



BOARD OF VARIANCE

NOTICE OF OPEN MEETING

DATE: THURSDAY, 2016 JUNE 02

TIME: 6:00 PM

PLACE: COUNCIL CHAMBER, MAIN FLOOR, CITY HALL

A G E N D A

1. CALL TO ORDER

2. MINUTES

(a) Minutes of the Board of Variance Hearing held on 2016 May 05

3. APPEAL APPLICATIONS

(a) **APPEAL NUMBER:** B.V. 6227 **6:00 p.m.**

APPELLANT: Mayumi Hasegawa

REGISTERED OWNER OF PROPERTY: Vivek and Anju Soni

CIVIC ADDRESS OF PROPERTY: 4688 Alpha Drive

LEGAL DESCRIPTION OF PROPERTY: Lot 25; DL 122/123/124; Plan NWP16792

APPEAL: An appeal for the relaxation of Section 110.6(2)(a) of the Burnaby Zoning Bylaw which, if permitted, would allow for the construction of a new single family home (currently under construction) at 4688 Alpha Drive. The principal building height would be 25.74 feet where a maximum building height of 24.90 feet is permitted. (R10)

(b) **APPEAL NUMBER:** B.V. 6228 **6:00 p.m.**

APPELLANT: Ron Lee

REGISTERED OWNER OF PROPERTY: Ron and Karen Lee

CIVIC ADDRESS OF PROPERTY: 6624 Charles Street

LEGAL DESCRIPTION OF PROPERTY: Lot 9; DL 132; Plan NWP2419

APPEAL: An appeal for the relaxation of Section 6.14(5)(b) of the Burnaby Zoning Bylaw, which if permitted, would allow for the construction of a new single family home at 6624 Charles Street. The fence at the rear of the lot would have varying heights up to a maximum of 6.83 feet where the maximum permitted height is 5.91 feet. (R4)

(c) **APPEAL NUMBER:** B.V. 6229 **6:15 p.m.**

APPELLANT: Beverly Kitasaka and Daniel Piskacek

REGISTERED OWNER OF PROPERTY: Beverly Kitasaka and Daniel Piskacek

CIVIC ADDRESS OF PROPERTY: 5469 Keith Street

LEGAL DESCRIPTION OF PROPERTY: Lot N; DL 158; Plan NWP14508

APPEAL: An appeal for the relaxation of Sections 6.3.1, 6.6(2)(a) and 6.14(5)(b) of the Burnaby Zoning Bylaw which, if permitted, would allow for the construction of a new single family home with detached garage at 5469 Keith Street. The following variances are being requested:

a) The distance between the principal building and the detached garage would be 14.22 feet where a minimum distance of 14.8 feet is required;

b) The accessory building height would be 21.28 feet where the maximum building height of 15.1 feet is permitted. The building height is measured from the average grade which is 144.85 feet; and

c) A rear yard retaining wall would be of varying heights, to a maximum of 11.7 feet, where the maximum permitted height is 5.91 feet. (R2)

(d) **APPEAL NUMBER:** B.V. 6230 **6:15 p.m.**

APPELLANT: Malkit Athwal

REGISTERED OWNER OF PROPERTY: Malkit and Rajwinder Athwal

CIVIC ADDRESS OF PROPERTY: 6011 10th Avenue

LEGAL DESCRIPTION OF PROPERTY: Lot 17; DL 173; Plan NWP1034

APPEAL: An appeal for the relaxation of Section 6.6(2)(a) of the Burnaby Zoning Bylaw, which if permitted, would allow for the construction of two new accessory buildings at 6011 10th Avenue. The following variances are being requested:

a) The height of the detached garage would be 17.64 feet, where the maximum permitted height is 15.1 feet; and

b) The height of the accessory building would be 17.54 feet, where a maximum permitted building height is 15.1 feet. (A2)

4. NEW BUSINESS

5. ADJOURNMENT



CITY OF BURNABY

BOARD OF VARIANCE

NOTICE OF OPEN MEETING

MINUTES

A Hearing of the Board of Variance was held in the Council Chamber, Main Floor, City Hall, 4949 Canada Way, Burnaby, B.C., on Thursday, 2016 May 05 at 6:00 PM

1. CALL TO ORDER

PRESENT: Ms. Charlene Richter, Chair
 Mr. Guyle Clark, Citizen Representative
 Mr. Rana Dhatt, Citizen Representative
 Mr. Stephen Nemeth, Citizen Representative
 Mr. Brian Pound, Citizen Representative

STAFF: Ms. Margaret Malysz, Planning Department Representative
 Ms. Eva Prior, Administrative Officer

The Administrative Officer called the meeting to order at 6:05 p.m.

2. MINUTES

(a) Minutes of the Board of Variance Hearing held on 2016 April 07

MOVED BY MR. DHATT

SECONDED BY MR. NEMETH

THAT the minutes of the Burnaby Board of Variance Hearing held on 2016 April 07 be adopted as circulated.

CARRIED UNANIMOUSLY

3. APPEAL APPLICATIONS

The following persons filed application forms requesting that they be permitted to appear before the Board of Variance for the purpose of appealing for the relaxation of specific requirements as defined in the Burnaby Zoning Bylaw 1965, Bylaw No. 4742.

(a) APPEAL NUMBER: B.V. 6223

APPELLANT: Tommy Ngo

REGISTERED OWNER OF PROPERTY: Coastalwind Development Inc

CIVIC ADDRESS OF PROPERTY: 6654 Walker Avenue

LEGAL DESCRIPTION OF PROPERTY: Lot 19 and 20; DL 91; Plan 1346

APPEAL: An appeal for the relaxation of Section 103.8 of the Burnaby Zoning Bylaw which, if permitted, would allow for the construction of a new single family home at 6654 Walker Avenue. The front yard setback would be 22.60 feet to the post where a minimum front yard setback of 36.43 feet is required based on front yard averaging. The roof overhang would be 1.5 feet beyond the post. (Zone R3)

APPELLANT'S SUBMISSION:

Tommy Ngo submitted an application to allow for the construction of a single family dwelling.

Mr. Ngo and Mr. Sohal, appeared before members of the Board of Variance at the Hearing.

BURNABY PLANNING AND BUILDING DEPARTMENT COMMENTS:

The subject site is located the Richmond Park area, in a mature single family neighbourhood. The site is zoned R3 Residential District, which is intended to preserve the minimum density of development in mature single family areas. This interior lot, approximately 65 ft. wide and 122.5 ft. long, fronts onto Walker Avenue to the southwest. The subject site abuts single family lots to the northwest, southeast and northeast. Vehicular access to the subject site is provided via Walker Avenue; there is no lane access. The site is relatively flat with a downward slope of approximately 2 ft. in the southeast-northwest direction. The subject site is restricted by a 5 ft. wide sanitary easement along the northeast (rear) property line.

The subject site is proposed to be redeveloped with a new single family dwelling with a

secondary suite and attached garage.

The appeal proposes a front yard setback of 22.6 ft. measured to the front porch posts of the proposed single family dwelling, with a further projection for roof eaves of 1.5 ft., where front yard averaging requires a minimum setback of 36.43 ft. from the front property line.

In 1991, Council responded to public concerns regarding the bulk and massing of newer and larger homes that were being built in existing neighbourhoods. Several text amendments to the Zoning Bylaw were adopted to address these concerns, including a requirement to set new construction back from the front property line based on an average of the two dwellings on either side of the subject site. The intent was to help to ease new construction into existing street frontages with minimal impact.

In this case, the front yard averaging calculations are based on the front yard setbacks of the two single family dwellings immediately northwest of the subject site at 6630 and 6642 Walker Avenue and the two single family dwellings immediately southeast of the subject site at 6666 and 6678 Walker Avenue. The front yard setbacks for these properties are 61.84 ft., 41.28 ft., 20.13 ft. and 22.48 ft. respectively. The existing dwelling at 6630 Walker Avenue affects the front yard averaging calculations.

The proposed 22.6 ft. front yard setback is measured from the southwest property line to the posts of the proposed front porch, located slightly off center to the southeast of the front elevation. The front face of the dwelling would observe various additional setbacks on both levels. At the main level, the southeastern portion of the front face would be set back 5.5 ft. in relation to the front porch posts and the northwestern portion would be set back 2.19 ft. At the upper level, the central portion would be set back 4.4 ft. in relation to the front porch posts, with areas to the side recessed an additional 1 ft. In addition, the upper floor would be generously set back from the side faces of the main floor, 12.48 ft. at the southeast side elevation and 8.75 ft. at the northwest elevation.

The proposed siting would place the subject dwelling 18.68 ft. in front the neighbouring dwelling to the northwest and 2.47 ft. in front of the neighbouring dwelling to the southeast. If the actual 'corner to corner' relationship is considered, the subject dwelling would project 16.49 ft. in front of the residence to the northwest, but would be positioned 2.88 ft. behind the residence to the southeast (according to the provided survey, this residence observes a distance of 25.22 ft. from the front property line at its northwest corner).

Although it appears that this proposal would impact the neighbouring property to the northwest, there are several mitigating factors to consider.

First, the siting of the proposed dwelling, with the exception of the small front porch, would be closely in line with the placement of the existing dwelling on the subject site, which observes a front yard setback of approximately 25 ft. Therefore, the existing

horizontal massing relationship with the adjacent neighbouring residences would not be substantially changed.

Further, with respect to the broader neighbourhood context, with the exception of the two lots immediately northwest of the subject site, the placement of the proposed dwelling would be consistent with the majority of dwellings in the subject block, with front yard setbacks of approximately 22-25 ft. These setbacks are consistent with the minimum front yard setback required in the R3 District, which is 19.7 ft., whereas the front yard setbacks on the two properties to the northwest of the subject site are two to three times greater than the minimum required.

In summary, considering the development pattern in the subject block, the proposal would have minimal effects on neighbouring properties and the existing streetscape. However, it is noted that the proposal is the result of a design choice, rather than hardship, as a greater front yard setback could be achieved by shifting the proposed residence rearward on the lot. As such, this Department cannot support the granting of this variance.

ADJACENT OWNER'S COMMENTS:

No submissions were received regarding this appeal.

MOVED BY MR. CLARK
SECONDED BY MR. POUND

THAT based on the plans submitted this appeal be ALLOWED.

CARRIED

OPPOSED: Mr. Pound
Mr. Nemeth

(b) APPEAL NUMBER: B.V. 6224

APPELLANT: Dat Huynh, Christopher Bozyk Architects

REGISTERED OWNER OF PROPERTY: 0883893 BC LTD

CIVIC ADDRESS OF PROPERTY: 4050 Graveley Street

LEGAL DESCRIPTION OF PROPERTY: Lot 67; DL 117; Plan NWP43259

APPEAL: An appeal for the relaxation of Section 403.5(1) of the Burnaby Zoning Bylaw which, if permitted, would allow for the construction of a warehouse addition to an existing warehouse building at 4050 Graveley

Street, with a nil side yard setback where a minimum side yard setback of 19.69 feet is required. (Zone M3)

APPELLANT'S SUBMISSION:

Mr. Dat Huynh, agent for the appellants submitted an application to allow for the construction of a warehouse addition.

Margaret and Doug Bezdan, appeared before members of the Board of Variance at the Hearing.

BURNABY PLANNING AND BUILDING DEPARTMENT COMMENTS:

The subject site, zoned M3 Heavy Industrial District, is located in the West-Central Valley neighbourhood. The M3 District is intended for the accommodation of special types of industry and heavy industrial activities.

This interior lot, approximately 145.5 ft. wide and 131.8 ft. deep, fronts onto Graveley Street to the north. Directly across Graveley Street to the north are two lots containing residential dwellings. To the west, east and south the subject site is bordered by lots containing various industrial developments. Vehicle access to the site is provided from Graveley Street; there is no lane access. The subject site is restricted by the 10 ft. wide sanitary easement along the south (rear) property line.

The subject site is improved with a two-storey warehouse building, built in 1972, and associated parking and landscape areas. In 1988, the Board of Variance granted the subject property permission to retain an attached accessory building (storage shed) to the rear of the existing warehouse building for two years (BV3440). The accessory building observed a nil rear yard setback where a minimum rear yard setback of 9.84 ft. is required. This Department did not object to the temporary retention of the accessory building, which has since been removed.

This appeal concerns a proposed second floor warehouse addition to the existing warehouse building.

The appeal is for the construction of a warehouse addition to the existing warehouse building observing a nil east side yard setback, where a minimum side yard setback of 19.69 ft. is required when the other side yard setback is nil.

The intent of the Bylaw, when adopted, was to upgrade the quality of industrial development in order to increase its compatibility with other land uses.

The existing approximately 21.5 ft. high warehouse building occupies the western two-thirds of the site, with the remaining lot area utilized for parking/loading and frontage landscaping. The existing building observes a nil side yard setback along the west side property line.

The 58.75 ft. wide by 37 ft. deep second floor addition is proposed in the south-east corner of the subject site. The addition would be aligned with the existing building to the rear and would span across the entire remaining lot width, from the east building face to the east side property line. As a result, the 19.69 ft. wide portion of the proposed addition, along the east side property line, would encroach into the required east side yard setback. The proposed addition is raised approximately 12 ft. above grade level to permit the existing loading and parking function to continue underneath. The overall height of the proposed addition is 39 ft., consistent with the four storey maximum building height permitted in the M3 District.

It appears that, although the massing of the proposed addition would be substantial, relatively few visual impacts would result. To the east, the proposed addition would abut the neighbouring single storey building, which observes a nil setback along the shared side property line (this building observes a nil setback at both side property lines and is legal non-conforming with respect to the side yard setback requirements). The front and rear face of the proposed addition would be in line with this existing building. Directly to the south, the proposed addition would face the parking area of the neighbouring property at 1679 Gilmore Avenue. The existing building on this property, as well as the existing building on the adjacent property to the west (4055 First Avenue), front onto Gilmore Avenue to the east and First Avenue to the south respectively. These buildings have no windows facing the subject property. Massing impacts on the neighbouring residential dwellings across Graveley Street to the north would be mitigated by a generous front yard setback of approximately 85 ft.

Further, the subject property is constrained by the lack of a rear lane, which increases the space required for on-site maneuvering of vehicles and thus reduces the buildable area of the site. By raising the floor of the proposed addition, the applicants have devised a creative solution to increase floor area while maintaining parking and loading functions underneath. Moreover, the location of the proposed addition at the rear of the property, as noted above, minimizes the impacts of the proposed nil setback. As such, this proposal appears to reach a balance between satisfying parking and loading requirements, minimizing impacts on the neighbourhood and meeting the applicant's development needs.

Further, there is precedent for a similar side yard setback relaxation within the subject block. The neighbouring property immediately to the west (4040 Graveley Street) was granted a relaxation of the side yard setback to nil, where a minimum side yard setback of 19.69 ft. is required, by the Board of Variance in 2002 (BV 5015). Several other properties in the vicinity, constructed prior to the adoption of the setback requirement, also enjoy nil side yard setbacks on both sides.

In view of the above, although the proposed variance is not strictly the result of hardship, this Department does not object to the granting of this variance.

ADJACENT OWNER'S COMMENTS:

An email was received on May 05, from Jordan Parente, 4099 Graveley Street, in opposition to the appeal. Mr. Parente advised that the variance would negatively impact livability, aesthetics and property values in the neighbourhood. Mr. Parente also expressed concern regarding further parking congestion on Graveley Street.

No further submissions were received regarding this appeal.

In response to the parking concern, Ms. Bezdan advised that they will still be able to provide the required number of parking stalls.

MOVED BY MR. POUND

SECONDED BY MR. NEMETH

THAT based on the plans submitted this appeal be ALLOWED.

CARRIED UNANIMIOUSLY

(c) **APPEAL NUMBER:** B.V. 6225

APPELLANT: Sanja Gavrilovic

REGISTERED OWNER OF PROPERTY: Marko and Jelena Markovic

CIVIC ADDRESS OF PROPERTY: 1655 Howard Avenue

LEGAL DESCRIPTION OF PROPERTY: Lot 60; DL 126; Plan 25437

APPEAL: An appeal for the relaxation of Section 102.6(1)(a) of the Burnaby Zoning Bylaw, which if permitted, would allow for the construction of a new single family dwelling at 1655 Howard Avenue. The principal building height, measured from the Heathdale Drive front average elevation would be 32.28 feet where the maximum building height of 29.5 feet is permitted. The principal building height, measured from the Howard Avenue front average elevation would be 23.33 feet. (Zone R2)

A previous Board of Variance (BOV 6172, 2015 June 04) allowed an appeal for a front yard setback from Heathdale Drive to the post of 39.10 feet, where a minimum setback of 44.57 feet is required based on front yard averaging. The cantilevered deck joists would extend 2.0 feet beyond the post; and construction of an accessory building in a required front yard, located 3.94 feet from the West property line abutting Heathdale Drive and 4.0 feet from the South property line, where siting of an accessory building in a required front yard is prohibited by the Zoning Bylaw.

APPELLANT'S SUBMISSION:

Sanja Gavrilovic submitted an application to allow for the construction of a new single family dwelling.

Stephen Gavrilovic, agent for the homeowners and Marko Markovic, homeowner, appeared before members of the Board of Variance at the Hearing.

BURNABY PLANNING AND BUILDING DEPARTMENT COMMENTS:

This property was the subject of an appeal before the Board on 2015 June 04 (BV6172), in which two variances were sought for the construction of a new single family dwelling with a detached garage. The first a) appeal was for a front yard setback of 39.1 ft. where a front yard setback of 44.57 ft. is required from the Heathdale Drive property line. The second b) appeal was for an accessory building in the Heathdale Drive front yard where accessory buildings are prohibited. While this Department supported the first a) appeal and did not support the second b) appeal, the Board granted both appeals.

This Department's comments on the 2015 June 04 appeal are included as *Item 1* in the *attached* supplementary materials.

A new single family dwelling with a detached garage is currently under construction on the subject site (BLD15-00542). However, the applicant is proposing modifications to the approved design, which are the subject of this appeal.

The subject site, zoned R2 Residential District, is located in the Parkcrest-Aubrey neighbourhood in which the majority of single family dwellings were constructed in the 1960s. This through lot, approximately 57.5 ft. wide and 123.5 ft. long, fronts Howard Avenue to the east and Heathdale Drive to the west. The 50 ft. wide Heathdale Drive right-of-way is not fully developed; the easternmost 20 ft. of the right-of-way is paved and as the remainder is undeveloped green space. A large R1 District property, which is currently vacant, is located across Heathdale Drive to the west. Single family dwellings abut the subject site to the north and the south. Vehicular access to the site is provided from Heathdale Drive. The site observes a substantial downward slope of approximately 18 ft. in the northeast-southwest direction.

The appeal proposes a building height of 32.28 ft., measured from the Heathdale Drive front average elevation, where a maximum height of 29.5 ft. is permitted for sloped roofs.

The intent of the Bylaw is to mitigate the massing of new buildings and their impacts on neighbouring properties.

This proposal differs from the 2015 June 04 appeal with respect to the site grading in the western portion of the subject site, fronting onto Heathdale Drive. In the previous proposal, grading in this portion of the site generally followed the natural terrain with a

downward slope of approximately 8 ft. from the west face of the dwelling to the west property line. Also, a small sunken patio was proposed at the west elevation. The current proposal lowers the grades by approximately 4.5 ft. around the western portion of the dwelling. The proposed new grades match the cellar level and allow for more flat area between the dwelling and the detached garage. Although the roof peak elevation remains unchanged, the proposed new grades increase the building height calculation by approximately 4.41 ft.

Considering the nature of this height encroachment, little impact is expected on the neighbouring properties. The additional exposed portion of the building at the cellar level would not be visible from the neighbouring property to the north and would be fully screened by the existing fence along the south side property line. In addition, a large portion of this additional exposed area would be screened by the detached garage when viewed from Heathdale Drive and the vacant property to the west.

In summary, given the challenging site topography and the lack of any negative impacts on neighbouring properties and the existing streetscape, this Department does not object to the granting of the proposed variance.

ADJACENT OWNER'S COMMENTS:

No submissions were received regarding this appeal.

MOVED BY MR. POUND
SECONDED BY MR. NEMETH

THAT based on the plans submitted this appeal be ALLOWED.

CARRIED UNANIMOUSLY

(d) APPEAL NUMBER: B.V. 6226

APPELLANT: Matt Durocher, Enduring Construction

REGISTERED OWNER OF PROPERTY: Jaimie and Lilian Tamayo

CIVIC ADDRESS OF PROPERTY: 8151 17th Avenue

LEGAL DESCRIPTION OF PROPERTY: Lot 21; DL 27; Plan NWP1049

APPEAL: An appeal for the relaxation of Section 105.10(3) and 6.12(3)(a) of the Burnaby Zoning Bylaw which, if permitted, will allow for the addition and interior alterations to an existing single family dwelling at 8151 17th Avenue. The side yard setback will be 3.0 feet to the foundation where a minimum side yard setback of 3.3 feet is required. (Zone R5)

APPELLANT'S SUBMISSION:

Matt Durocher submitted an application to allow for the construction of an addition and interior alterations.

Matt Durocher, agent for the homeowners, appeared before members of the Board of Variance at the Hearing.

BURNABY PLANNING AND BUILDING DEPARTMENT COMMENTS:

The subject site, which is zoned R5 Residential District, is located in the Second Street neighbourhood, in which the age and condition of single and two-family dwellings vary. This interior lot, approximately 33 ft. wide and 146.4 ft. deep, fronts onto the northwest side of Seventeenth Avenue. Single family dwellings are located immediately southwest, northeast and directly across the lane to the northwest of the subject site. Directly across Seventeenth Avenue to the southeast, is a parking area for the Second Street Community School. The subject site observes a downward slope of approximately 5 ft. in the south - north direction.

The subject site was originally improved with a two storey single family dwelling (main floor and basement), built in 1928, and further improved with an accessory detached garage, built in 1994. In 2016, a building permit (BLD16-00160) was issued for further improvements to the dwelling, including various interior alterations and a rear addition to the basement and main floor. This building permit was issued in error with respect to the side yard setback requirement, which was approved at 3.0 ft. instead of 3.3 ft. as required. This error was identified by City staff upon inspection of foundation work. As a result, a variance is requested in order to permit construction to continue according to the approved plans.

The appeal proposes a side yard setback of 3.0 ft. from the northeast property line to the proposed addition to the existing dwelling, with a further projection for roof eaves of up to 1.5 ft., where a minimum side yard setback of 3.3 ft. is required.

The intent of the Bylaw is to mitigate the impacts of building massing on neighbouring properties.

In this case, the existing dwelling observes a northeast side yard setback of 3.0 ft., and is legal-non-conforming with respect to the side yard setback requirement (3.3 ft.). The approved building permit drawings permit a 21 ft. deep two storey (main floor and basement) addition to the rear of the dwelling, aligned with the northeast side face of the existing dwelling. As a result of this alignment, the outermost 0.3 ft. wide section of this addition encroaches into the required side yard.

The side yard encroachment does not materially change the massing relationship between the existing dwelling and the neighbouring residence to the northeast of the subject site. Given the small scale of the proposed side yard encroachment and the limited amount of windows in the overlap area, facing the subject site, no impacts are expected to this neighbouring property.

In view of the above, this Department does not object to the granting of this variance.

ADJACENT OWNER'S COMMENTS:

No submissions were received regarding this appeal.

MOVED BY MR. NEMETH
SECONDED BY MR. POUND

THAT based on the plans submitted this appeal be ALLOWED.

CARRIED UNANIMOUSLY

4. NEW BUSINESS

No items of new business were brought forward at this time.

5. ADJOURNMENT

MOVED BY MR. POUND
SECONDED BY MR. DHATT

THAT this Hearing do now adjourn.

CARRIED UNANIMOUSLY

The Hearing adjourned at 6:40 p.m.

Ms. C. Richter

Mr. G. Clark

Mr. R. Dhatt

Mr. S. Nemeth

Ms. E. Prior
ADMINISTRATIVE OFFICER

Mr. B. Pound



Board of Variance Appeal Application Form

OFFICE OF THE CITY CLERK

Burnaby City Hall, 4949 Canada Way, Burnaby BC, V5G 1M2, Phone: 604-294-7290 Email: clerks@burnaby.ca

Applicant

Name of Applicant MAY RAFFAELA FURNARO
 Mailing Address 2642 E HASTINGS ST
 City/Town VANCOUVER Postal Code V5K 1Z6
 Phone Number(s) (H) 604 251-4610 (C) _____
 Email office.raffaele@gmail.com
 Preferred method of contact: ☐ email ☐ phone ☐ mail

Property

Name of Owner VIVEK + ANJU SONI
 Civic Address of Property 4688 ALPHA DRIVE

I hereby declare that the information submitted in support of this application is, to the best of my knowledge, true and correct in all aspects, and further that my plans have no conflict with municipal bylaws other than those applied for with in this application.

Date _____

Applicant Signature _____

Office Use Only

Appeal Date 2016 JUNE 02 Appeal Number BV# 6227

Required Documents:

- ☐ Hardship Letter from Applicant
- ☐ Site Plan of Subject Property
- ☐ Building Department Referral Letter

Any documents submitted in support of this Board of
Variance Appeal will be made available to the Public

Raffaele & Associates Design and Planning Consultants

2642 East Hastings Street, Vancouver, BC V5K 1Z6 p. 604-251-4610 e. office.raffaele@gmail.com

Attn: Burnaby Board of Variance

Re: 4688 Alpha Drive

Dear Honourable Board Members,

We are writing this letter to request a variance at 4688 Alpha Drive. The variance we are requesting is to allow for the maximum building height to be raised from 24.9 feet to 25.86 feet.

-As built, our current elevation for the top of the roof is 232.41 feet.

-The maximum elevation for the top of roof finish is 231.45 feet.

-Our proposal is 0.96 feet higher than the calculated allowance for an R10 zone.

This 0.96 feet height difference occurred at the framing stage and passed inspection at that time. We have already completed the electrical, the plumbing, the drywall, and the roof construction. To lower the house, all of the trades will need to return to rework what they have done. At this stage of construction, a major design change to lower the house will have massive, monetary consequences that will fall outside of the planned budget.

We respectfully request a variance for the maximum building height to be raised 0.96 feet allowance in order to finalize the construction within our budget.

We hope that you understand our situation and we thank you for your consideration.

Regards,

Raffaele & Associates

Anju & Vivek Soni
3435 Worthington Drive
Vancouver, BC V5M3Y1

Attn: Burnaby Board of Variance

Re: 4688 Alpha Drive, Burnaby

Dear Honourable Board Members,

We, Anju & Vivek Soni, as homeowners understand that the zoning bylaws are enacted for the purpose of regulating construction in the best interest of the residents. Height restrictions are enforced to protect and maintain the consistency of the neighbourhood, as well as to ensure unobstructed views.

At present, our home is unintentionally 0.96 feet above the maximum allowable height at its peak. This has most impact on our 4 nearest neighbours. However, these neighbours have all signed a letter of support stating that they do not object to our structure height. Furthermore, our house is on the low side of the street and the main floor elevation is significantly below street level. Therefore, we feel by approving the structure as it is will not cause any hardship to the neighbours who have so far supported us during the last 6 months of construction.

In order to rectify this grave error, we would have to re-do a considerable amount of construction work on our home which would not only cause our family time, money, and hardship but will also leave a large ecological footprint of materials that cannot be reused or repurposed:

- **Asphalt roofing:** has an expecting lifespan of 45 years
- **Trusses:** Good for the life of the building
- **Electrical/HVAC:** wiring, venting and pot lights
- **Built In Vacuum System:** PVC Pipes

Also, by approving the structure this will allow us to stay within our budget to complete the construction. Lastly, and *most* importantly to us we will stay within our timeline as our children begin school in Burnaby in September 2016.

We acknowledge that our tradesmen/builder have made an error. We hope that you will humbly accept our apology for this oversight. We are open to any alternative recommendations that the Board would have for us; however we respect the decision regardless of the outcome.

Sincerely,
Vivek & Anju Soni

G&D Framing Ltd.
8847 160 St.
Surrey, BC V4N 2X8

May 1st, 2016

Attn: Burnaby Board of Varlance

Re: 4688 Alpha Drive, Burnaby

Our corporation was hired to frame the residential dwelling at 4688 Alpha Drive by the project coordinators. Due to our negligence the height of the building has gone 0.96 feet over the allowed height. We request that the members of the BOV relax the height and not penalize the owner of the project for a mistake that was made by us. We sincerely regret our error and wish that the homeowners are not harmed.

Sincerely,
G&D Framing Ltd.



Jagdip Rupal
604-379-6798



Gurwinder Sandhu
604-764-8090

Letter of Support for Board of Variance Application

Apr, 2016

To: Board of Variance Burnaby City Hall

Re: #4688 Alpha Drive (old address #4684)

Dear Honourable Board Members,

We, the residents at 4690 Alpha Dr., are writing this letter in support of our

neighbours at #4688 Alpha Drive and their Board of Variance Application for the height of the principal building.

Thank you for your time.

Signed,

Lauren L.

Letter of Support for Board of Variance Application

Apr, 2016

To: Board of Variance Burnaby City Hall

Re: #4688 Alpha Drive (old address #4684)

Dear Honourable Board Members,

We, the residents at 4681 Westburn Dr., are writing this letter in support of our

neighbours at #4688 Alpha Drive and their Board of Variance Application for the height of the principal building.

Thank you for your time.

Signed,



Letter of Support for Board of Variance Application

Apr, 2016

To: Board of Variance Burnaby City Hall

Re: #4688 Alpha Drive (old address #4684)


Dear Honourable Board Members,

We, the residents at 4678 ALPHA, are writing this letter in support of our

neighbours at #4688 Alpha Drive and their Board of Variance Application for the height of the principal building.

Thank you for your time.

Signed,





BOARD OF VARIANCE REFERRAL LETTER

DATE: May 3, 2016	DEADLINE: May 10, 2016 for the June 2, 2016 hearing	<i>This is not an application. Please take letter to Board of Variance. (Clerk's office - Ground Floor)</i>	
NAME OF APPLICANT: Mayumi Hasegawa			
ADDRESS OF APPLICANT: 2642 E. Hastings St., Vancouver, B.C. V5K 1Z6			
TELEPHONE: 604-251-4610			
PROJECT			
DESCRIPTION: New Single Family Dwelling			
ADDRESS: 4688 Alpha Drive			
LEGAL:	LOT: 25	DL: 122 & 123 & 124	PLAN: 16792

The above mentioned application, which includes the attached plan of the proposal, has been refused by the Building Department on the basis of contravention of:

Zone/Section(s) R10 [110.6(2)(a)]
of the Burnaby Zoning Bylaw No. 4742

COMMENTS:

The applicant is proposing to build a new single family dwelling (currently under construction). The following relaxation is being requested.

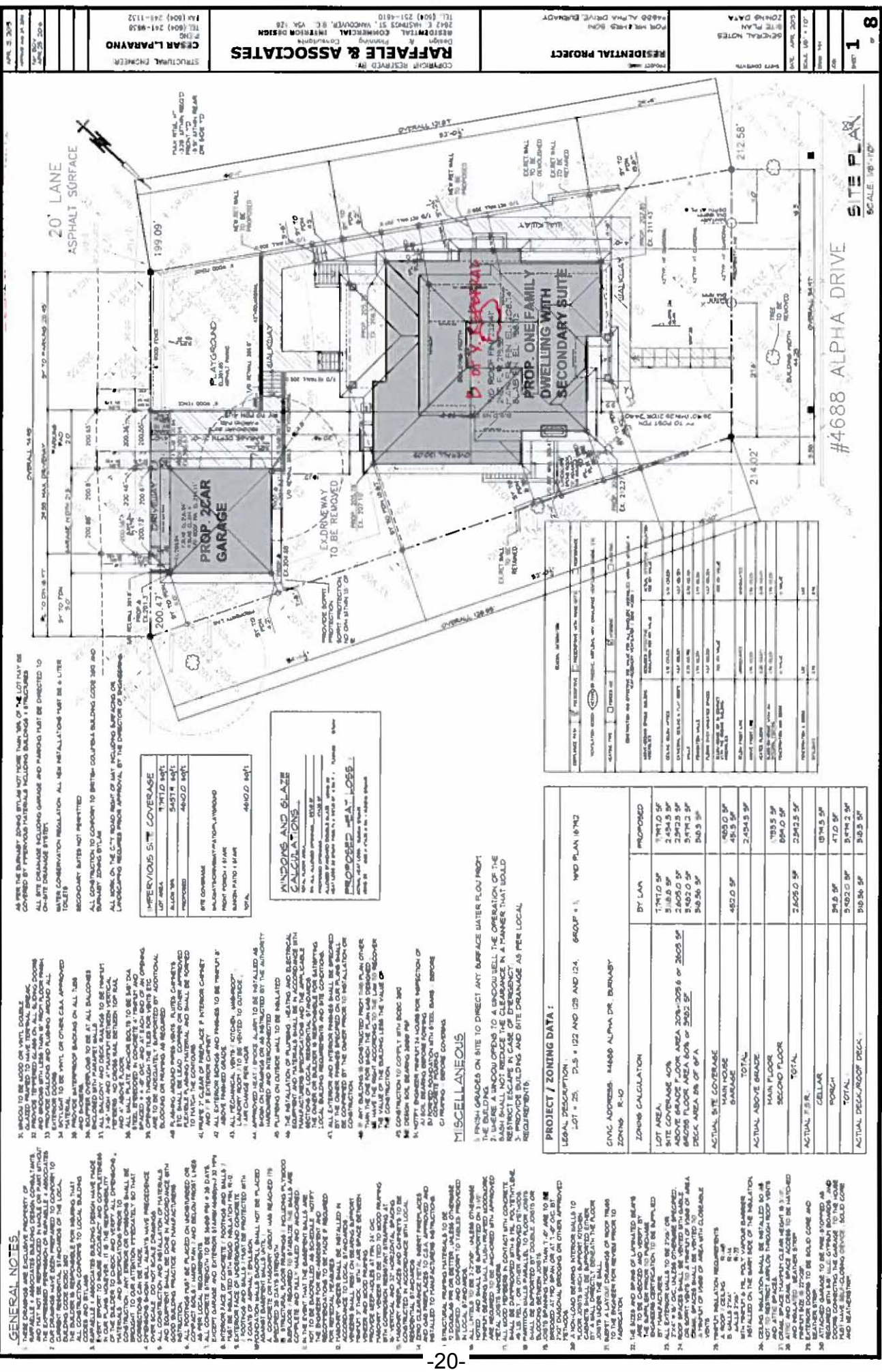
- 1) The principal building height of 25.74 feet where a maximum height of 24.90 feet is permitted.

Note: The applicant recognizes that should the project contain additional characteristics in contravention of the zoning by-law a future appeal(s) may be required.

DS

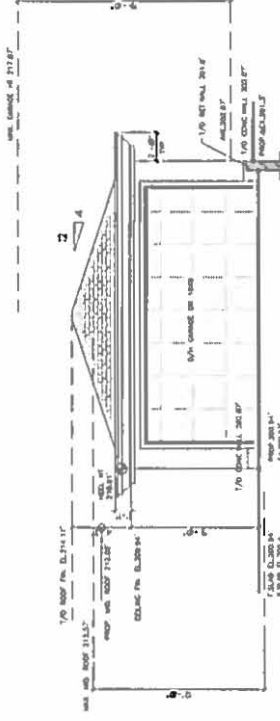
Peter Kushnir
Deputy Chief Building Inspector

RECEIVED
MAY 02 2016

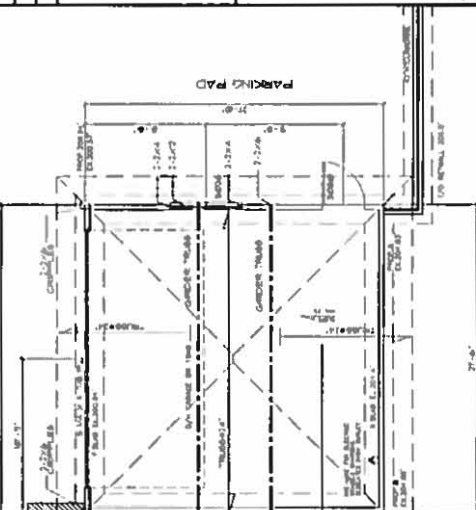


3.(a)

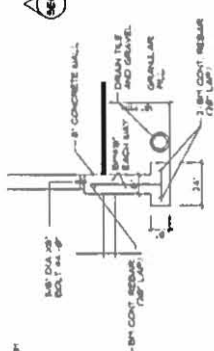
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



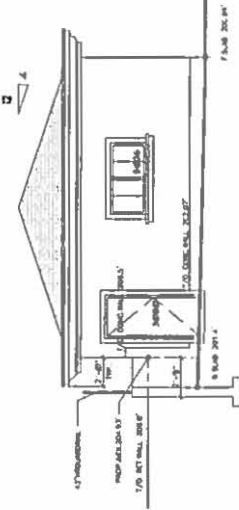
2 CAR GARAGE
SCALE: 1/4" = 1'-0"
AREA = 4515 SF



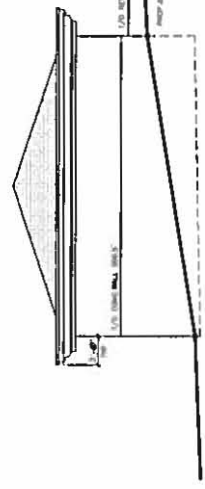
GARAGE FOOTING
SCALE • 1/2" = 1'-0"



REAR ELEVATION



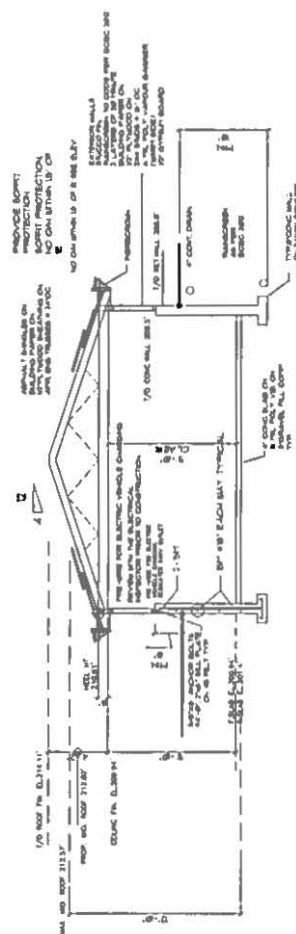
LEFT ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



SECTION THRU
SCALE: 1/4" = 1'-0"

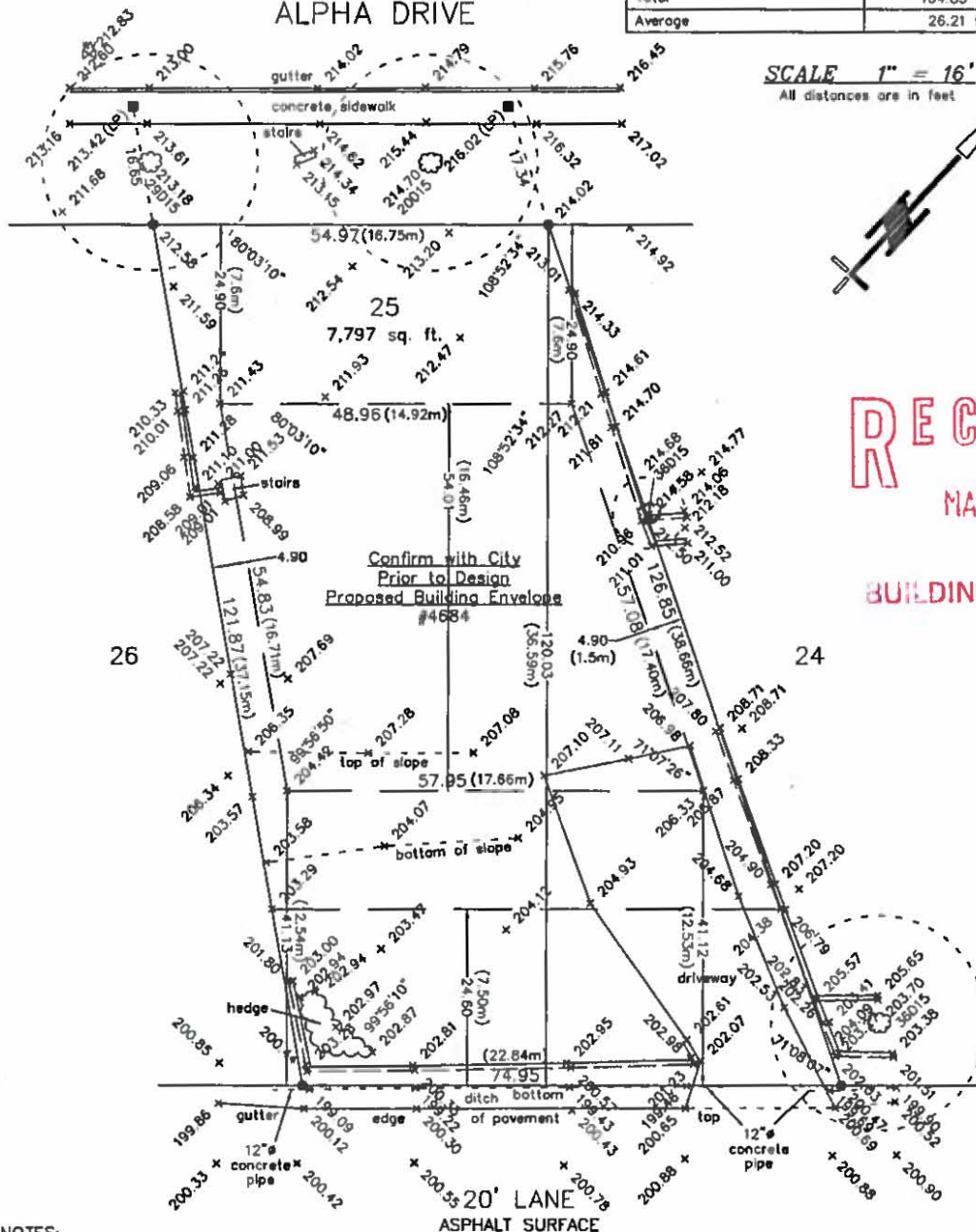


SURVEY PLAN OF LOT 25
DLs 122 AND 123 AND 124, GROUP 1
NWD, PLAN 16792

Applicable Adjacent House	Depth of Front Yard
4672 Alpha Drive	25.17 ft
4678 Alpha Drive	23.20 ft
4690 Alpha Drive	22.85 ft
4696 Alpha Drive	24.81 ft
Total	104.85 ft
Average	26.21 ft

ALPHA DRIVE

SCALE 1" = 16'
All distances are in feet



RECEIVED
MAY 02 2016

BUILDING DEPARTMENT

NOTES:

Property subjected to Restrictive Covenant
206690C, see 375295E.

- Lot dimensions are derived from field survey.
- Elevations are based on Geodetic Datum of Burnaby and are derived from control monument 7746805 situated at the intersection of Westlawn Drive and Beta Avenue. Elevation = 195.25 feet.
- For elevation control, use control monument or lead plugs in concrete sidewalk only.
- Building envelope shown is just an approximate interpretation of City Zoning Bylaws. Consult Planning Department for final building envelope prior to design.
- All trees and stumps shown as required by municipal bylaws.
- All elevations along curb lines are gutter levels.
- Symbols plotted are for illustrative purposes and are not representative of their true size.

- denotes standard iron post.
- denotes lead plug.
- tw denotes top of wall.
- bw denotes bottom of wall.
- ⊗ denotes water valve.
- denotes tree.
- BC10-1234 (tree tag number)
- drip line radius (feet)
- C=coniferous
- D=deciduous
- diameter (inches)

CIVIC ADDRESS

4684 ALPHA DRIVE
BURNABY, B.C.

ZONING: R10

CERTIFIED CORRECT.
DATED THIS 6TH DAY OF FEB., 2015

LOUIS NGAN B.C.L.S.

L N L S METRO VANCOUVER
LAND SURVEYORS

PID:002-975-076

FILE: BAL-4684TP

4932 VICTORIA DRIVE, VANCOUVER, BC, V5P 3T6
T 604.327.1535 WEB WWW.LNLS.CA

3-(a)



Board of Variance Appeal Application Form

OFFICE OF THE CITY CLERK

Burnaby City Hall, 4949 Canada Way, Burnaby BC, V5G 1M2, Phone: 604-294-7290 Email: clerks@burnaby.ca

Applicant

Name of Applicant Ron Lee

Mailing Address 4818 Brentlawn Dr

City/Town Burnaby, B.C. Postal Code V5C 3V5

Phone Number(s) (H) 604-324-1218 (C) 604-838-5899

Email ronlee@telus.net

Preferred method of contact: ☒ email ☐ phone ☐ mail

Property

Name of Owner Ron Lee / Karen Lee

Civic Address of Property 6624 Charles Street, Burnaby, B.C.

I hereby declare that the information submitted in support of this application is, to the best of my knowledge, true and correct in all aspects, and further that my plans have no conflict with municipal bylaws other than those applied for with in this application.

Date May 9, 2016

Applicant Signature [Signature]

Office Use Only

Appeal Date 2016 June 02 Appeal Number BV# 6228

Required Documents:

- ☐ Hardship Letter from Applicant
- ☐ Site Plan of Subject Property
- ☐ Building Department Referral Letter

Any documents submitted in support of this Board of
Variance Appeal will be made available to the Public

May 9, 2016

Burnaby Board of Variance
c/o Office of the City Clerk
4949 Canada Way
Burnaby, BC V5G 1M2

To the Board of Variance:

Re: 6624 Charles St. – Request for Fence Height Variance

As the owners of 6624 Charles St., we would like to request a variance to increase the height of a fence and gate area that spans just 10 ft. wide in the rear lane along our property from the current bylaw of 5'10" to 6'10" (i.e. an extra 1 ft.).

Our property is 66 ft. wide and there is a rear retaining wall 2'5" high for 56 ft. (the majority of the width of our property) to support the grading of our main floor and backyard. A fence on the retaining wall will be built at a height of 5'10" in accordance with the bylaws for security and privacy from the lane. In order to access the lane (for garbage/recycling and general access down to the lane elevation), our property has a landing area at the rear west corner of the lane that spans 10 ft. According to the bylaws, a fence can be constructed at 5'10" at the lane elevation but it would be significantly lower than the adjoining retaining wall and fence on our property at 8'3" (2'5" retaining wall + 5'10" fence) as well as lower than the neighbor's fence to the west at 6614 Charles St. at a height of 6'10" to support the grading of their backyard and for their security and privacy from the lane.

Accordingly, we would like to request a variance to increase the height of the fence and gate for this 10 ft. wide area from 5'10" to 6'10" to match the elevation of our neighbor's fence to provide for a more seamless transition to our retaining wall fence height of 8'3" which spans the majority of the width of our property. And more importantly, the requested higher fence variance would limit the direct sightlines into our main floor given the higher elevation of our main floor and yard providing for security and privacy from the back lane (please refer to attached photo for sightlines into our main floor from the lane).

Thank you for your consideration of our variance request.

Sincerely,

The block contains two handwritten signatures in black ink. The first signature on the left is 'Ron' and the second signature on the right is 'Karen Lee'. Both are written in a cursive, flowing style.

Ron and Karen Lee – Owners of 6624 Charles St.




BOARD OF VARIANCE REFERRAL LETTER

DATE: May 4, 2016	DEADLINE: May 10, 2016 for the June 2, 2016 hearing		<i>This is <u>not</u> an application. Please take letter to Board of Variance. (Clerk's office - Ground Floor)</i>
NAME OF APPLICANT: Ron Lee			
ADDRESS OF APPLICANT: 4818 Brentlawn Dr., Burnaby B.C. V5C 3V5			
TELEPHONE: 604.838.5899			
PROJECT			
DESCRIPTION: New Single Family Dwelling			
ADDRESS: 6624 Charles Street			
LEGAL:	LOTS: 9	DL: 132	PLAN: 2419

The above mentioned application, which includes the attached plan of the proposal, has been refused by the Building Department on the basis of contravention of:

Zone/Section(s) R4 [6.14(5)(b)]
of the Burnaby Zoning Bylaw No. 4742

COMMENTS:

The applicant is proposing to build a new single family dwelling. The following relaxation is being requested.

- 1) The relaxation of 6.14(5)(b) of the Zoning By-Law which, if permitted, will allow for the construction of a fence at the rear of the lot with varying heights up to a maximum of 6.83 feet where the maximum permitted height is 5.91 feet.

Note: The applicant recognizes that should the project contain additional characteristics in contravention of the zoning by-law a future appeal(s) may be required.

DS

Peter Kushnir
Deputy Chief Building Inspector

TOPOGRAPHIC PLAN OF LOT 9 DISTRICT LOT 132

GROUP 1 NEW WESTMINSTER DISTRICT

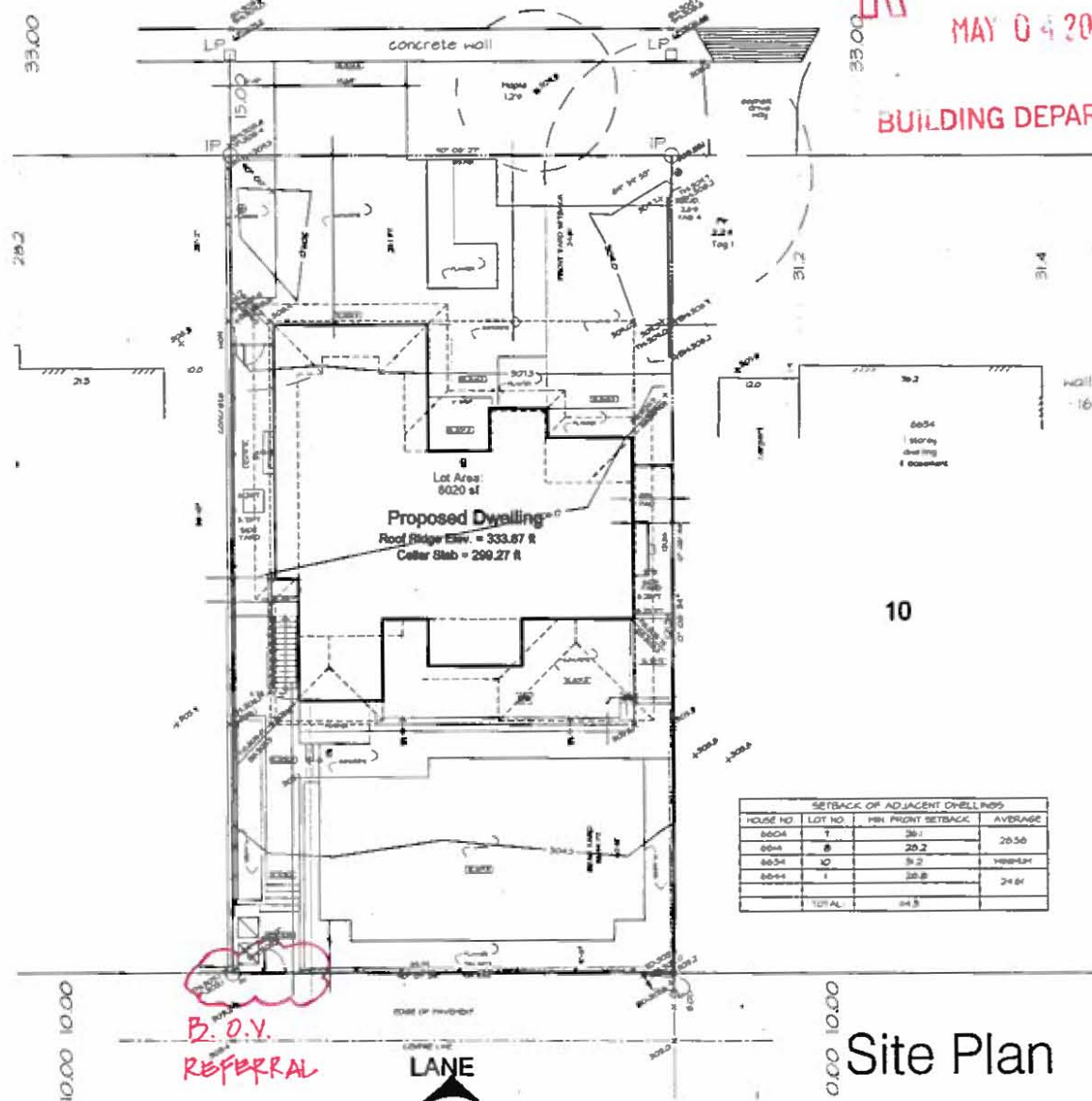
PLAN 24.9

centre line

CHARLES STREET

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MAY 04 2016

BUILDING DEPARTMENT

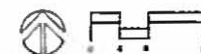


SETBACK OF ADJACENT DWELLINGS			
HOUSE NO	LOT NO.	MIN FRONT SETBACK	AVERAGE
6604	1	26.1	VARIABLE
6604	8	25.2	
6604	10	30.2	
6604	1	28.8	
TOTAL		110.3	24.81

B.O.V.
REFERRAL



Site Plan



A-2.0

alexvoth
designconsulting

202 - 105 Forsyth St.
North Vancouver, B.C.
V6A 4C2-2B10
V7H 6A8
alexvoth@alexvoth.com

Issued to Structural
May 1, 2015

Issued for Building Permit
May 14, 2015

Revisions
August 10, 2015

6624 Charles St.
Burnaby
British Columbia

Site Plan

Client:
Name:
Project:
Date: August 18, 2015
Scale: 1/8" = 1'-0"
Sheet Number:

May 4/16

West R

6624 Charles Street
Variance for 1 Fence panel + gate.

East R

RECEIVED

MAY 09 2016

BUILDING DEPARTMENT

Request variance to permit
Fence panel and gate to match
height of neighbour's fence, 6'-10" total height

Fence 5'-10" meets bylaw

1
A-2.2

Neighbour's
fence 5'-5" on
1'-5" retaining
wall

EL: 310.03'

6'-10"

lane

EL: 303.2'

D. of V.
REFERRAL

EL: 311.49'

EL: 309.62'

EL: 303.2'

2'-5" retaining wall
on south R

1
A-2.1

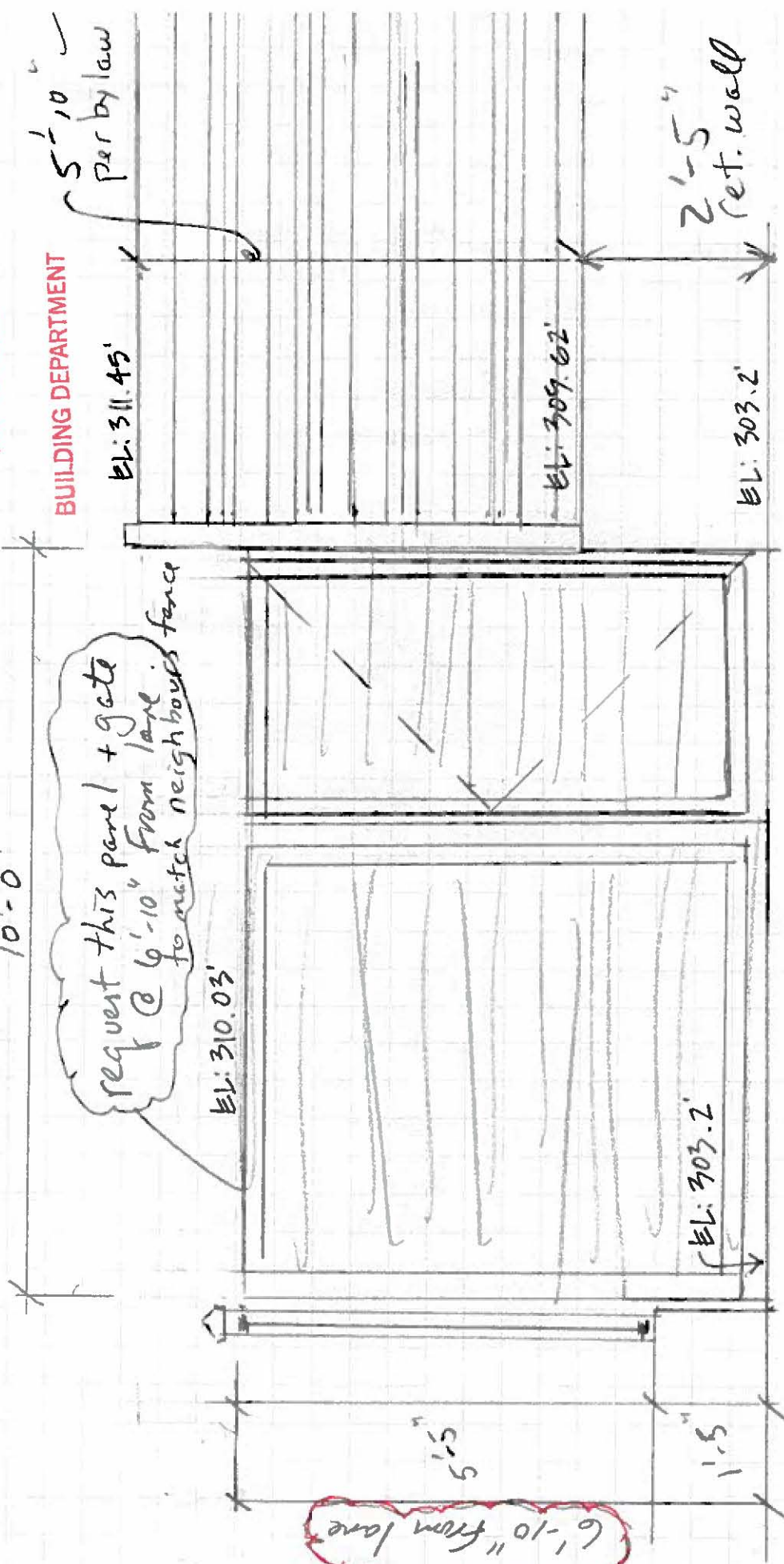
South Elevation (NTS)

A-2.1

3.(b)

RECEIVED 25/116
MAY 04 2016
BUILDING DEPARTMENT

Lane @ 6624 Charles.
10'-0"



1
A-2.2 Elevation from Lane (NTS)

A-2.2 3.(b)

TOPGRAPHIC PLAN OF LOT 9 DISTRICT LOT 132

GROUP 1 NEW WESTMINSTER DISTRICT

PLAN 2419

6624 Charles Street
Burnaby, B.C.

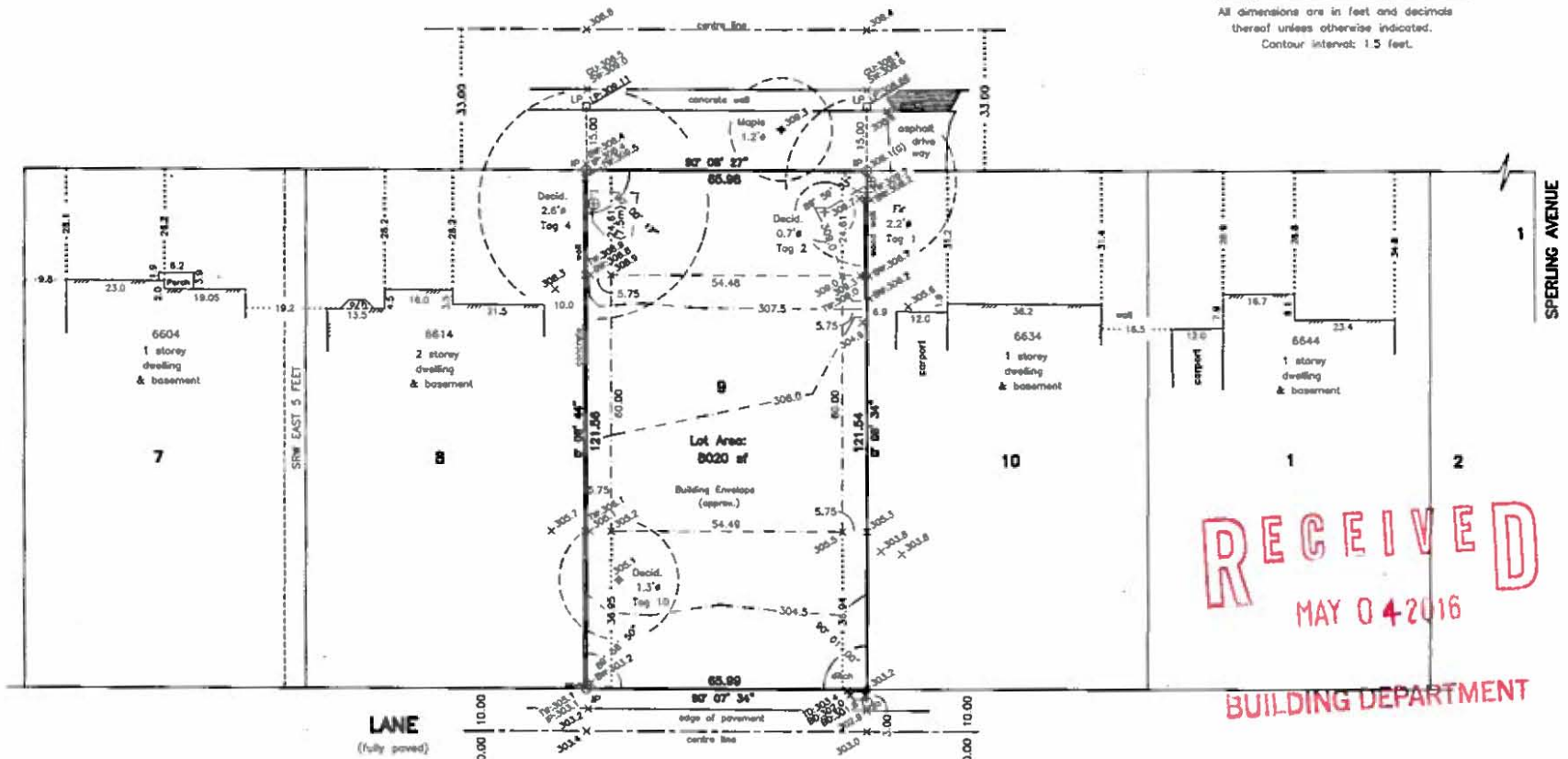
ZONING: R4

CHARLES STREET

SCALE: 1 INCH = 20 FEET

0 5 10 20 30 60

All dimensions are in feet and decimals
thereof unless otherwise indicated.
Contour interval: 1.5 feet.



LEGEND:

- IP iron post
- LP lead plug
- SW: top of sidewalk
- GU: gutter
- TW: top of wall
- BW: bottom of wall
- TD: top of ditch
- BD: bottom of ditch
- (G) ground elevation
- Decid deciduous
- conc concrete
- FYA front yard average
- sf square feet
- ø diameter

CERTIFIED CORRECT:

Lot dimensions are correct
according to ground survey.

BCLS

February 23, 2015.

FILE:TF-4752

PD: 012-701-238

NOTE:

Elevations shown are based on
Geodetic Datum.
Bench Mark: Control Monument 77H6856
located at the centre of Kitchener
Street in front of house 6605.
B.M. Elevation = 298.46 feet.
(90.971 metres).

SETBACK OF ADJACENT DWELLINGS				
HOUSE NO.	LOT NO.	MIN. FRONT SETBACK	AVERAGE	
6604	7	28.1	28.58	
6614	8	28.2		
6634	10	31.2	24.61	
6644	1	28.8		
TOTAL:		114.3		

NOTE

All trees have been plotted
in accordance with Burnaby
Tree Bylaw 1996.

NOTE:

The building envelope shown is only our
interpretation of the City of Burnaby
building bylaws. The size and location
of the building envelope must be confirmed
by the City Planning Department prior to
any design work. Failure to do so will
place sole responsibility for the design
onto the house designer.

NOTE

For construction, use lead
plugs in sidewalk or City
survey monument only for
elevation control.

Ken K. Wong and Associates
Canada and B.C. Land Surveyors
5624 E. Hastings Street
Burnaby, B.C. V5B 1R4
Telephone: (604) 294-8881
Fax: (604) 294-0625
150059 FB918 P107-109
R-7538 R-7840 SU-2717
Drawn by: TB

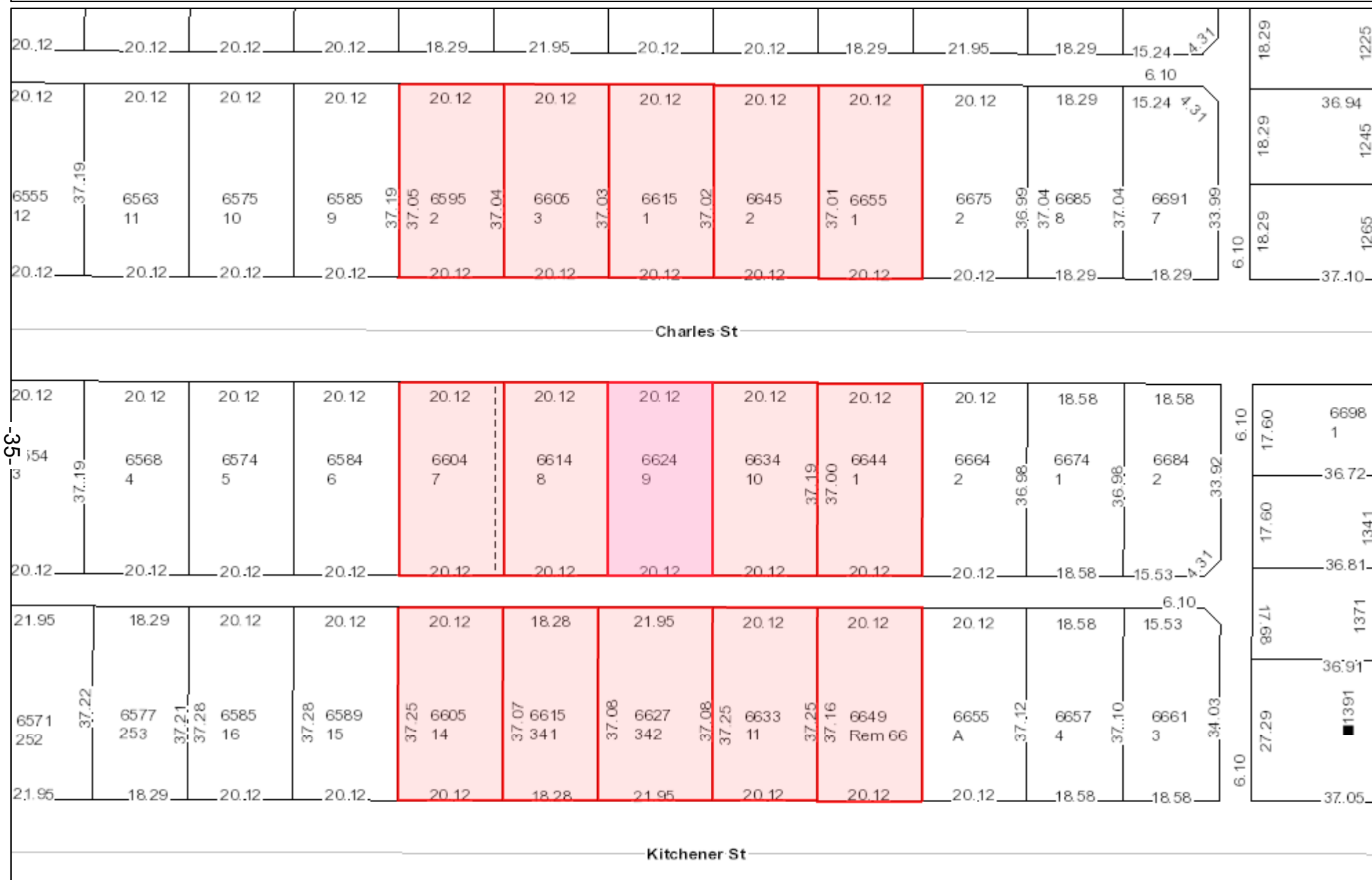
3-(b)



6624 Charles Street

May 12, 2016

1:1,000



The information has been gathered and assembled on the City of Burnaby's computer systems. Data provided herein is derived from a number of sources with varying levels of accuracy. The City of Burnaby disclaims all responsibility for the accuracy or completeness of information contained herein.

BOV 6228



Board of Variance Appeal Application Form

OFFICE OF THE CITY CLERK

Burnaby City Hall, 4949 Canada Way, Burnaby BC, V5G 1M2, Phone: 604-294-7290 Email: clerks@burnaby.ca

Applicant

Name of Applicant Beverly Kitasaka & Daniel Piskacek
 Mailing Address 5469 Keith St.
 City/Town Burnaby Postal Code V5J 3C4
 Phone Number(s) (H) 604-437-5578 (C) 604-516-9978 - Dan
 Email bkitasaka@gmail.com
 Preferred method of contact: ☒ email ☐ phone ☐ mail

Property

Name of Owner Beverly Kitasaka & Daniel Piskacek
 Civic Address of Property 5469 Keith St.
Burnaby, BC V5J 3C4

I hereby declare that the information submitted in support of this application is, to the best of my knowledge, true and correct in all aspects, and further that my plans have no conflict with municipal bylaws other than those applied for with in this application.

May 9/2016
Date

B. Kitasaka
Applicant Signature

Office Use Only

Appeal Date 2016 June 02 Appeal Number BV# 6229

Required Documents:

- ☒ Hardship Letter from Applicant
- ☒ Site Plan of Subject Property
- ☒ Building Department Referral Letter

Any documents submitted in support of this Board of
Variance Appeal will be made available to the Public

Beverly Kitasaka & Daniel Piskacek
5469 Keith St
Burnaby, BC V5J 3C4

May 9, 2016

Board of Variance
City of Burnaby
4949 Canada Way
Burnaby, BC V5G 1M2

Dear Members of the Board of Variance:

Due to the sloping nature of our property, we would like to request variances on our plans to build our new home.

We currently reside at 5469 Keith Street and have submitted plans to rebuild a new home on our current property. We are located in the South Slope area of Burnaby, one block north of Marine Drive and Royal Oak. Our property is located on a steep slope and requires special consideration when planning a new home construction.

There are three variances we would like to request:

1. Height of retaining wall in the back yard
2. Height of detached garage located in the back
3. Distance between the house and garage

These variances would allow us to keep a decent sized back yard. Preserving a natural outdoor space is important to our family. If we had to put in several shorter retaining walls, it would leave us little space in the back yard. We would also like to have a double car garage – however we have been told that by doing this, the garage would be too close to the house by 7 inches. This house we are building is intended as our long term family home. We would like to have enough parking for when our kids start driving their own cars. Our house has been designed to not be at maximum size with the hope that we could retain the outdoor living space and have room for a garage.

We have made great efforts to design a livable family home on our steeply sloped lot. We hope you agree that our request for the above variances is reasonable and would greatly appreciate you granting our request.

Sincerely,

Two handwritten signatures in black ink. The first signature on the left is 'B. Kitasaka' and the second signature on the right is 'D. Piskacek'.

Beverly Kitasaka & Daniel Piskacek



BOARD OF VARIANCE REFERRAL LETTER

DATE: May 9, 2016		DEADLINE: May 10, 2016 for the June 2, 2016 hearing		<i>This is <u>not</u> an application. Please take letter to Board of Variance. (Clerk's office - Ground Floor)</i>
NAME OF APPLICANT: Beverly Kitasaka & Daniel Piskacek				
ADDRESS OF APPLICANT: 5739 Hyde Street, Burnaby, BC, V5G 4C6				
TELEPHONE: 604.437.5578				
PROJECT				
DESCRIPTION: New Single Family Dwelling w/ Detached Garage				
ADDRESS: 5469 Keith Street				
LEGAL:	LOT: N	DL: 158	PLAN: 14508	

The above mentioned application, which includes the attached plan of the proposal, has been refused by the Building Department on the basis of contravention of:

Zone/Section(s) R2 [6.3.1; 6.6(2)(a); 6.14(5)(b)]
of the Burnaby Zoning Bylaw No. 4742

COMMENTS:

The applicant is proposing to build a new single family dwelling. The following relaxations are being requested.

- 1) The distance between the principal building and the detached garage is 14.22 feet where a minimum distance of 14.8 feet is required.
- 2) The accessory building height will be 21.28' feet where the maximum building height of 15.1 feet is permitted. The building height is measured from the average grade which is 144.85 feet.
- 3) The relaxation of 6.14(5)(b) of the zoning by-law which, if permitted, will allow for the construction of a retaining wall at the rear of the lot with varying heights up to a maximum of 11.7 feet where the maximum permitted height is 5.91'.

Note: The applicant recognizes that should the project contain additional characteristics in contravention of the zoning by-law a future appeal(s) may be required.

MS

Peter Kushnir
Deputy Chief Building Inspector

[illegible]

Diagram illustrating the internal structure of a precast concrete wall section. The wall is composed of precast concrete panels held together by a grout joint. The internal components shown include:

- 18 CONCRETE STRIPS
- PRECAST CONCRETE
- GROUT JOINT
- CLASB (CLASB PRECAST)
- CLASB (CLASB PRECAST)

CEILING AREA, IN ²	CORROSION	1988	1989
1	EXPOSURE AREA ONLY	0.07	0.1
2	AREA BEHIND WALLS OF ROOM	0.09	0.12
3	BLACK BOARD INSTALLATION	0.1	0.12
4	PAINTED WALLS	0.08	0.08
5	PAINTED WALLS	0.08	0.08
6	PAINTED WALLS	0.08	0.08
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84	PAINTED WALLS	0.08	0.08
85	PAINTED WALLS	0.08	0.08
86	PAINTED WALLS	0.08	0.08
87	PAINTED WALLS	0.08	0.08
88	PAINTED WALLS	0.08	

(TOTAL 48 PER AQUA COMB! IND. L TO IMPACT
A 48 PER ASSUMED BY "CHRONIC PROTECTOR: (MCE)

III FLOOR SYSTEM DETAIL

CRUEL AND ABUSIVE COMPANIES	NO. OF
1. EXHIBITION WITH PAIN	0.03
2. SEX HARASSMENT	0.03
3. 72 HOURS DETENTION	0.01
4. 100% DETENTION	0.01
5. 10% DETENTION	0.01
6. 10% DETENTION	0.01
7. 10% DETENTION	0.01
8. 10% DETENTION	0.01
9. 10% DETENTION	0.01
10. 10% DETENTION	0.01
11. 10% DETENTION	0.01
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CODE	DESCRIPTION	QTY	UNIT	PRICE	TOTAL
1	EXTERIOR AIR INLET	1	EA	10.00	10.00
2	EXTERIOR AIR OUTLET	1	EA	10.00	10.00
3	EXTERIOR AIR INLET	1	EA	10.00	10.00
4	EXTERIOR AIR OUTLET	1	EA	10.00	10.00
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[illegible]

197	1972
EFFECTIVE 1972 VALUE OF ADDITION ¹ 0.04	
ADVANCED LEARNERS	

TOTAL ASSET VALUE \$100,000.00

○ TYP. ROOF

 Springer

Serial	Assembly	Component	Qty	Unit	Price	Total
1	EXPLODER	EXPLODER	1	EA	100.00	100.00
2	EXPLODER	EXPLODER	1	EA	100.00	100.00
3	EXPLODER	EXPLODER	1	EA	100.00	100.00
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57	EXPLODER	EXPLODER	1	EA	100.00	1

CONCRETE WALL WARRING		SM	R
WALL ADJUSTER COMPONENTS			
1	BRACE	8.00	8.00
2	CAST IN PLACE CONCRETE WALL	2.14	1.26
3	SALE	0.00	0.00
4	POLYURETHANE	0.00	0.00
5	WALL WARRING PLUGGED IN WALL WITH # 6 GRC	1.26	1.00
6	SPF PLYWOOD/STAINLESS STEEL BOARD	0.00	0.00
7	INSUL. COAT. PENETRANT	0.00	0.00
8	INSULATOR AND PLUG	0.00	0.00
EFFECTIVE BRACE VALUE OF INSUL. ADJUSTER		1.26	0.00

THESE ARE THE ONLY TWO BOOKS

BEAM PENETRATION DETAIL (PLAN)

CONCLUSIONS


[illegible]

ALL APPLICABLE COMPONENTS		Min	Max
1	PERMISSION AND PLAN	0.2	0.00
2	DESIGN	0.2	0.00
3	PERMISSION PLACED	0.2	0.00
4	PERMISSION	0.2	0.00
5	PERMISSION	0.2	0.00
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97	PERMISSION</		

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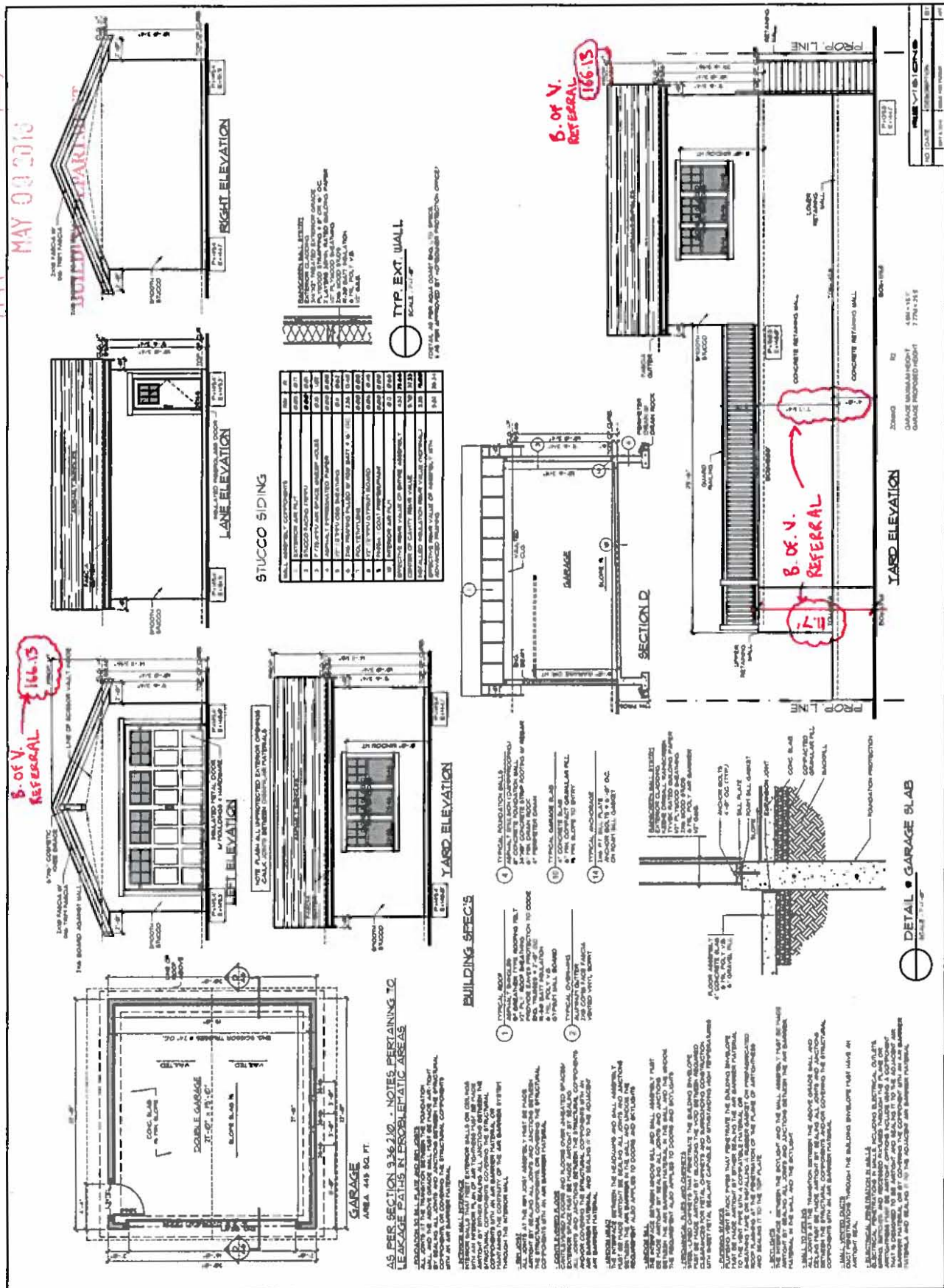
-40-



su casa
design inc.

2543 montana ave.
albuquerque, n.m. 87131-3174
Tel. (804) 854-3222
Fax (804) 854-4303

KITASAKA RESIDENCE
5469 KEITH ST., BURNABY, B.C.



POSTING PLAN OF LOT "N" DISTRICT LOT 158
GROUP 1 NEW WESTMINSTER DISTRICT PLAN 14508

Pursuant to Section 68 of the Land Title Act
B.C.G.S. 92G.026



The intended plot size of this plan is 360 width by 432 in height
(C size) when plotted at a scale of 1:750

PLAN EPP49726

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FEB 16 2016

PLANNING DEPARTMENT

Legend

- - Control Monument Found
- ⊙ - Standard Concrete Post Found
- ⊖ - Standard Iron Post Found
- - Lead Plug Found
- ⊖ - Standard Iron Post Placed
- - Lead Plug Placed
- PP - Posting Plan
- MF - Nothing Found
- MF - Witness

Integrated Survey Area No.25
City Of Burnaby
NAD83 (CSRS) 4.0.0.BC1.GVD

This Plan shows horizontal ground-level distances unless otherwise specified. To compute grid distances, multiply ground-level distances by the average combined factor of 0.9999861 which has been derived from geodetic control monuments 8743209 and 8743290.

Grid bearings are derived from observations between geodetic control monuments 8743209 and 8743290.

Note

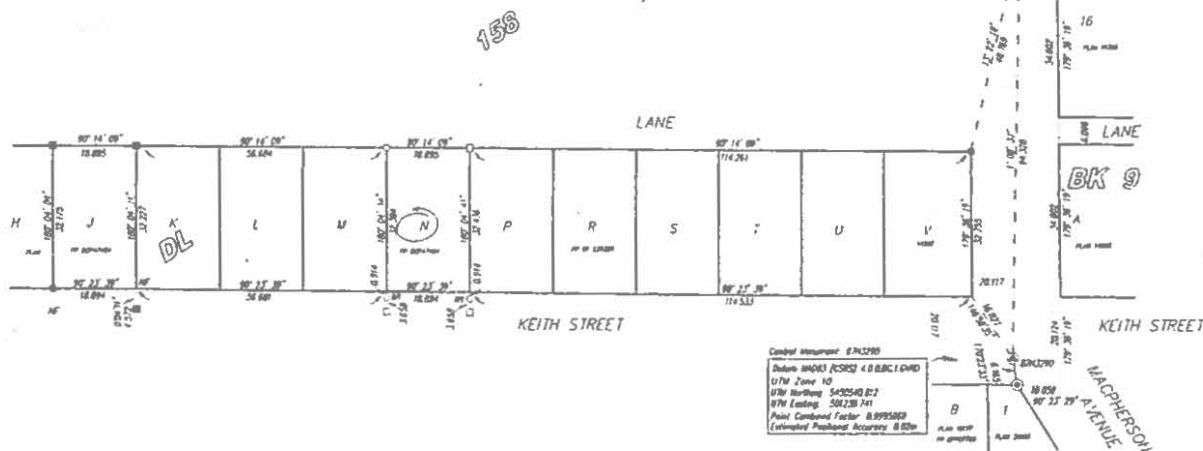
The plan shows one or more witness posts which are not along the production of property boundary unless otherwise stated.

Note

Some parts and lines have been suppressed for clarity.

The UTM coordinates and referenced horizontal position accuracy achieved have been derived from conventional survey observations to geodetic control monuments 8743209 and 8743290.

Datum: NAD83 (CSRS) 4.0.0.BC1.GVD
UTM Zone 10
UTM Northing: 543540.265
UTM Easting: 552416.251
Point Combined Factor: 0.9999861
Estimated Positional Accuracy: 0.02m



This Plan Lies Within The Greater Vancouver Regional District

The field survey represented by this plan was completed on the 3rd day of March, 2015.
Loring Tye, BCLS #889

As requested by the City of Burnaby, the plan was reprojected and was produced to the City of Burnaby on the 8th day of January, 2016.

Control Monument: 8743290
Datum: NAD83 (CSRS) 4.0.0.BC1.GVD
UTM Zone 10
UTM Northing: 543540.265
UTM Easting: 552416.251
Point Combined Factor: 0.9999861
Estimated Positional Accuracy: 0.02m

TOPOGRAPHICAL PLAN OF LOT "N" DISTRICT LOT 158
GROUP 1 NEW WESTMINSTER DISTRICT PLAN 14508

PID: 009-966-161

Civic Address: 5469 Keith Street,
City of Burnaby

Note: Lines pursuant to by law 1996 are shown

Revisions:

Revisions Are: Corrective

Revisions To: Monument B7413280

Monument Elevation: 38.43m

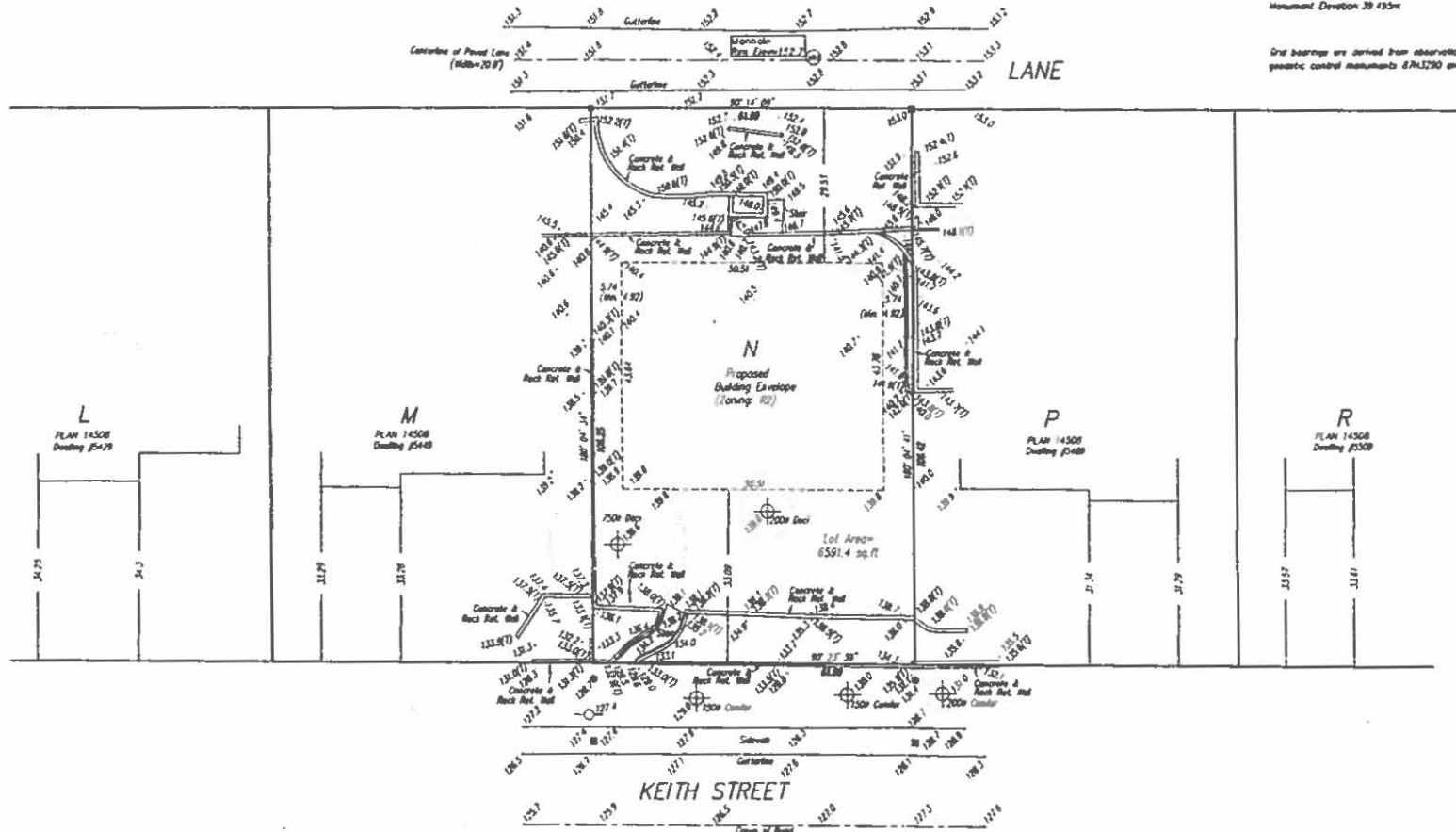
Grid bearings are derived from observations between
geomatic control monuments B7413280 and B7413289

RECEIVED
FEB 16 2016

Scale 1 inch=16 feet

The intended plot size of this plan is 360 width by 452 in height
(6' x 10') when plotted at a scale of 1 inch=16 feet.

All Distances And Elevation Are In Feet And Decimals
Termed Unless Otherwise Stated.



Legend:

- - Standard iron Post
- - Lead Plug
- ⊕ - Iron (diameter in mm and Spacing) 250m Center
- - Power Pole
- ⊙ - Manhole

Suffix:

f - Direction of top of wall

Notes:

Information shown herein is for municipal purposes only and is for the exclusive use of the owner.
All rights reserved. No person may copy, reproduce, transmit, alter, distribute, or store copies of this document in whole or in part without the prior written consent of the undersigned.

Building envelope shown is only approximate.
For interpretation of City Building Bylaws please consult Planning Department for final building envelope when required.

Zoning: R2

Setbacks:

Lot	Front	Address
L	34.25	5429
M	31.26	5449
P	31.29	5469
R	31.57	5509

Average = 33.09

This is certified correct and is valid only with respect to the improvements as shown herein and located on the 3rd day of March, 2015.
Re-inspection on the 6th day of January, 2016

RECEIVED
FEB 16 2016

This Document is Not Valid Unless Originally Signed And Sealed





Board of Variance Appeal Application Form

OFFICE OF THE CITY CLERK

Burnaby City Hall, 4949 Canada Way, Burnaby BC, V5G 1M2, Phone: 604-294-7290 Email: clerks@burnaby.ca

Applicant

Name of Applicant MALKIT S. ATHWAL
 Mailing Address 87 CLARK AVE
 City/Town NEWMETTINGTON B.C. Postal Code V3L 2A4
 Phone Number(s) (H) 604-526-4248 (C) 778-863-4242
 Email Ranson1967@hotmail.com
 Preferred method of contact: ☒ email ☒ phone ☐ mail

Property

Name of Owner MALKIT S. ATHWAL
 Civic Address of Property 6011-10th AVE B3Y, B.C.

I hereby declare that the information submitted in support of this application is, to the best of my knowledge, true and correct in all aspects, and further that my plans have no conflict with municipal bylaws other than those applied for with in this application.

10 May 2016
 Date

Malkit S. Athwal
 Applicant Signature

Office Use Only

Appeal Date 2016 June 02 Appeal Number BV# 6230

Required Documents:

- ☐ Hardship Letter from Applicant
- ☐ Site Plan of Subject Property
- ☐ Building Department Referral Letter

Any documents submitted in support of this Board of
 Variance Appeal will be made available to the Public

5th May 2016

To: The Board of Variance

City of Burnaby

Dear Madam/Sir

LETTER OF HARDSHIP-GARAGE AND ACCESSORY BUILDING - 6011 10th AVENUE

This is to bring to your kind attention that flood plain elevation imposed on my site is creating severe hardship in constructing a livable garage and accessory building.

The flood plain elevation as stated by the engineering department is 12.8'. The following hardship is experienced for both the garage and accessory building maximum ridge height due to the flood plain elevation:

- 1) Garage building: The average grade of the existing lot is 8.2'. The garage roof ridge height is 25.84' and we have been instructed to reduce this by 2'-6" to fulfill the max ridge elevation height of 23.30' for a sloping roof. This impacts the ceiling height for the garage and creates severe hardship in achieving a functional ceiling height.
- 2) Accessory Building: The average grade of the existing lot is 8.6'. The accessory building roof ridge height is 26.14' and we have been instructed to reduce this by 2'-5" to fulfill the max ridge elevation height of 23.70' for a sloping roof. This impacts the ceiling height for the accessory building and creates severe hardship in achieving a functional ceiling height.

We have obtained the permit for the main house and planning to commence construction immediately and it would be beneficial to us if we can construct the accessory buildings at the same time. We request the Board of Variance to relax the ridge height for the garage and accessory building so that we can have a functional ceiling height which is matching with the sloping roof of the main house.

You kind consideration in this matter will be greatly appreciated.

Thank you

Truly



Malkeet Atwal



BOARD OF VARIANCE REFERRAL LETTER

DATE: April 27, 2016		DEADLINE: May 10, 2016 for the June 2, 2016 hearing		<i>This is <u>not</u> an application. Please take letter to Board of Variance. (Clerk's office - Ground Floor)</i>
NAME OF APPLICANT: Malkit Athwal				
ADDRESS OF APPLICANT: 87 Glover Ave, New Westminster V3L2A4				
TELEPHONE: 778.863.4248				
PROJECT				
DESCRIPTION: Two new accessory buildings				
ADDRESS: 6011 10 th Ave.				
LEGAL:	LOT: 17	DL: 173	PLAN: 1034	

The above mentioned application, which includes the attached plan of the proposal, has been refused by the Building Department on the basis of contravention of:

Zone/Section(s) A2 [6.6(2)(a)]
of the Burnaby Zoning Bylaw No. 4742

COMMENTS:

The applicant is proposing to build a new detached garage and an accessory building to a new single family dwelling under construction. The following relaxations are being requested.

- 1) The detached garage height, measured from the average elevation will be 17.64 feet. The maximum accessory building height of 15.1 feet is permitted.
- 2) The accessory building height, measured from the average elevation will be 17.54 feet. The maximum accessory building height of 15.1 feet is permitted.

Note: The applicant recognizes that should the project contain additional characteristics in contravention of the zoning by-law a future appeal(s) may be required.

BHS

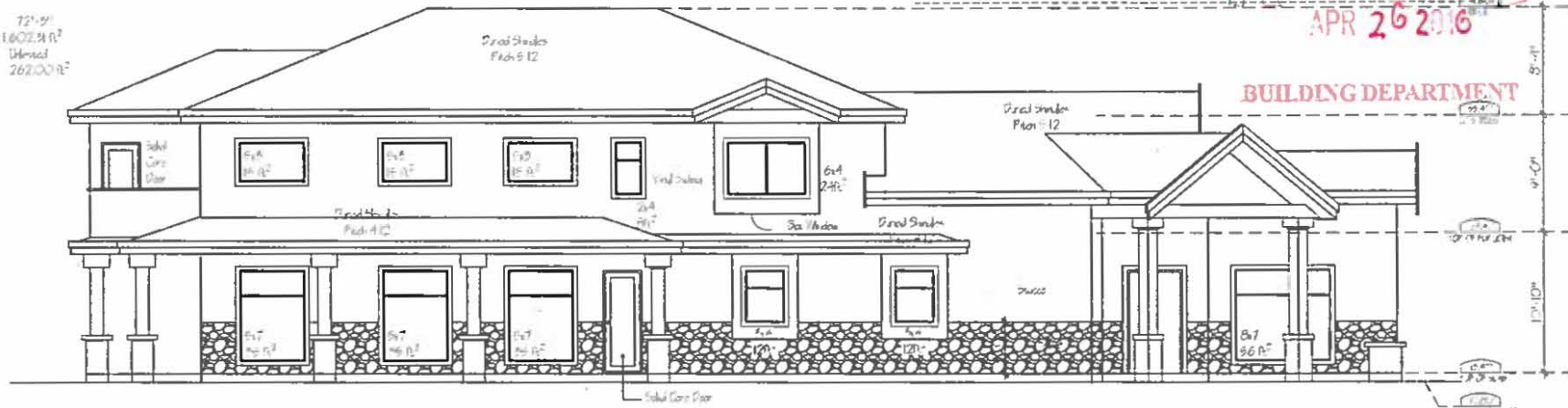
Peter Kushnir
Deputy Chief Building Inspector

Unsprinkled Openings:
 Limited Distance: 72'-0"
 Wall Area: 1,602.34 ft²
 Permitted Openings: Unlimited
 Proposed Openings: 262.00 ft²

MAXIMUM BUILDING HEIGHT = 34.45' (10.50m) - EL. 42.45'

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FRONT ELEVATION(S)

SCALE 1/4" = 1'-0"

Unsprinkled Openings:
 Limited Distance: 9'-0"
 Wall Area: 1,757.31 ft²
 Permitted Openings: 175.73 ft² @ 10'
 Proposed Openings: 174.00 ft²

MAXIMUM BUILDING HEIGHT = 34.45' (10.50m) - EL. 42.45'



REAR ELEVATION(N)

SCALE 1/4" = 1'-0"

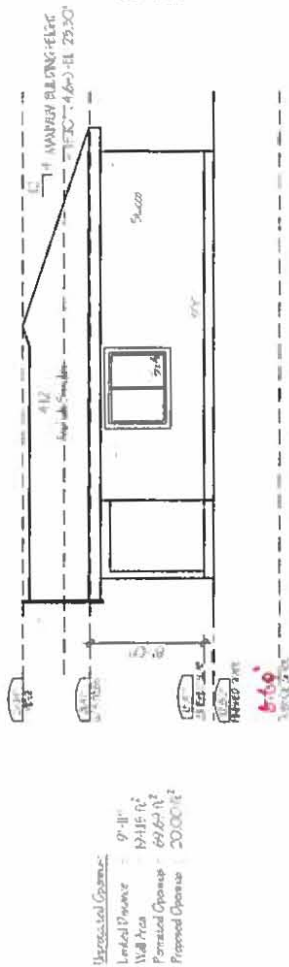
EWAN DESIGN-CONSTRUCT INC.
 210-6767 BERSFORD STREET, BURNABY BC, V5P 2K3
 TEL: 604 334 5186 / 604 338 8127 email: info@ewandc.com

ADDRESS: 601 10TH AVENUE
 CITY: BURNABY, BC
 PROJECT: FRONT & REAR ELEVATIONS

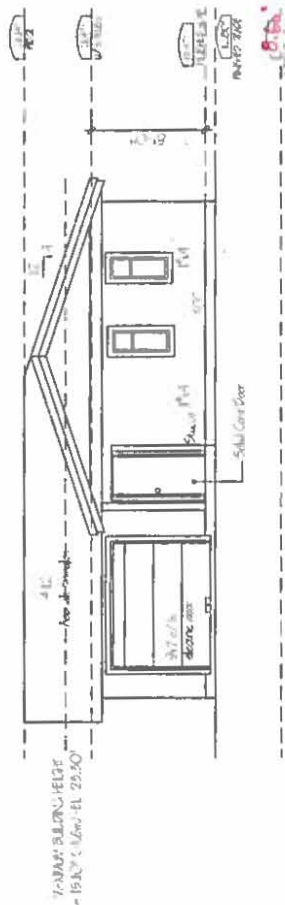
BY: [Signature]
 DATE: [Date]

APRIL 2016
 AS INDICATED

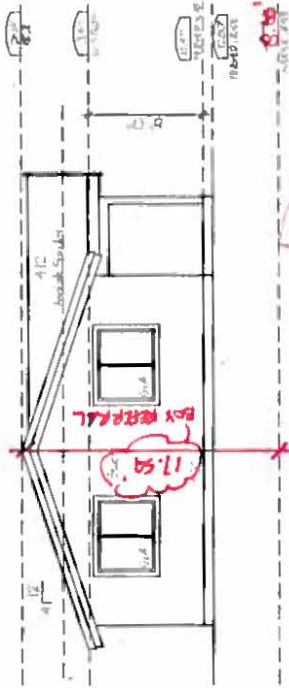
PROJECT NO: A-4/8



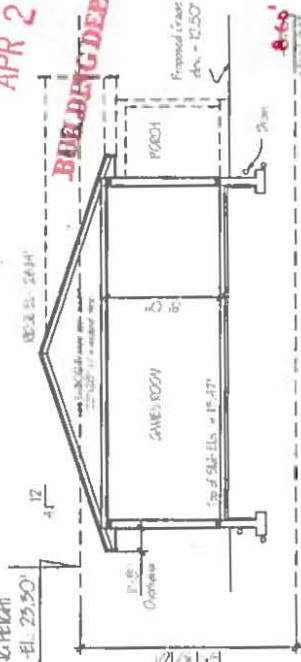
NORTH ELEVATION
SCALE 1/4" = 1'-0"



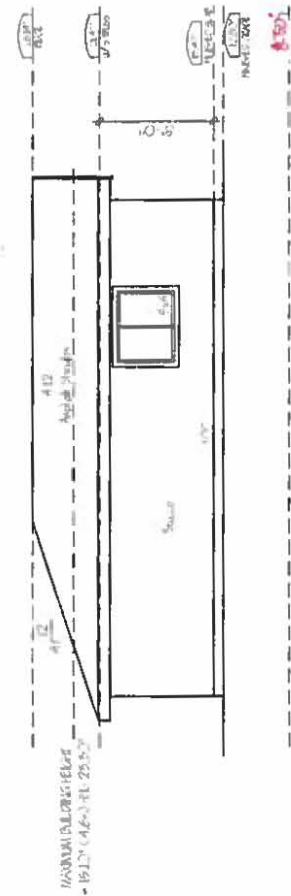
EAST ELEVATION
SCALE 1/4" = 1'-0"



SOUTH ELEVATION
SCALE 1/4" = 1'-0"



SECTION "C-C"
SCALE 1/4" = 1'-0"



WEST ELEVATION
SCALE 1/4" = 1'-0"

BUILDING SPECIFICATIONS:

ROOFING: Durock or Asphalt Shingles 1/2" OSB on pre-engineered trusses @ 24" o.c. R-40 insulation on 6 mil poly VB on 1/2" drywall. Vent 1/2". Provide minimum 22" x 120" attic access w/ weather strip.

EAVES: 2" x 6" over 2" x 10" fascia board. Hidden gutters or aluminum gutters - owner to determine. Vented attic or wood soffits.

EXTERIOR WALLS: Stucco on lath, on paper-back stucco wire on min. 1/2" pressure treated sheathing @ 16 o.c. Mechanically fastened on sheathing membrane on 1/2" plywood sheathing on 2x6 studs @ 16" - R-20 insulation on 6 mil poly VB on 1/2" drywall. see Rammed Concrete (sheet 3 of 9).

FOUNDATION: 4" conc. slab, with 15m @ 18" 6 mil poly VB - R-12 insulation.

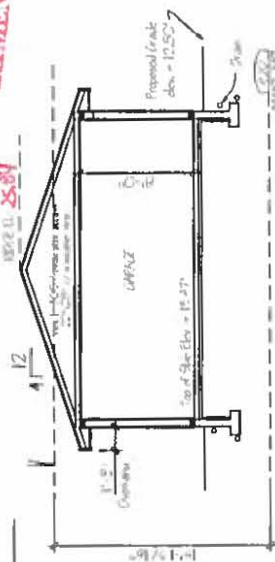
FOOTINGS: 6" concrete pedestal complete with anchor bolts on 8" x 20" concrete footings. Refer to engineer's specs. 2-15M REBARS (TYPICAL)

<p>EWAN DESIGN-CONSTRUCT INC. 246577 REPAIRS/STREET IMPROVEMENT INC. VSP 343 TEL. 804 254 3141 FAX 804 254 3117 email info@ewandesign.com</p>	<p>6811 18th Avenue Riverside, NC ACCESSORY BUILDING - ELEVATIONS/SECTION</p>	<p>DATE: 04/07/2016 BY: J. B. BROWN CHECKED: J. B. BROWN</p>	<p>APRIL 2016 AS INDICATED</p>	<p>A-7/8</p>
		<p>PROJECT NO. 16-001 SHEET NO. 16-001</p>		

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SECTION "B-B"

SCALE 1/4" = 1'-0"

SPECIFICATIONS:

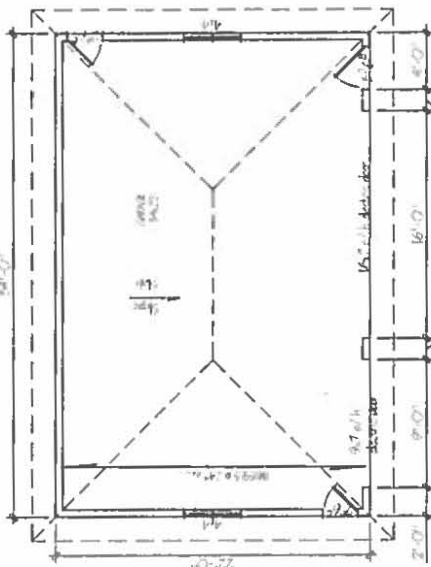
ROOFING: Duro or Asph/Flt Shingles 1/2" OSB on pre-engineered trusses @ 24" o.c. P-40 insulation on 6 mil poly V3 on 1/2" drywall. Vent 1/2" x 20". Provide minimum 22" x 28" attic access c/ w weather strip.

EAVES: 2" x 12" over 2" x 10" fascia board. Hidden gutters or aluminum gutters - owner to determine. Vented aluminum or wood soffits.

EXTERIOR WALLS: Stucco on lath on paper-back stucco wire on min. 1/2" pressure treated strapping @ 16" o.c. Mechanically fastened on sheathing membrane on 1/2" plywood sheathing on 2x6 studs @ 16" - R-20 insulation on 6 mil poly V3 on 1/2" drywall. See Rammed Detail (sheet 5 of 9).

FLOOR FINISH: 4" conc. slab, with 15m @ 18", 6 mil poly V3 - P-12 insulation.

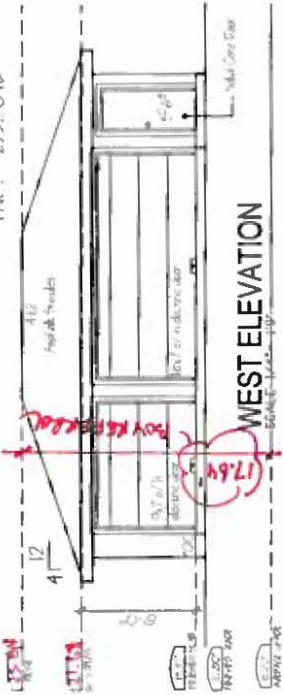
FOOTINGS: 6" concrete pedestal complete with anchor bolts on 8" x 30" concrete footings. Refer to engineers specs. 2-15M REBARS (TYPICAL)



FLOOR PLAN

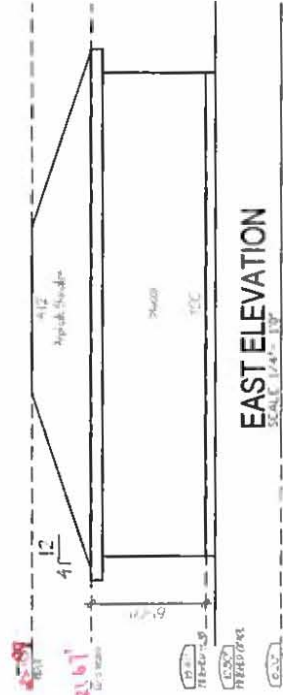
SCALE 1/4" = 1'-0"

TOTAL AREA: 748.00 R2
GARAGE ALLOWANCE: 452.10 R2
FAR: 295.90 R2



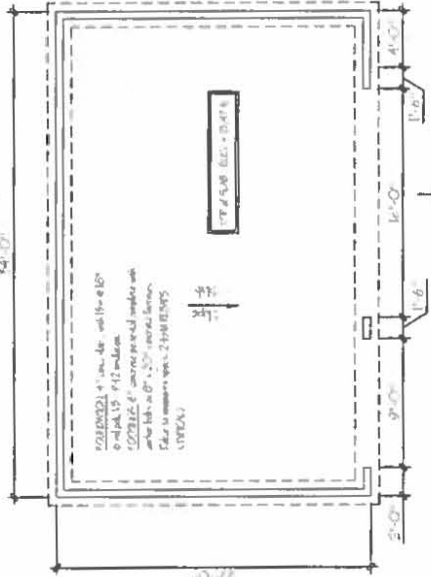
WEST ELEVATION

SCALE 1/4" = 1'-0"



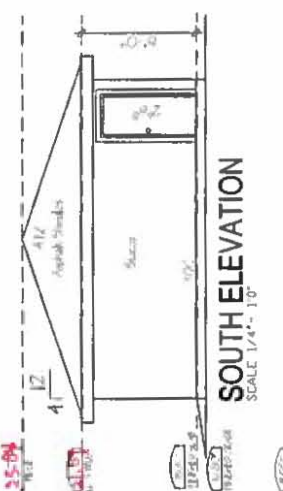
EAST ELEVATION

SCALE 1/4" = 1'-0"



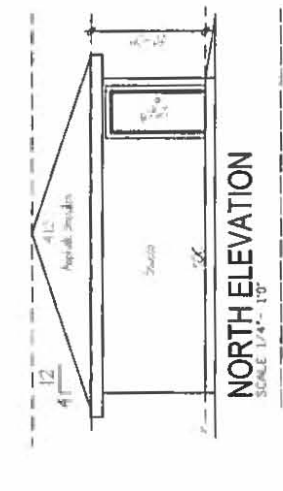
FOUNDATION PLAN

SCALE 1/4" = 1'-0"



SOUTH ELEVATION

SCALE 1/4" = 1'-0"



NORTH ELEVATION

SCALE 1/4" = 1'-0"

EJAN DESIGN-CONSTRUCT INC 114-6737 BUNSFORD STREET BURNABY BC V5P 3C3 TEL: 604-294-2181 / 604-298-8127 email: ejan@ejan-inc.com		OWNER: 4811 18th AVENUE BURNABY BC PROJECT: GARAGE - PLANS, ELEVATIONS & SECTION		DATE: APR 2016 AS INCHARGE	SCALE: A-8/8
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MAY 02 2016

FID: C51-835-278
Date Address: 6111 70th Avenue
City of Burnaby

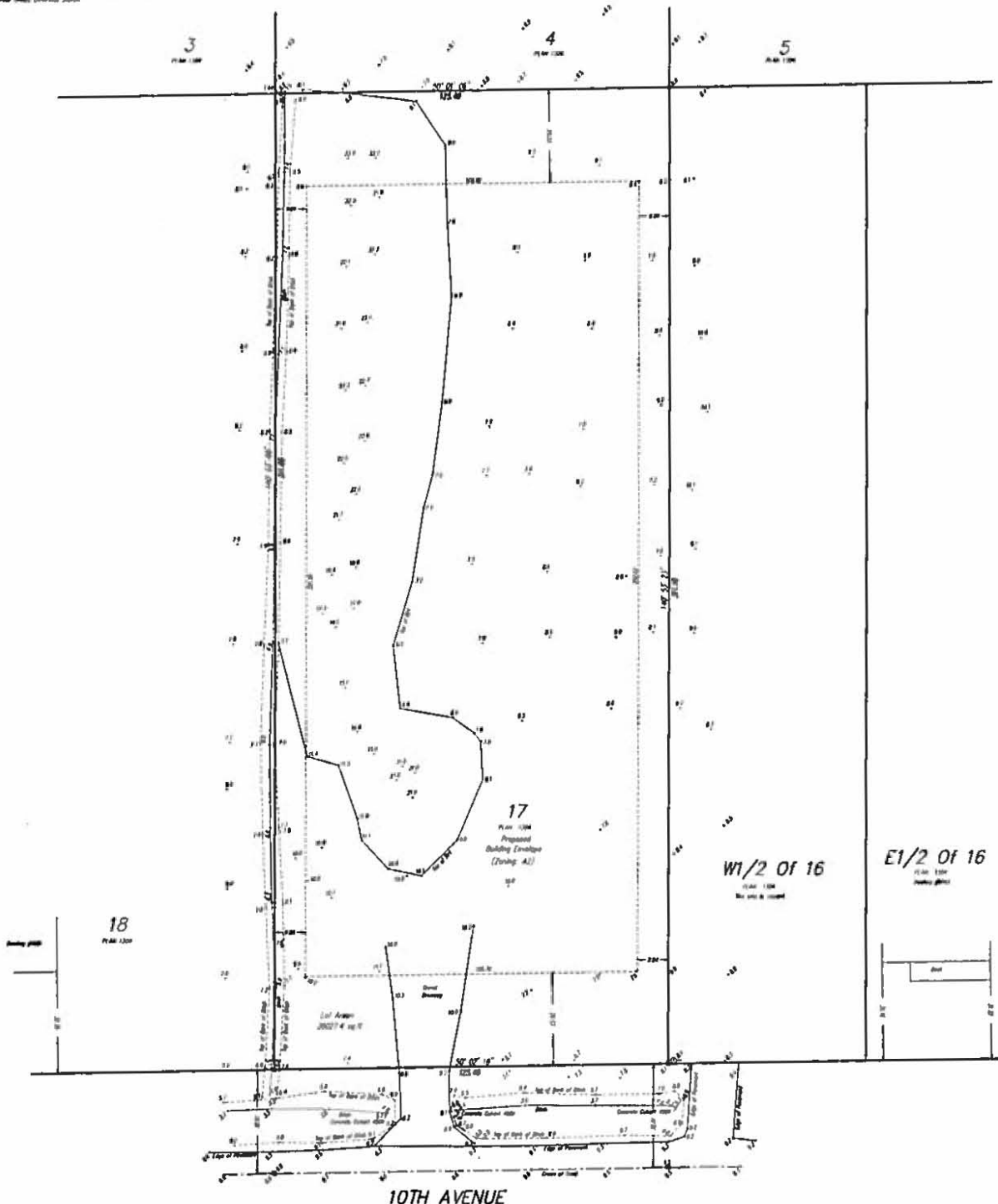
Scale: 1 inch = 10 feet

The intended path was to pass at 100 yards by 204 in height
(3 and 4 are plotted at 100 yards at 100 in height)

All Distances And Elevations Are In Feet And Decimals

Source: Ordnance Survey

BUILDING DEPARTMENT



Notice.

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Building envelope shown is only approximate
for interpretation of City Building System
plans consult Planning Department for final
building envelope when required

Learned

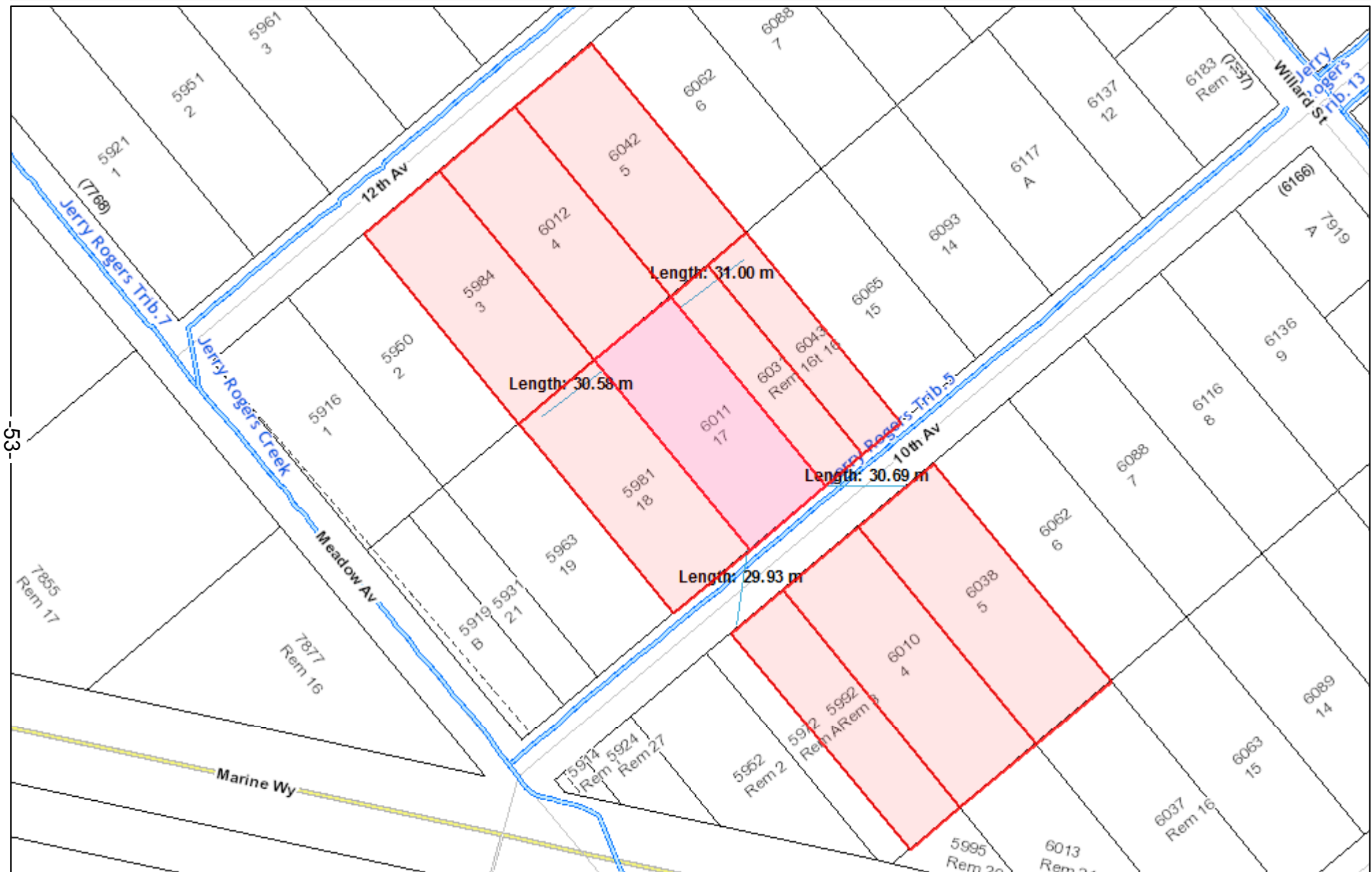
- = Standard Test Piece
- = Joint Plug
- = Press Plug

Section 1.10.
Complexity Analysis
 Applied to Algorithm 1.10.1
 Section 1.10.2

Small business and startup from Plan (1997/1998)

This is certified correct and is valid only with respect to the improvements of above farms and located on the 72nd day of November, 1992.

This document is the final report of the



The information has been gathered and assembled on the City of Burnaby's computer systems. Data provided herein is derived from a number of sources with varying levels of accuracy. The City of Burnaby disclaims all responsibility for the accuracy or completeness of information contained herein.

BOV 6230