Phone: 604 501-6188  
Fax: 604 501-6189  
File: 1405131-701.DWG

Date of Survey: 28th day of June, 2014  
28th day of June, 2014  
GENE PADE, V.P.L.S. 803

THIS DOCUMENT IS NOT VALID UNLESS  
ORIGINALLY SIGNED AND SEALED



The information has been gathered and assembled on the City of Burnaby's computer systems. Data provided herein is derived from a number of sources with varying levels of accuracy. The City of Burnaby disclaims all responsibility for the accuracy or completeness of information contained herein.

BOV

6/6/9

3.(h)