



## **BOARD OF VARIANCE**

### ***NOTICE OF OPEN MEETING***

**DATE:** THURSDAY, 2016 DECEMBER 01

**TIME:** 6:00 PM

**PLACE:** COUNCIL CHAMBER, MAIN FLOOR, CITY HALL

### **A G E N D A**

1. **CALL TO ORDER**

2. **MINUTES**

(a) Minutes of the Board of Variance Hearing held on 2016 November 03

3. **APPEAL APPLICATIONS**

(a) **APPEAL NUMBER:** B.V. 6251 **6:00 p.m.**

APPELLANT: Chloe Lee

REGISTERED OWNER OF PROPERTY: Bin Liu

CIVIC ADDRESS OF PROPERTY: 7416 17th Avenue

LEGAL DESCRIPTION OF PROPERTY: Lot 3; DL30; Plan 3036

APPEAL: An appeal for the relaxation of Section 105.11 of the Burnaby Zoning Bylaw which, if permitted, would allow for the construction of a new single family home with attached garage at 7416 17th Avenue. The rear yard setback would be 20.71 feet where 24.6 feet is required. All projections into the proposed rear yard will conform to the requirements of Section 6.12. (Zone R5)

**(b)      APPEAL NUMBER:    B.V. 6252                      6:00 p.m.**

APPELLANT:      Gurdeep Sandhar

REGISTERED OWNER OF PROPERTY:    Manjit Malhi, Amarjit and Sarabjeet  
Lehal, Aneeta Sandhar

CIVIC ADDRESS OF PROPERTY:      4467 Marine Drive

LEGAL DESCRIPTION OF PROPERTY:    Lot 2; DL 157; Plan 12963

APPEAL:    An appeal for the relaxation of Section 102.8(1) of the Burnaby Zoning Bylaw which, if permitted, would allow for the construction of a new single family home with secondary suite and attached garage at 4467 Marine Drive. The front yard setback would be 81.56 feet where a minimum front yard setback of 93.87 feet is required based on front yard averaging. (Zone R2)

**(c)      APPEAL NUMBER:    B.V. 6253                      6:15 p.m.**

APPELLANT:      Beverly Kitasaka and Daniel Piskacek

REGISTERED OWNER OF PROPERTY:    Beverly Kitasaka and Daniel Piskacek

CIVIC ADDRESS OF PROPERTY:      5469 Keith Street

LEGAL DESCRIPTION OF PROPERTY:    Lot N; DL 158; Plan 14508

APPEAL:    An appeal for the relaxation of Section 102.8(1) of the Burnaby Zoning Bylaw which, if permitted, would allow for the construction of a new family home with detached garage at 5469 Keith Street. The front yard setback would be 28.09 feet where a front yard setback of 33.09 feet is required based on front yard averaging. (Zone R2)

**(d)      APPEAL NUMBER:    B.V. 6254                      6:15 p.m.**

APPELLANT:      David Song

REGISTERED OWNER OF PROPERTY:    S Jala Investments LTD

CIVIC ADDRESS OF PROPERTY:      8580 Gilley Avenue

LEGAL DESCRIPTION OF PROPERTY:    Lot 12; DL 159; Plan 2-14

APPEAL: An appeal for the relaxation of Sections 102.8(1) and 102.7(b) of the Burnaby zoning Bylaw which, if permitted would allow for the construction of a new single family home with attached garage at 8580 Gilley Avenue. The following variances are being requested:

a) a front yard setback from Byrne Road of 69.10 feet where 104.25 feet is required based on front yard averaging; and,

b) the depth of the principal building would be 61.0 feet where a maximum permitted depth of 60.0 feet is permitted. The sundeck would extend 3.94 feet beyond the building. (Zone R2)

(e) **APPEAL NUMBER:** B.V. 6255 **6:30 p.m.**

APPELLANT: Boni Maddison Architects

REGISTERED OWNER OF PROPERTY: Tinny Jones

CIVIC ADDRESS OF PROPERTY: 7729 and 7731 Rosewood Street

LEGAL DESCRIPTION OF PROPERTY: Lot 4; DL 90; Plan 13173

APPEAL: An appeal for the relaxation of Section 105.7(2)(c) of the Burnaby Zoning Bylaw which, if permitted, would allow for the construction of a new two family dwelling with detached garage at 7729 and 7731 Rosewood Street. The following variances are being requested:

a) the height of the principal building, measured from the rear average elevation, would be 24.79 feet where a maximum height of 20.0 feet is permitted; and,

b) the height of the principal building, measured from the front average elevation, would be 22.04 feet where a maximum height of 20.0 feet is permitted. (Zone R5)

(f) **APPEAL NUMBER:** B.V. 6256 **WITHDRAWN**

APPELLANT: Harb Mann

REGISTERED OWNER OF PROPERTY: Jack and Pauline Chan

CIVIC ADDRESS OF PROPERTY: 8462 Royal Oak Avenue

LEGAL DESCRIPTION OF PROPERTY: Lot 18; DL 158; Plan 1489

(g) **APPEAL NUMBER:** B.V. 6257 **WITHDRAWN**

APPELLANT: Adrian Botez

REGISTERED OWNER OF PROPERTY: Adrian and Victoria Botez

CIVIC ADDRESS OF PROPERTY: 4610 Marine Drive

LEGAL DESCRIPTION OF PROPERTY: Lot 110; DL 157; Plan 26519

(h) **APPEAL NUMBER:** B.V. 6258 **7:00 p.m.**

APPELLANT: Rob Hsu

REGISTERED OWNER OF PROPERTY: Ying On

CIVIC ADDRESS OF PROPERTY: 395 Glynde Avenue North

LEGAL DESCRIPTION OF PROPERTY: Lot 16; DL 189; Plan 4953

APPEAL: An appeal for the relaxation of Section 102.6(1)(b) of the Burnaby Zoning Bylaw which, if permitted, would allow for the construction of a new single family home with attached garage at 395 Glynde Avenue North. The following variances are being requested:

a) the principal building height, measured from the rear average elevation, would be 33.5 feet where a maximum height of 24.3 feet is permitted; and,

b) the principal building height, measured from the front average elevation, would be 25.86 feet where a maximum building height of 24.3 feet is permitted. (Zone R2)

(i) **APPEAL NUMBER:** B.V. 6259 **7:00 p.m.**

APPELLANT: Raffaele and Associates

REGISTERED OWNER OF PROPERTY: Mela Properties LTD

CIVIC ADDRESS OF PROPERTY: 7774 Government Road

LEGAL DESCRIPTION OF PROPERTY: Lot 54; DL 42; Plan 26832

APPEAL: An appeal for the relaxation of Section 101.8 of the Burnaby Zoning Bylaw which, if permitted, would allow for the construction of a new



single family home at 7774 Government Road. The front yard setback would be 43.81 feet where a minimum front yard setback of 114.5 feet is required based on front yard averaging. (Zone R1)

Although the requested variance to the front yard setback is the same as the requested variance to the front yard setback in the 2016 November 03 appeal, the design form proposed in this appeal has been altered, as compared to the design form proposed in the 2016 November 03 appeal.

A previous Board of Variance appeal (BOV 6246, 2016 October 06) seeking a front yard setback of 29.53 feet was denied.

A previous Board of Variance appeal (BOV 6250, 2016 November 03) seeking a front yard setback of 43.81 feet was denied.

**4. NEW BUSINESS**

**5. ADJOURNMENT**



**CITY OF BURNABY**

**BOARD OF VARIANCE**

***NOTICE OF OPEN MEETING***

**MINUTES**

A Hearing of the Board of Variance was held in the Council Chamber, Main Floor, City Hall, 4949 Canada Way, Burnaby, B.C., on Thursday, 2016 November 03 at 6:00 PM

**1. CALL TO ORDER**

The Chair for the Board of Variance called the meeting to order at 6:00 p.m.

PRESENT: Ms. Charlene Richter, Chair  
Mr. Guyle Clark, Citizen Representative  
Mr. Rana Dhatt, Citizen Representative  
Mr. Stephen Nemeth, Citizen Representative  
Mr. Brian Pound, Citizen Representative

STAFF: Ms. Margaret Malysz, Planning Department Representative  
Ms. Joy Adam, Planning Department Representative  
Ms. Eva Prior, Administrative Officer

The Chair for the Board of Variance called the meeting to order at 6:05 p.m.

**2. MINUTES**

**(a) Minutes of the Board of Variance Hearing held on 2016 October 06**

MOVED BY MR. POUND  
SECONDED BY MR. CLARK

THAT the minutes of the Burnaby Board of Variance Hearing held on 2016 October 06 be adopted as circulated.

CARRIED UNANIMOUSLY

**3. APPEAL APPLICATIONS**

The following persons filed application forms requesting that they be permitted to appear before the Board of Variance for the purpose of appealing for the relaxation of specific requirements as defined in the Burnaby Zoning Bylaw 1965, Bylaw No. 4742.

**(a) APPEAL NUMBER: B.V. 6247**APPELLANT: Mikhail SerovREGISTERED OWNER OF PROPERTY: Mikhail SerovCIVIC ADDRESS OF PROPERTY: 35 Ellesmere AvenueLEGAL DESCRIPTION OF PROPERTY: Lot 26; DL 189; Plan NWP4953

APPEAL: An appeal for the relaxation of Section 105.6(1)(b) of the Burnaby Zoning Bylaw which, if permitted, would allow for the construction of a new single family home with a detached garage at 35 Ellesmere Avenue. The principal building height, measured from the front average elevation, would be 25.1 feet where the maximum building height of 24.3 feet is permitted. The principal building height, measured from the rear average elevation, would be 21.7 feet. (Zone-R5)

**APPELLANT'S SUBMISSION**

Mikhail Serov submitted an application requesting a relaxation of the zoning bylaw to allow for construction of a new home with a detached garage.

Mr. Serov appeared before members of the Board of Variance.

**BURNABY PLANNING AND BUILDING DEPARTMENT COMMENTS**

The subject site, which is zoned R5 Residential District, is located in the Capitol Hill neighbourhood, in which the age and condition of the single and two family dwellings vary. This interior lot, approximately 33.0 ft. wide and 122.0 ft. deep, fronts Ellesmere Avenue to the east. The subject property abuts single family dwellings immediately to the north, south and across the lane to the west. Vehicle access to the site is provided via the rear lane. The site observes a downward slope of approximately 18.5 ft. from the front to the rear.

A new single family dwelling with a detached garage is currently under construction on the subject site (BLD16-00090). However, once the construction reached the mid-stage (sheathing), a deviation from the approved plans was identified by City staff upon inspection of the BC Land Surveyor's roof elevation certificate. As a result, a variance is requested in order to permit construction to continue with the deviation incorporated

into the approved plans.

The appeal is to vary Section 105.6(1)(b) – “Height of Principal Building” of the Zoning Bylaw from 24.3 ft. to 25.1 ft. to allow the construction of the proposed single family dwelling with a flat roof.

The intent of the height requirements of the Zoning Bylaw is to mitigate the massing impacts of the new buildings and structures on neighbouring properties and to preserve the views.

As explained by the applicant, the deviation from the approved drawings is related to the direction of the roof slope, which was modified during the preparation of the shop drawings for roof trusses. Original approved drawings indicate that the roof was to slope one way over its shorter dimension. The roof trussed was fabricated, however, to allow for a two way slope with the roof high point in the middle of its longer dimension. As a result, the overall building height was increased by 10 inches.

The proposed dwelling observes a rear elevation height of 21.7 ft. from the lane property line, which is 2.6 ft. less than the allowed maximum height. Therefore, this proposal would not affect the views from the properties directly across the lane to the west, which are at substantially higher elevations.

The requested variance is for the front elevation height. In this case, the height calculation is based on the natural average grade at the outermost face of the front elevation. This is also the proposed average grade. It should be noted that a substantial grade difference from the rear to the front of the subject site is a contributing factor to the excess height of the front elevation.

The proposed height encroachment of 0.8 ft. occurs approximately at the upper portion of the decorative fascia of the flat roof. According to the provided BC Land Surveyor's roof elevation certificate, the encroachment along the eastern (front) edge of the roof is only 0.3 ft. and gradually increases to 0.8 ft. at the mid-point of the roof, approximately 23.0 ft. away from the front face of the building.

Considering the small scale of the encroachment, the proposed variance to the height requirements of the Zoning Bylaw would not impact neighbouring properties and would not be noticeable within the existing street frontage.

In view of the above, this Department does not object to the granting of this variance.

#### ADJACENT OWNER'S COMMENTS

The owner/resident at 42 Howard Avenue appeared in opposition to the proposed variance. The speaker expressed concern regarding the loss of view.

The owner/resident at 46 Howard Avenue appeared in opposition to the proposed variance. The speaker expressed concern regarding the loss of view.

Staff explained that the permitted height is 24.3 feet and that the variance would be for a further 0.8 feet, only at the midpoint of the roof.

MOVED BY MR. POUND  
SECONDED BY MR. NEMETH

THAT based on the plans submitted this appeal be ALLOWED.

CARRIED UNANIMOUSLY

(b) **APPEAL NUMBER:** B.V. 6248

APPELLANT: TQ Construction

REGISTERED OWNER OF PROPERTY: Siaw Min Pui

CIVIC ADDRESS OF PROPERTY: 7267 Broadway

LEGAL DESCRIPTION OF PROPERTY: Lot 90; DL 136; Plan NWP28307

APPEAL: An appeal for the relaxation of Section 102.8(1) of the Burnaby Zoning Bylaw which, if permitted, would allow for the construction of a new single family home at 7267 Broadway. The front yard setback would be 70.0 feet where a minimum setback of 97.4 feet is required based on front yard averaging. (Zone R2)

#### APPELLANT'S SUBMISSION

Ellen Liu and Jaime Miller, TQ Construction, submitted an application on behalf of the homeowner requesting a relaxation of the zoning bylaw to allow for construction of a new home with a detached garage.

TQ Construction and Siaw Min Pui, homeowner appeared before members of the Board of Variance.

#### BURNABY PLANNING AND BUILDING DEPARTMENT COMMENTS

The subject site, zoned R2 Residential District, is located in the Sperling-Broadway neighbourhood in which the age and condition of single family dwellings vary. This slightly irregular interior lot, approximately 100.0 ft. wide by 173.0 ft. deep (along the shorter east side property line), fronts onto Broadway to the south. The subject site abuts single family dwellings to the east. To the west and north the subject site is bordered by a large panhandle lot. This lot consists of the panhandle portion to the south, which runs immediately along the west (side) property line of the subject lot, and

the remaining portion, which is immediately north of the subject lot. This northern portion contains a residential dwelling and has a frontage onto Dorman Drive further to the north. Further to the west of the subject site is a vacant residential lot. Vehicular access to the subject site is proposed from Government Road; there is no lane access. The subject property observes a downward slope of approximately 17.2 ft. from the northeast corner to the southwest corner.

The subject lot is proposed to be re-developed with a new single family dwelling, with an attached carport and a small accessory building, for which a variance has been requested.

The appeal proposes the relaxation of Section 102.8 (1) – “Front Yard” of the Burnaby Zoning Bylaw from 97.4 ft. (based on front yard averaging) to 70.0 ft. The purpose of this variance is to allow construction of the proposed single family dwelling encroaching into the required front yard abutting Broadway. Section 6.12 – “Yards” of the Zoning Bylaw allowing specific projections into the front yard will also be applicable.

In 1991, Council responded to the public concerns with respect to the bulk and massing of the newer and larger homes that were built in the established neighbourhoods. Several text amendments to the Zoning Bylaw were made to address these concerns, including the requirement of a larger front yard where the average front yard depth of the two dwellings on either side of the subject site exceeds the required front yard applicable to the zone. The larger front yard requirement should be calculated through the “front yard averaging”. The intent of the amendment was to improve the consistency and harmony of the new construction with the existing neighbourhood.

To calculate the required front yard of the subject property (front yard averaging), the front yard of the two neighbouring properties immediately west of the subject site, at 7243 Broadway and 2322 Dorman Drive, and the two neighbouring properties immediately east of the subject site, at 7279 and 7291 Broadway, were calculated. These front yards are 24.6 ft. (the minimum front yard setback assumed for the vacant lot) and 24.6 ft. (the minimum front yard setback assumed for the vacant “panhandle” portion of the lot) for the properties to the west and 33.1 ft. and 306.0 ft. for the properties to the east, respectively. The neighbouring property at 7291 Broadway (second to the east) affects these calculations. The average of the neighbouring properties’ front yards is 97.4 ft.

The subject dwelling is proposed to be one storey in height. The proposed front yard of the subject property is measured to the central portion of the front elevation, which is the closest face of the building with respect to the front property line. The body of the dwelling would observe various setbacks from this central portion, up to 6.08 ft. at the southwest corner and up to 16.33 ft. at the southeast corner (open carport), resulting in a setback of at least 78.0 ft. and 84.0 ft., respectively, from these corners to the front property line.

It appears that the proposed front yard setback would have a little impact on the immediately adjacent neighbouring properties and the neighbouring context. The proposed siting would locate the subject dwelling 36.9 ft. behind the neighbouring dwelling to the east. The panhandle portion of the neighbouring lot to the west of the subject site and the neighbouring lot further west is currently undeveloped.

The proposed front yard has minimal impact on the existing streetscape as the neighbouring properties' front yards in the block vary significantly. In general, a number of residences observe a front yard setback in the 40.0 ft. range and fewer residences observe larger front yard setbacks, up to 306.0 ft. at the second lot to the east of the subject lot. Therefore, the proposed front yard setback for the subject dwelling would not be out of character for the existing neighbourhood streetscape.

In view of the above, this Department does not object to the granting of this variance.

#### ADJACENT OWNER'S COMMENTS

Form letters in support of the variance were received from the owners/residents at 7223, 7377, 7582, 7584 Broadway and 2322 Dorman Drive.

MOVED BY MR. NEMETH  
SECONDED BY MR. POUND

THAT based on the plans submitted this appeal be ALLOWED.

CARRIED UNANIMOUSLY

(c) **APPEAL NUMBER:** B.V. 6249

APPELLANT: Victoreric Design Group

REGISTERED OWNER OF PROPERTY: Ky Hoang and Toya Soo

CIVIC ADDRESS OF PROPERTY: 5105 Hardwick Street

LEGAL DESCRIPTION OF PROPERTY: Lot 104; DL 74; Plan NWP33374

APPEAL: An appeal for the relaxation of Sections 6.3.1 and 103.8 of the Burnaby Zoning Bylaw which, if permitted, would allow for the construction of a new single family home at 5105 Hardwick Street. The following variances were requested:

a) the distance between the principal building and a detached garage of 7.9 feet where a minimum distance of 14.8 feet is required; and,

b) the front yard setback of 24.03 feet where a minimum setback of 33.22 feet is required based on front yard averaging. (Zone R3)

APPELLANT'S SUBMISSION

Eric Lee, VictorEric Design Group, on behalf on the homeowners, submitted an application requesting a relaxation of the zoning bylaw to allow for construction of a new home.

Eric Lee and Ky Hoang appeared before members of the Board of Variance.

BURNABY PLANNING AND BUILDING DEPARTMENT COMMENTS

The subject site is located in the Douglas-Gilpin area, in a mature single family neighbourhood. The site is zoned R3 Residential District, which is intended to preserve the minimum density of development in mature single family areas. This interior lot measures approximately 54.9 ft. in width and 105.0 ft. in depth. The subject site fronts onto the north side of Hardwick Street. Single family dwellings abut the subject site to the west, east and across the lane to the north. Vehicular access to the subject site is proposed to be relocated from Hardwick Street to the rear lane. The site observes a downward slope of approximately 7.0 ft. in the southeast - northwest direction.

A new single family dwelling with a detached garage is proposed for the subject site, for which two variances have been requested.

The first a) appeal proposes the relaxation of Section 6.3.1 – “Distance between Buildings on the same Lot” of the Zoning Bylaw to allow the construction of a new single family dwelling and detached garage. The proposed distance between the detached garage and the principal building is 7.9 ft., where a minimum distance of 14.8 ft. is required.

The Bylaw requires a separation between buildings on the same lot to ensure that the overall massing of the buildings does not have a negative impact on the subject property and neighbouring properties, as well as to provide for sufficient outdoor living space.

The proposed 23.0 ft. wide by 19.42 ft. deep detached garage would be located in the northeast corner of the site, in the rear yard. The garage would observe a 3.94 ft. setback from the rear lane, which is the minimum setback required from the lane, and a 6.39 ft. setback from the east side property line, where a setback from the side lot line need not to be provided. The Bylaw permits a nil side yard setback when an accessory building is situated within the rear 29.53 ft. of the lot, and not less than 70.54 ft. from the street on which the principal building fronts. In this case, the accessory detached garage would be within the rear 25.23 ft. of the lot and 79.77 ft. away from Hardwick Street.

The principal dwelling, with an approximately 41.67 ft. wide by 49.86 ft. deep footprint, would be sited in the middle and slightly to the south of the lot. The footprint includes a 20.08 ft. wide and 7.54 ft. deep covered deck proposed at the northwest (rear) corner



of the dwelling. The building would observe side yard setbacks of 6.82 ft. (west) and 6.38 ft. (east), where the minimum side yard setback of 4.9 ft. is required for a principal building.

The distance between the two structures is measured from the south elevation of the accessory detached garage, to the post of the rear porch attached to the north elevation of the principal building. The detached garage would overlap the principal building with its full width. However, the length of the overlap where the separation between two structures is compromised, at the rear deck, would be only 1.67 ft. Otherwise; the distance between two structures would be 15.44 ft., which exceeds the required minimum (14.8 ft.). Given this relatively small overlap area, the reduced separation between the two structures would have few impacts on the interior of the dwelling. Further, considering that the compromised distance between the two structures would occur in the middle of the subject lot, rather than close to the side property lines, this relaxation would have little massing impact on adjacent properties to the west and east of the subject site.

With respect to outdoor living space, this appeal would not significantly reduce the green area available on this site. In addition to the outdoor living area, of approximately 400 sq. ft., remaining between the principal building and the detached garage, there would be a larger green area of approximately 800 sq. ft. available in the rear yard, to the west of the proposed detached garage. As such, the requested relaxation would have little impact on the occupants/users of the subject site.

In summary, considering the small scale and confined nature of the requested variance, this relaxation would not create negative massing impacts on the neighbouring sites and the subject site. Although there is some room for an adjustment with respect to the siting of the two structures in relation to the side yards, limited design options exist, considering in particular the shallow depth of the site.

In view of the above, this Department does not object to the granting of the first a) variance.

This second b) appeal proposes the relaxation of Section 103.8 – “Front Yard” of the Burnaby Zoning Bylaw from 33.22 ft. (based on front yard averaging) to 24.03 ft. The purpose of this variance is to allow construction of the proposed single family dwelling encroaching into the required front yard abutting the Hardwick Street. Section 6.12 – “Yards” of the Zoning Bylaw allowing specific projections into the front yard will also be applicable.

In 1991, Council responded to the public concerns with respect to the bulk and massing of the newer and larger homes that were built in the established neighbourhoods. Several text amendments to the Zoning Bylaw were made to address these concerns, including requirement of a larger front yard where the average front yard depth of the two dwellings on either side of the subject site exceeds the required front yard applicable to the zone. The larger front yard requirement should be

calculated through the “front yard averaging”. The intent of the amendment was to improve the consistency and harmony of the new construction with the existing neighbourhood.

To calculate the required front yard of the subject property (front yard averaging), the front yard of the two neighbouring properties immediately west of the subject site, at 5075 and 5085 Hardwick Street, and the two neighbouring properties immediately east of the subject site, at 5115 and 5125 Hardwick Street, were calculated. These front yards are 40.74 ft. and 47.79 ft. for the properties to the west and 24.08 ft. and 20.28 ft. for the properties to the east, respectively. The neighbouring properties’ average front yards, measured from the front property line to the outermost section of the building, is 33.22 ft.

The proposed front yard of the subject property is measured to the posts of the front porch of the proposed dwelling as 24.03 ft. The partly recessed porch would be located in the center of the front elevation. The main body of the dwelling would observe various setbacks from the front porch post, up to 7.00 ft. at the southwest corner (excluding a 10.0 ft. wide and 1.87 ft. deep bay window) and up to 1.22 ft. at the southeast corner (excluding a 9.0 ft. wide and 1.87 ft. deep bay window), resulting in a setback of 31.03 ft. and 25.25 ft., respectively, from these corners to the front property line. The upper floor would be further set back, by approximately 4.0 ft., at its southwest portion in relation to the front porch posts.

According to the proposed front yard, the proposed dwelling would be located essentially in line with the neighboring residence to the east, or 1.27 ft. behind, if the southeast corner of the dwelling is considered. With respect to the neighbouring dwelling to the west, the proposed dwelling would be 23.76 ft. in front of this neighbouring dwelling, or 16.76 ft., if the southwest corner of the dwelling is considered. However, considering the required front yard setback (33.22 ft.), the length of the front yard encroachment, if the southwest corner of the proposed dwelling is considered, would be only 2.19 ft. The western portion of the upper floor, which is proposed to be further set back on this side (4.0 ft.), would not encroach into the required front yard. Considering these various building setbacks, it appears that only a small portion of the proposed dwelling would directly affect the neighbouring property to the west.

Further, it is noted that the current dwelling on the subject site observes a front yard setback of approximately 22.0 ft., as measured to the carport attached in the front. Therefore, this proposal would not change the existing massing relation with the neighbouring sites with respect to the front yard setback.

With respect to the neighbourhood context, the proposed front yard has a minimal impact, as the neighbouring properties’ front yards in the block vary, from approximately the 40.0 ft. - 50.0 ft. range to the west of the subject site (nine lots out of eleven lots in total) to approximately the 20.0 ft. – 25.0 ft. range to the east of the subject site (six lots including the subject lot). Further, the proposed design provides

for transitioning between deeper front yards to the west and shallower front yards to the east of the subject site. Therefore, the proposed siting of the subject dwelling would fit within the existing streetscape.

In view of the above, this Department does not object the granting of this second b) variance.

#### ADJACENT OWNER'S COMMENTS

A letter was received from owners/occupants of 5125 Hardwick Street in opposition to the proposed variances.

No further submissions were received regarding this appeal.

MOVED BY MR. CLARK  
SECONDED BY MR. NEMETH

THAT based on the plans submitted part (a) of this appeal be ALLOWED.

CARRIED UNANIMOUSLY

MOVED BY MR. CLARK  
SECONDED BY MR. DHATT

THAT based on the plans submitted part (b) of this appeal be ALLOWED.

CARRIED UNANIMOUSLY

(d) **APPEAL NUMBER:** B.V. 6250

APPELLANT: Raffaele and Associates

REGISTERED OWNER OF PROPERTY: Mela Properties

CIVIC ADDRESS OF PROPERTY: 7774 Government Road

LEGAL DESCRIPTION OF PROPERTY: Lot 54; DL 42; Plan NWP26832

APPEAL: An appeal for the relaxation of Section 101.8 of the Burnaby Zoning Bylaw which, if permitted, would allow for the construction of a new single family home at 7774 Government Road. The front yard setback would be 43.81 feet where a minimum setback of 114.5 feet is required based on front yard averaging. (Zone R1)

A previous Board of Variance (BOV 6246, 2016 October 06) denied an appeal requesting the front yard setback of 29.53 feet.

Prior to the commencement of this appeal a 15 minute recess was requested to allow the Board members an opportunity to review a submission received prior to the hearing.

MOVED BY MR. POUND  
SECONDED BY MR. CLARK

THAT the Board of Variance Hearing recess until 7:00 p.m.

CARRIED UNANIMOUSLY

The Board of Variance recessed at 6:45 p.m.

MOVED BY MR. POUND  
SECONDED BY MR. CLARK

THAT the Board of Variance Hearing reconvenes.

CARRIED UNANIMOUSLY

The Board of Variance reconvened at 7:05 p.m.

#### APPELLANT'S SUBMISSION

Raffaele and Associates submitted an application, on behalf of the homeowners, requesting a relaxation of the zoning bylaw to allow for construction of a new home.

Mayumi Hasegawa and Trevor Toy, Raffaele and Associates, and homeowners appeared before members of the Board of Variance.

#### BURNABY PLANNING AND BUILDING DEPARTMENT COMMENTS

This property was the subject of an appeal before the Board on 2016 October 06 (BV 6246). A variance was sought to allow for the construction of a new single family dwelling, with a secondary suite and an attached garage, observing a front yard setback of 29.53 ft. where a minimum front yard setback of 114.5 ft. (based on front yard averaging) is required at the Government Road frontage. The appeal was denied by the Board of Variance.

Subsequently, in response to the concerns raised by the neighbours at the hearing, the applicant has revised the proposal. The revised proposal relocates the principal building 14.28 ft. further away from the front property line, which results in the 43.81 ft. front yard setback. The relocation of the proposed dwelling to the rear of the lot is achieved by "slicing off" a portion of the southwest corner of the dwelling, in order to accommodate the angled portion of the environmental setback required along the west

side property line, which results in approximately the 146.7 sq. ft. reduction in gross floor area. Further, the overall building depth is proposed to be reduced from 60.0 ft. to 54.83 ft., by decreasing the front porch depth (from 6.83 ft. to 4.0 ft.) and by eliminating the rear patio roof cover (2.33 ft. deep). Finally, the concrete stair access to the cellar and the slightly raised concrete patio (approximately 9.0 ft. deep) to the rear of the dwelling, which were indicated in the previous appeal, are no longer proposed.

The revised front yard setback is an improvement to the previously proposed setback. Therefore, this Department's comments remain similar to the comments provided for the 2016 October 06 appeal.

As a reminder, the subject site, zoned R1 Residential District, is located in the Government Road neighbourhood in which the age and condition of single family dwellings vary. This interior lot, approximately 100.0 ft. wide and 155.09 ft. deep, fronts onto Government Road to the north. The subject site abuts single family residential lots to the east and south and further west. Vehicular access to the subject site is proposed to be retained from Government Road; there is no lane access. The subject property observes a downward slope of approximately 11.2 ft. from the northeast corner to the southwest corner, which contains the Eagle Creek ravine.

Eagle Creek, a Class A fish bearing stream, runs in close vicinity to the southwest (rear) portion of the subject site. As such, this proposal is subject to the Streamside Protection and Enhancement Area (SPEA) regulation provided in Section 6.23 of the Zoning Bylaw. This bylaw reflects the City's long standing policies for protecting the environment and protecting and enhancing open streams and fish habitat in the City. For this segment of Eagle Creek, in relation to the subject lot, a 30 meter SPEA, measured from the top of bank, is required. In cases where the full Bylaw-required SPEA makes development of the lot unfeasible, an application to vary the SPEA can be made to the Environmental Review Committee (ERC). The ERC makes recommendations to the Director of Planning and Building who has the authority to vary the boundaries of the SPEA. Any variance must also ensure compliance with federal and provincial regulations for fish habitat.

In April 2016, the Environmental Review Committee (ERC) supported the application to vary the SPEA from 98.4 ft. (30.0 m) to a variable setback, ranging from 49.2 ft. (15.0 m) to 75.5 ft. (23.0 m) consistent with the "SPEA Protection Zone" at the southwest (rear) portion of the subject site. The width of the variable setback was determined by a Qualified Environmental Professional (QEP) and is the minimum distance possible for this reach of Eagle Creek to also ensure compliance with provincial regulations. The requested variance was approved by the ERC/Director, subject to the following conditions: 1) permanent fencing and enhancement of the SPEA with native plantings, 2) provision of a 26.3 ft. (8.0 m) meter wide space for formal rear yard, measured from the south boundary of the "potential development area" (since the SPEA is no longer available for typical rear yard uses) and 3) registration of a restrictive covenant protecting the SPEA and formal rear yard.

The registration of the covenant is now in progress. In addition, a Greater Vancouver Sewerage and Drainage District (GVS&DD) easement, which generally follows the creek alignment, occupies the southwest corner of the subject lot.

Location of the above mentioned covenants and easement would result in an approximately 55.82 ft. (17.01 m) deep “no built” zone along the rear property line which would significantly restrict the developable area within the property. In this context and considering the required averaged front yard (114.5 ft.), no developable area would be available on the subject site.

This appeal proposes the relaxation of Section 101.8 – “Front Yard” of the Burnaby Zoning Bylaw from 114.5 ft. (based on front yard averaging) to 43.81 ft. The purpose of this variance is to allow the construction of a single family dwelling encroaching into the required front yard abutting the Government Road. Section 6.12 – “Yards” of the Zoning Bylaw allowing specific projections into the front yard will also be applicable.

In 1991, Council responded to the public concerns with respect to the bulk and massing of the newer and larger homes that were built in the established neighbourhoods. Several text amendments to the Zoning Bylaw were made to address these concerns, including requirement of a larger front yard where the average front yard depth of the two dwellings on either side of the subject site exceeds the required front yard applicable to the zone. The larger front yard requirement should be calculated through the “front yard averaging”. The intent of the amendment was to improve the consistency and harmony of the new construction with the existing neighbourhood.

To calculate the required front yard of the subject property (front yard averaging), the front yard of the two neighbouring properties immediately west of the subject site, at 7732 and 7750 Government Road, and the two neighbouring properties immediately east of the subject site, at 7798 and 7814 Government Road, were calculated. These front yards are 179.6 ft. and 137.0 ft. for the properties to the west and 73.8 ft. and 67.6 ft. for the properties to the east, respectively. All four neighbouring properties affect these calculations, particularly the two lots immediately west of the subject site, which are approximately 307.0 ft. deep (the two lots immediately east of the subject site are approximately 230.0 ft. deep). The neighbouring properties’ average front yards, measured from the front property line to the outermost section of the building (none of the buildings has a front porch), calculated as 114.5 ft.

The proposed new front yard of the subject property is measured to the posts of the front porch of the proposed dwelling as 43.81 ft. The porch, which measures 19.18 ft. wide and 4.0 ft. deep (reduced), would be located off center to the east of the front elevation. The main body of the dwelling would observe various setbacks from the front porch post, up to 8.0 ft. at the northeast corner and up to 12.0 ft. at the northwest corner, resulting in a setback of 51.81 ft. and 55.81 ft., respectively, from these corners to the front property line. The upper floor would be generally aligned with the main floor at the front.

According to the new proposed front yard, the proposed dwelling will be located 29.99 ft. further to the north compared to the detached garage on the neighbouring property to the east. This property was recently redeveloped, following a successful appeal to the Board of Variance in August 2011 (BV 5922) with respect to the front yard setback and height of the accessory building (detached garage). According to the Building Permit drawings (BLD 11-01085) the principal building at this property observes a front yard setback of 111.56 ft. Therefore, considering the proposed new front yard setback (43.81 ft.) and the proposed new dwelling depth of 54.83 ft., including the front porch, there would be no direct overlap between the two dwellings. The existing dwelling on the subject site partly overlapped the neighbouring residence to the east (the existing dwelling on the subject site, which is now demolished, observed a front yard setback of 83.8 ft.). Further, since the proposed dwelling features a limited amount of windows at the upper level facing east toward the neighbouring property, the proposed front yard would have minimal impacts on the neighbouring residence to the east. At the hearing however, a concern was raised by the owner of this property with respect to the views from their upper floor balcony, located at the northeast portion of the front (north) elevation. According to the Building Permit drawings (BLD 11-01085) this balcony is located approximately 28.0 ft. away from the shared (west) property line. This generous distance and the additional 9.42 ft. of the side yard setback proposed at the northeast corner of the subject dwelling, would help moderate massing impacts created by the proposed reduced front yard setback.

With respect to the neighbouring property to the west, considering the location of the neighbouring residence at the rear of the property, as well as a complete visual separation provided by the mature greenery of the Eagle Creek tributary area between the two properties, this proposal would have minimal impact on the neighbouring residence to the west.

The proposed front yard has minimal impact on the neighbourhood context, as the neighbouring properties' front yard in the block vary significantly, ranging from approximately 14.8 ft. (third property west of the subject lot) to 179.6 ft. (second property west of the subject lot). Considering the neighbouring block directly opposite the subject area, the neighbouring properties observe generally unified front yard setback in the 80.0 – 85.0 ft. range, with the exception to the two properties at 7709 and 7731 Government Road. Eagle Creek runs through the rear portion of the property at 7709 Government Road (which is a trapezoid shaped lot, approximately 130.0 ft. deep, on average) and through the front portion of the property at 7731 Government Road (which is an irregular lot, approximately 200.0 ft. deep). As a result, there is approximately a 60.0 ft. difference in the depth of these two properties' front yards (these front yards are approximately 38.0 ft. and 98.0 ft., respectively). In this context, the proposed siting of the subject dwelling would not be out of ordinary within the existing streetscape.

Moreover, given the presence of the stream setback and sewer easement on the subject site, the transitioning of the front yard setback forward is suitable for the subject site.

For all of the reasons stated above, as well as considering the efforts made by the applicant to address the comments from the neighbour to the west, this Department does not object to the granting of this variance.

#### ADJACENT OWNER'S COMMENTS

A submission was received on behalf of the owners/occupants of 7798 Government Road in opposition to the proposed variance. The submission advised that the front yard setback variance would affect the use and enjoyment of their home, as well as adversely impacting the area.

The submission also included a letter from the owners/residents of 7798 Government Road citing that the front yard variance would obstruct sunlight into the entrance of their home and create a view of the rear of the proposed home from the balcony of 7798 Government Road. The owners/residents also stated that the proposed plan would devalue properties in the surrounding area.

As part of the submission, form letters in opposition to the front yard variance were included. Letters were received from owners/residents at 7709, 7755, 7785, 7798, 7959, 7969 and 8017 Government Road.

A letter from the owners/residents of 7731 Government Road was received as part of the submission package advising that they are not formally opposed to the variance as they are not directly affected by it, but they supported the concerns voiced by the owners/residents of 7798 Government Road.

Letters in support of the variance were received from 7468, 7478, 7508, 7732, 7750 and 7775 Government Road.

Letters were received both in support and opposition from owners/residents at 7765 Government Road.

The owner/occupant of 2948 Phillips Avenue, appeared before the Board of Variance advising that he is a member of the Burnaby Streamkeepers. The speaker requested that the Streamside Protection and Enhancement Area be maintained on Eagle Creek and that the Burnaby Streamkeepers are ensured access to the creek.

A representative and the owner/occupant for 7798 Government Road appeared in opposition to the appeal advising that the variance would adversely affect the use and enjoyment of their home.

No further submissions were received regarding this appeal.



MOVED BY MR. CLARK  
SECONDED BY MR. NEMETH

THAT based on the plans submitted this appeal be DENIED.

CARRIED

OPPOSED: Mr. Pound  
 Mr. Dhatt

4. **NEW BUSINESS**

No items of new business were brought forward at this time.

5. **ADJOURNMENT**

MOVED BY MR. NEMETH  
SECONDED BY MR. CLARK

THAT this Hearing do now adjourn.

CARRIED UNANIMOUSLY

The Hearing adjourned at 8:13 p.m.

\_\_\_\_\_  
 Ms. C. Richter

\_\_\_\_\_  
 Mr. G. Clark

\_\_\_\_\_  
 Mr. R. Dhatt

\_\_\_\_\_  
 Mr. S. Nemeth

\_\_\_\_\_  
 Ms. E. Prior  
 ADMINISTRATIVE OFFICER

\_\_\_\_\_  
 Mr. B. Pound



# Board of Variance Appeal Application Form

## OFFICE OF THE CITY CLERK

Burnaby City Hall, 4949 Canada Way, Burnaby BC, V5G 1M2, Phone: 604-294-7290 Email: clerks@burnaby.ca

### Applicant

Name of Applicant Chloe Lee

Mailing Address 3-2231 Viking Way, Richmond B.C.

City/Town Richmond Postal Code V6V 1W1

Phone Number(s) (H) \_\_\_\_\_ (C) 778-316-9516

Email Chloelee.bonhouse@gmail.com

Preferred method of contact: ☒ email ☒ phone ☐ mail

### Property

Name of Owner Bin Liu

Civic Address of Property 7416 17th Ave. Burnaby. B.C.  
LOT 3 DL30 PLAN 3036

I hereby declare that the information submitted in support of this application is, to the best of my knowledge, true and correct in all aspects, and further that my plans have no conflict with municipal bylaws other than those applied for with in this application.

11/08/2016  
Date

[Signature]  
Applicant Signature

### Office Use Only

Appeal Date 2016 December 01 Appeal Number BV# 6251

#### Required Documents:

- ☐ Hardship Letter from Applicant
- ☐ Site Plan of Subject Property
- ☐ Building Department Referral Letter

**Any documents submitted in support of this Board of  
Variance Appeal will be made available to the Public**

## **Application for Zoning Variance**

**October 31, 2016**

**Board of Variance**

**City of Burnaby**

**RE: Civic Address of Property: 7416 17<sup>th</sup> Avenue, Burnaby, BC**

**Registered Owner of Property: Bin Liu**

**Legal Description of Property: Lot 3, Block 39 D.L. 30 Group 1, N.W.D. Plan 3036**

**Dear Sir or Madam:**

I am applying for a new Single Family Dwelling Building Permit for the subject property which has a limited lot depth of 60.91'. Based on current Zoning (R5) bylaw, the permitted building depth is 16'6". The attached Garage should be approached from the rear Lane hence the current location and orientation of the Garage is the only appropriate option for this lot. **The depth of the Garage will be restricted to 16'6" which does not meet the requirement of the minimum (length) dimension of off-street parking space.** Therefore, I am applying for a variance to allow the Garage located in basement to encroach 4'0 into the Rear Yard to have sufficient length of parking space.

**Yours Truly,**

**Tony Li**

*Designer*

**Bouthouse Design Group Inc.**


**BOARD OF VARIANCE REFERRAL LETTER**

<b>DATE:</b> Nov 2, 2016	<b>DEADLINE:</b> Nov 8, 2016 for the Dec 1, 2016 hearing		<i>This is <u>not</u> an application. Please take letter to Board of Variance. (Clerk's office - Ground Floor)</i>
<b>NAME OF APPLICANT:</b> Bin Liu			
<b>ADDRESS OF APPLICANT:</b> 7416 17 <sup>th</sup> Avenue			
<b>TELEPHONE:</b> 778-862-3311			
<b>PROJECT</b>			
<b>DESCRIPTION:</b> New Single Family Dwelling w/ Attached Garage			
<b>ADDRESS:</b> 7416 17 <sup>th</sup> Avenue			
<b>LEGAL:</b>	<b>LOT:</b> 3	<b>DL:</b> 30	<b>PLAN:</b> NWP3036

The above mentioned application, which includes the attached plan of the proposal, has been refused by the Building Department on the basis of contravention of:

**Zone/Section(s) R5 [105.11]**  
of the Burnaby Zoning Bylaw No. 4742

**COMMENTS:**

The applicant is proposing to build a new single family dwelling. The following relaxation is being requested.

- 1) "To vary Section 105.11- "Rear Yard" of the Zoning Bylaw from 24.6 ft. to 20.71 ft. All projections into the proposed rear yard will conform to the requirements of Section 6.12.

The purpose of this variance is to allow construction of the proposed single family dwelling with an attached garage to encroach into the required rear yard."

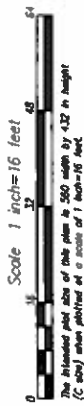
*Note: The applicant recognizes that should the project contain additional characteristics in contravention of the zoning by-law a future appeal(s) may be required.*

MS

Peter Kushnir  
Deputy Chief Building Inspector

TOPOGRAPHICAL PLAN OF LOT 3 BLOCK 39 DISTRICT LOT 30  
GROUP 1 NEW WESTMINSTER DISTRICT PLAN 3036

RD: 002-612-403  
City Address: 7416 17th Avenue,  
City of Burnaby



All Distances and Elevations Are in Feet and Decimals Thereof Unless Otherwise Stated.

Note: Trees pursuant to by law for 1996 are shown

BLD 16-01113

Legend:

- - Standard Iron Post
- - Lead Plug
- ⊗ - Water Valve
- ⊕ - Tree (diameter in mm 2500 Count and Species)
- ⊞ - Catch Basin (Square)
- ⊙ - Manhole
- ⊕ - Inspection Chamber
- ⊖ - Power Pole

Boundaries, Notes:  
Elevations are Referenced to Geodetic Datum and are determined by CHSS observation.

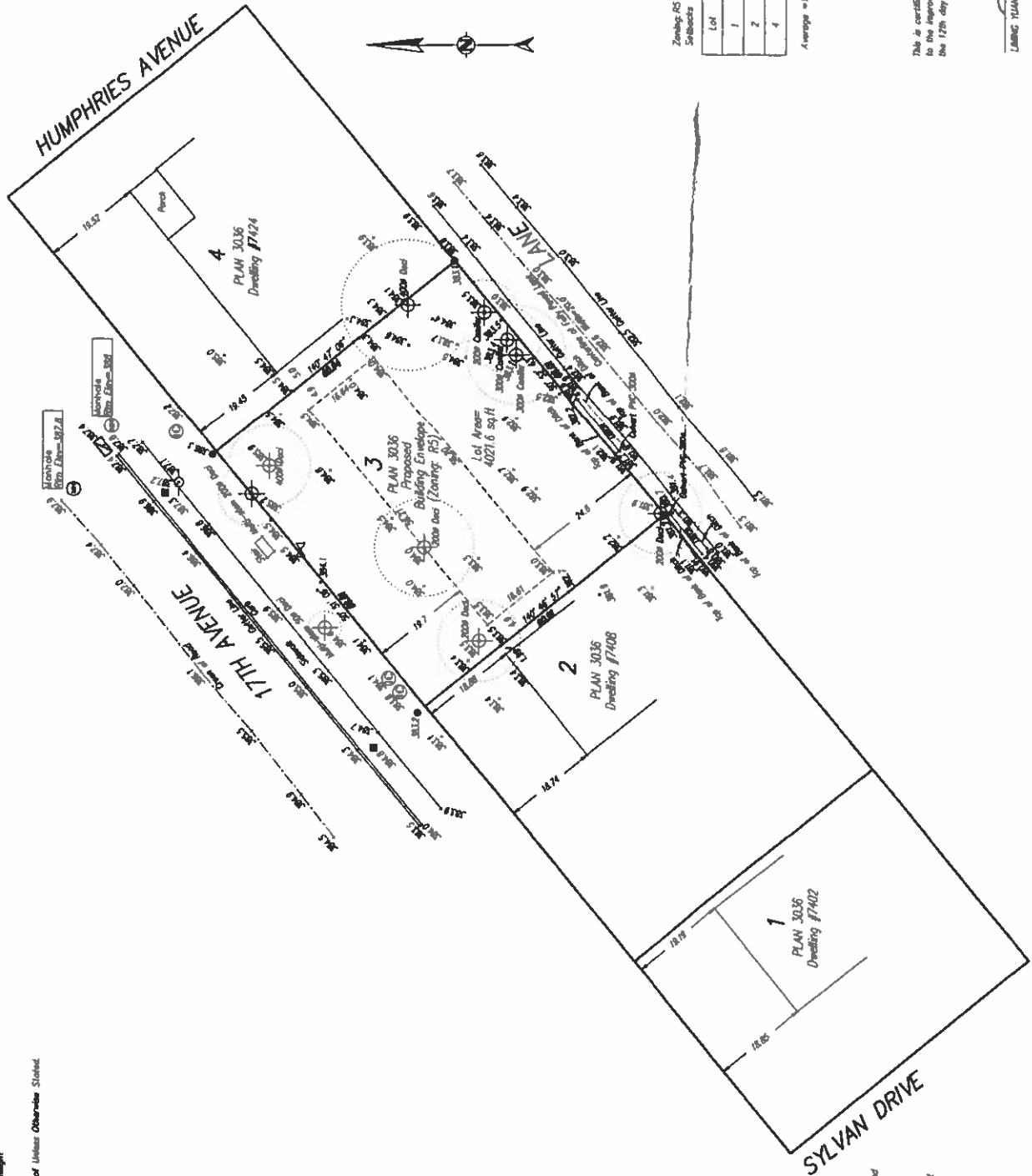
Grid bearings are derived from observations between geodetic control monuments  $\pi\pi\pi\pi\pi$  and  $\pi\pi\pi\pi\pi$ .

Notes:

Information shown hereon is for municipal purposes only and is for the exclusive use of the owner.

All rights reserved. No person may copy, reproduce, transmit, offer, distribute, or store copies of this document in whole or in part without the prior written consent of the undersigned.

Building envelope shown is only approximate. For interpretation of City Building Bylaws please consult Planning Department for final building envelope when required.



Zoning: RS  
Subdivided

Lot	Front	Address
1	18.65	7402
2	18.74	7408
4	19.45	7424

Average = 18.01

This is certified correct and is valid only with respect to the improvements as shown hereon and located on the 12th day of April, 2009.

LAUREN TUNN  
B.C.L.S. #889  
This Document is Not Valid Unless  
Originally Signed And Sealed



THE PLANS ARE TO BE CONSIDERED AS A GUIDE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE ACCURACY OF THE INFORMATION PROVIDED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE STRUCTURE AND FOR THE DESIGN OF THE FOUNDATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE ROADSIDE AND FOR THE DESIGN OF THE LANDSCAPE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE UTILITIES AND FOR THE DESIGN OF THE ELECTRICAL SYSTEM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE MECHANICAL SYSTEM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE PLUMBING SYSTEM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE PAINTING AND FINISHES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE INTERIORS AND FOR THE DESIGN OF THE EXTERIORS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE FURNITURE AND FOR THE DESIGN OF THE FIXTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE LIGHTING AND FOR THE DESIGN OF THE SOUNDING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE HEATING AND FOR THE DESIGN OF THE COOLING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE VENTILATION AND FOR THE DESIGN OF THE INSULATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE ROOFING AND FOR THE DESIGN OF THE CLADDING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE WINDOWS AND FOR THE DESIGN OF THE DOORS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE STAIRS AND FOR THE DESIGN OF THE ELEVATORS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE LIFTWAYS AND FOR THE DESIGN OF THE ESCAPE ROUTES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE FIRE PROTECTION AND FOR THE DESIGN OF THE SECURITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE ACCESSIBILITY AND FOR THE DESIGN OF THE PARKING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE SIGNAGE AND FOR THE DESIGN OF THE LANDSCAPE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE UTILITIES AND FOR THE DESIGN OF THE ELECTRICAL SYSTEM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE MECHANICAL SYSTEM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE PLUMBING SYSTEM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE PAINTING AND FINISHES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE INTERIORS AND FOR THE DESIGN OF THE EXTERIORS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE FURNITURE AND FOR THE DESIGN OF THE FIXTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE LIGHTING AND FOR THE DESIGN OF THE SOUNDING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE HEATING AND FOR THE DESIGN OF THE COOLING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE VENTILATION AND FOR THE DESIGN OF THE INSULATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE ROOFING AND FOR THE DESIGN OF THE CLADDING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE WINDOWS AND FOR THE DESIGN OF THE DOORS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE STAIRS AND FOR THE DESIGN OF THE ELEVATORS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE LIFTWAYS AND FOR THE DESIGN OF THE ESCAPE ROUTES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE FIRE PROTECTION AND FOR THE DESIGN OF THE SECURITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE ACCESSIBILITY AND FOR THE DESIGN OF THE PARKING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE SIGNAGE AND FOR THE DESIGN OF THE LANDSCAPE.

ISSUED FOR BP

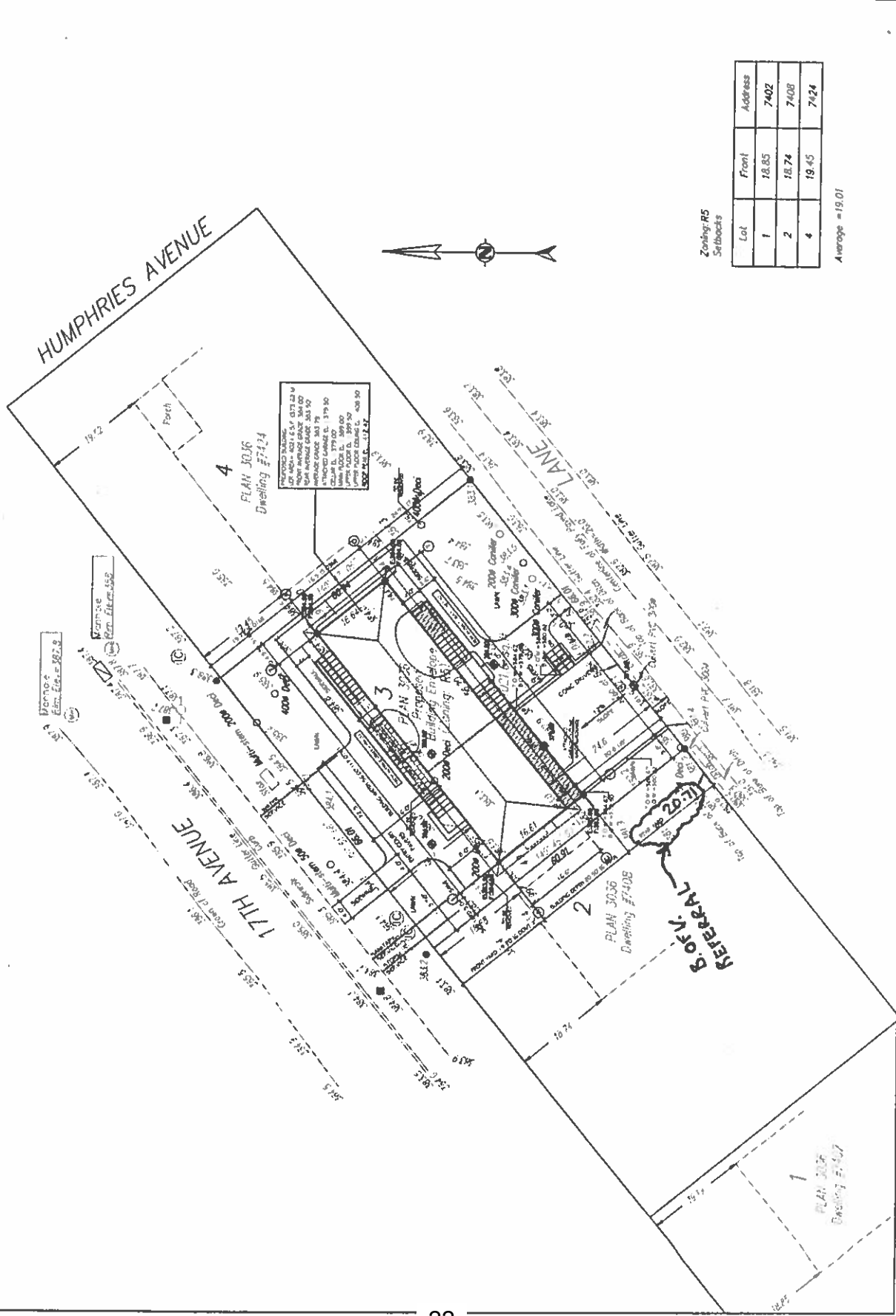
BoutHouse Design Group Inc.

Project Name  
7416  
17TH AVE.  
BURNABY  
B.C.

Sheet Name  
SITE PLAN

Scale  
1" = 10'

North Arrow

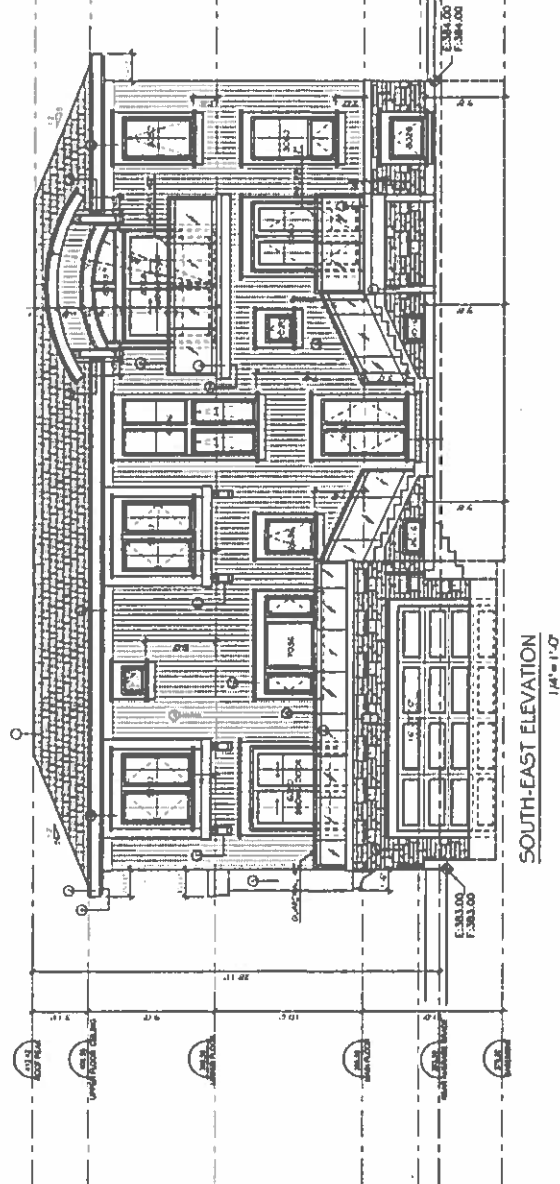
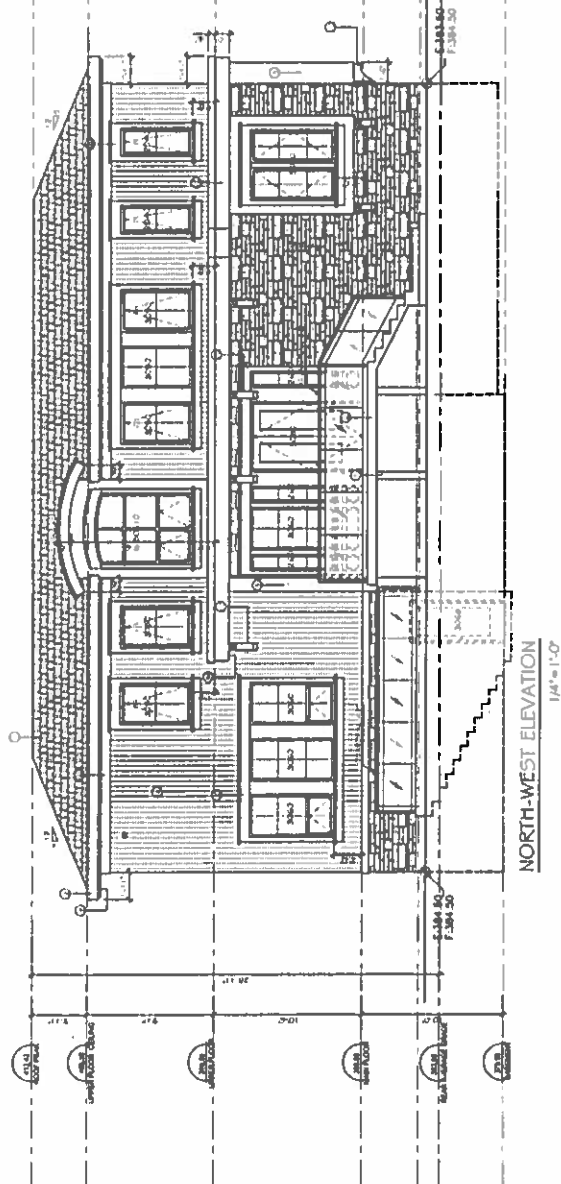


Zoning: R5  
Setbacks

Lot	Front	Address
1	18.35	7402
2	18.74	7408
4	18.45	7404

Average = 19.01

EXTERIOR FINISH	
REF	MATERIAL
1	ASPHALT SHINGLE ROOFING
2	PACK PAINTED
3	STONE VENEER
4	VERTICAL CEDAR CLADDING
5	STUCCO
6	WOOD TRIM & ORNAMENTS PAINTED
7	WOOD POST & ORNAMENTS PAINTED
8	METAL GLASS RAILING
9	CEDAR V-JOINT SMOOTH
10	BRACKET



2011年12月31日  
 2011年12月31日

[illegible][illegible]

ISSUED FOR BP

**BoutHouse  
Design Group Inc**  
2001 Venable Way  
PO BOX 10000, SE 15th St  
Miami, FL 33156  
Tel: 772-337-6881  
Mobile: 305-366-0000

**Project Name**  
7416  
17TH AVE.  
BURNABY  
B.C.

Sheet Name  
NORTH-W ELEVATIO  
SOUTH-E ELEVATIO

A4

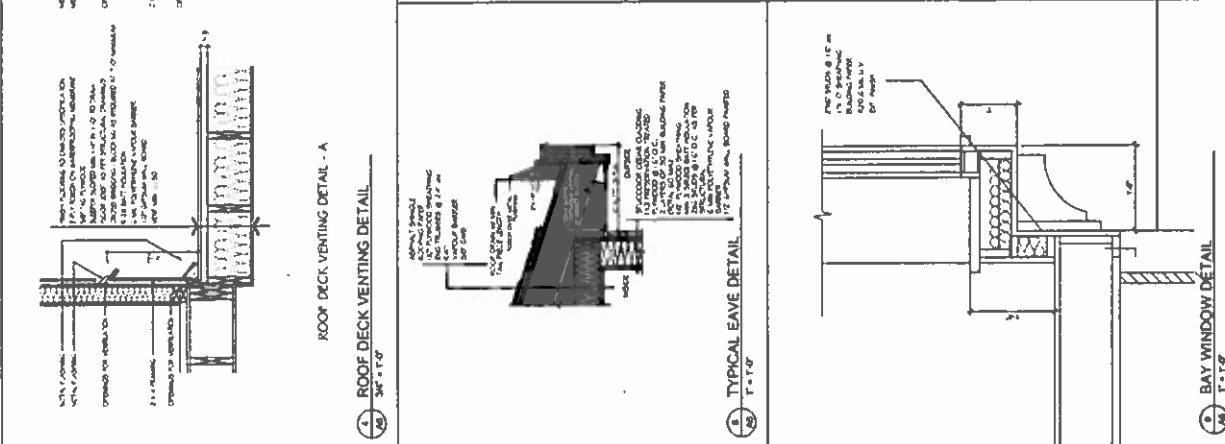
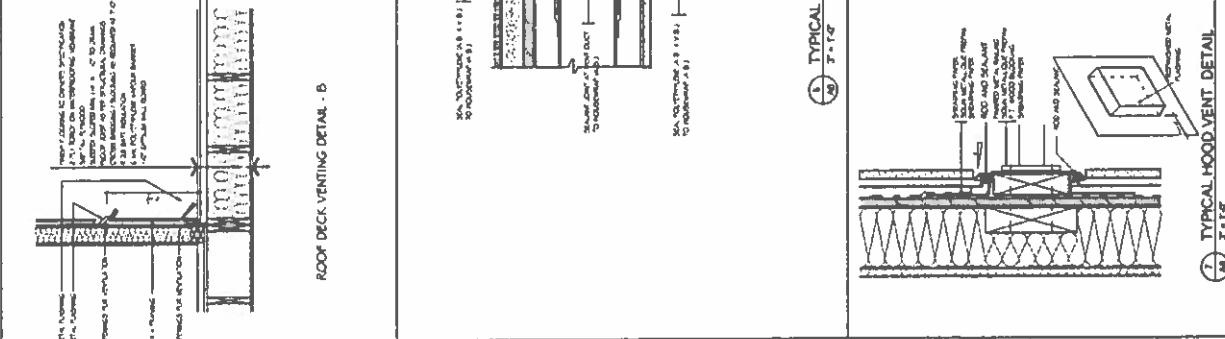
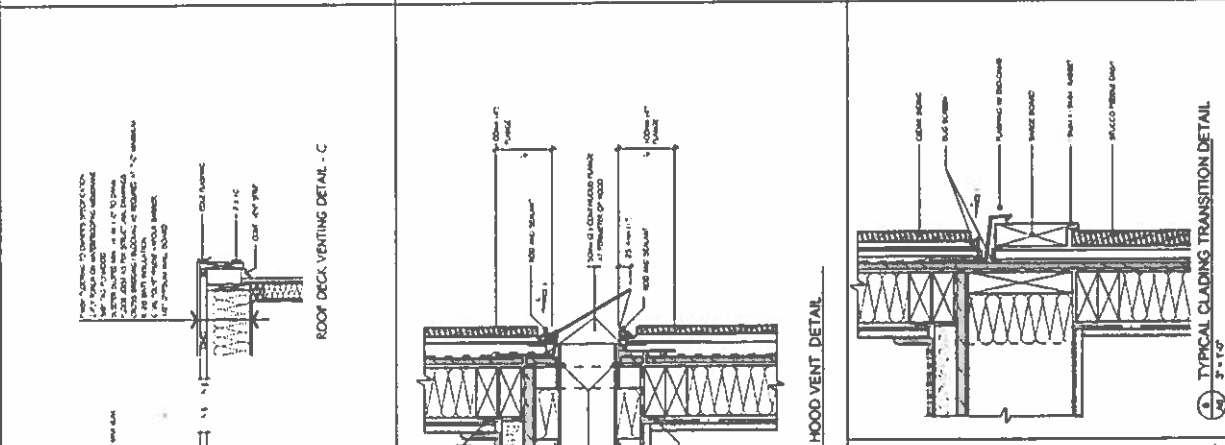
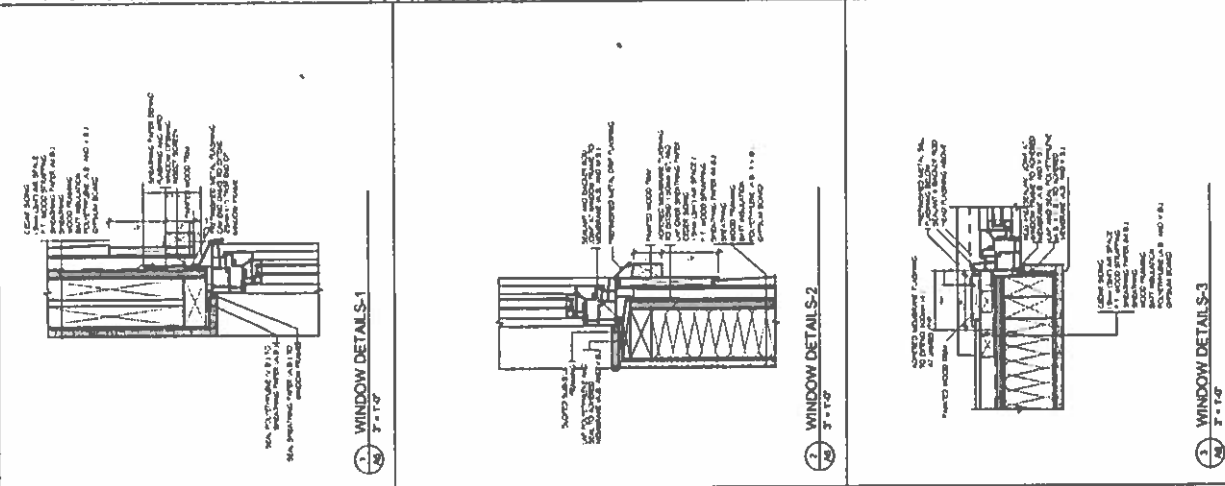
Year	Value
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1991	1.00
1992	1.00
1993	1.00
1994	1.00
1995	1.00
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2099	1.00
2100	1.00

**3.(a)**





<p>THIS PLAN IS IN COMPLIANCE WITH THE BUILDING CODES AND THE GENERAL CONTRACT OF THE CITY OF BURNABY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE BUILDING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE BUILDING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE BUILDING.</p>	<p>ISSUED FOR BP</p>	<p>Bouthouse Design Group Inc</p> <p>7416 17TH AVE. BURNABY B.C.</p> <p>DETAILS</p> <p>7416 17TH AVE. BURNABY B.C.</p> <p>7416 17TH AVE. BURNABY B.C.</p>
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# Board of Variance Appeal Application Form

## OFFICE OF THE CITY CLERK

Burnaby City Hall, 4949 Canada Way, Burnaby BC, V5G 1M2, Phone: 604-294-7290 Email: clerks@burnaby.ca

### Applicant

Name of Applicant GURDEEP SANDHAR  
 Mailing Address 11751 MELLIS DR  
 City/Town RICHMOND Postal Code V6X 1C9  
 Phone Number(s) (H) \_\_\_\_\_ (C) 604 512 6854  
 Email GURDEEP.SANDHAR12@GMAIL.COM  
 Preferred method of contact: ☒ email ☒ phone ☐ mail

### Property

Name of Owner MANJIT MALHI/SARABJIT LEHAL/AMANJIT LEHAL/ANITA SANDHAR  
 Civic Address of Property LOT 2 DL157 PLAN NWP12963  
LD 36 GROUP 1 4467 MAINE DR.

I hereby declare that the information submitted in support of this application is, to the best of my knowledge, true and correct in all aspects, and further that my plans have no conflict with municipal bylaws other than those applied for with in this application.

NOV 8, 2016  
 Date

[Signature]  
 Applicant Signature

### Office Use Only

Appeal Date 2016 December 01 Appeal Number BV# 6252

#### Required Documents:

- ☐ Hardship Letter from Applicant
- ☐ Site Plan of Subject Property
- ☐ Building Department Referral Letter

Any documents submitted in support of this Board of  
 Variance Appeal will be made available to the Public

October 31, 2016

Gurdeep Sandhar  
11751 Mellis Drive,  
Richmond, BC V6X1L9

Attention: Board of Variance Appeal – Hardship Letter

Re: Address **4467 Marine Drive, Burnaby**

We are requesting a relaxation to the **Front Yard Averaging - Zoning Bylaw** for the construction of a new home on Lot 2 - 4467 Marine Dr. with a setback of 81.56 feet.

The property next door Lot 3 - 4479 Marine Dr was built in 1953 and has a setback of 130.82 feet, this setback is causing unreasonable hardship. Lot 4 - 4491 Marine Dr was built in 2011, has a setback of 90.33 with the garage/driveway access off of Marine Dr.

Our surveyor gave us two option on the Topographic Survey Plan for the calculation of the Front Yard Averaging. We would like to omit Lot 3 from the front yard averaging calculation and use option A with a setback of 81.56 feet.

Option A, allows us to construct a home with a detached garage/driveway accessed from the back lane, the home will be aligned with the adjacent properties. There will be no driveway access off of Marine Dr.

Thank you for your consideration and understanding in this matter.



Gurdeep Sandhar






**BOARD OF VARIANCE REFERRAL LETTER**

<b>DATE:</b> Nov. 2, 2016	<b>DEADLINE:</b> Nov. 8, 2016 for the Dec. 1, 2016 hearing		<i>This is <u>not</u> an application. Please take letter to Board of Variance. (Clerk's office - Ground Floor)</i>
<b>NAME OF APPLICANT:</b> Gurdeep Sandhar			
<b>ADDRESS OF APPLICANT:</b> 11751 Mellis Drive Richmond			
<b>TELEPHONE:</b> 604.512.6854			
<b>PROJECT</b>			
<b>DESCRIPTION:</b> New Single Family Dwelling w/ Secondary Suite & Attached Garage			
<b>ADDRESS:</b> 4467 Marine Drive			
<b>LEGAL:</b>	<b>LOT:</b> 2	<b>DL:</b> 157	<b>PLAN:</b> NWP12963

The above mentioned application, which includes the attached plan of the proposal, has been refused by the Building Department on the basis of contravention of:

**Zone/Section(s) R2 [102.8(1)]**  
of the Burnaby Zoning Bylaw No. 4742

**COMMENTS:**

The applicant is proposing to build a new single family dwelling. The following relaxation is being requested.

- 1) Under Section 102.8 of the Burnaby Zoning Bylaw the depth of the front yard is required to be 93.87 feet (based on front yard averaging). A front yard depth of 81.56 feet is proposed.

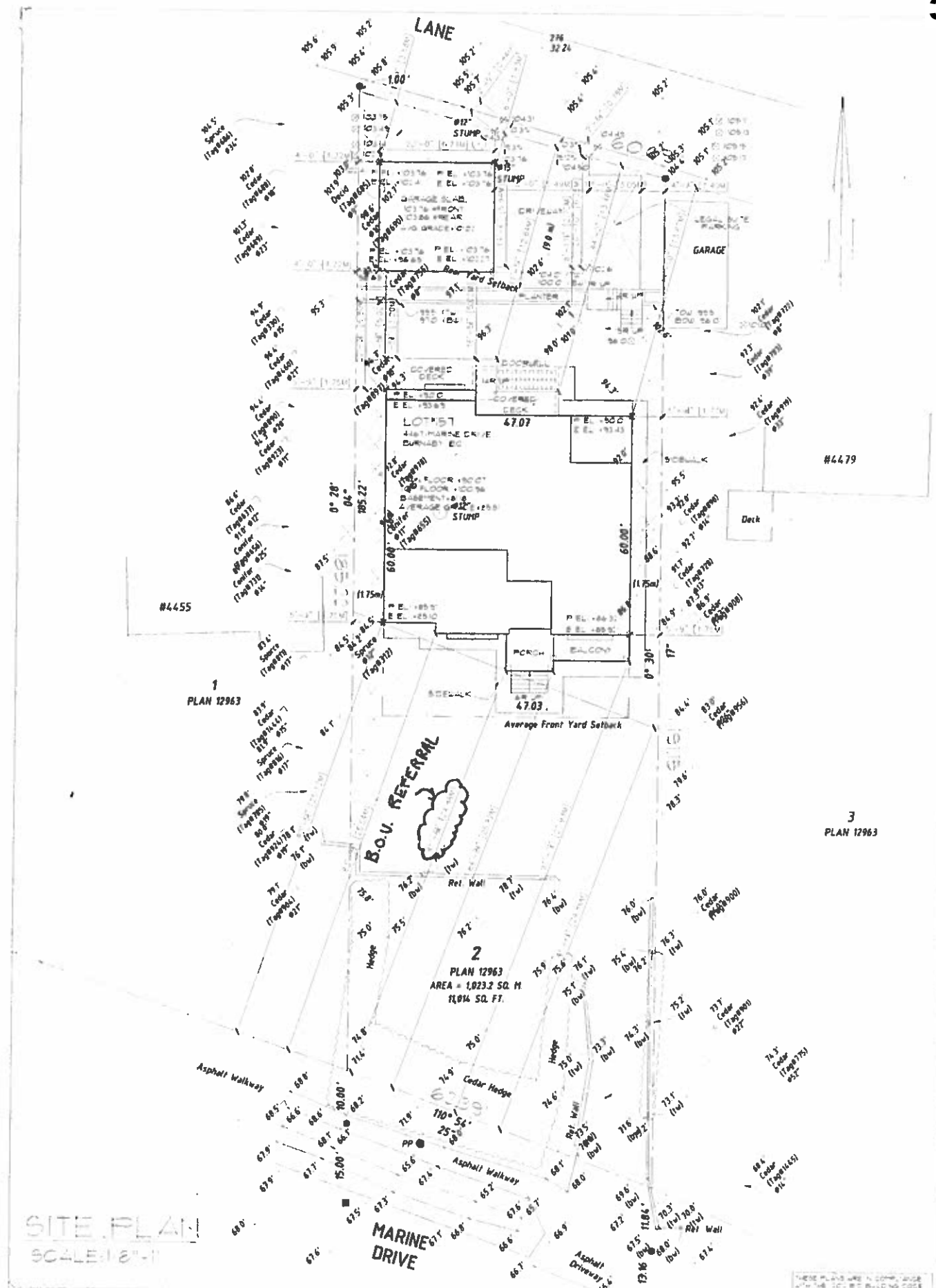
All projections into the proposed front yard will conform to the requirements of Section 6.12.

This variance is being requested in order to allow construction of the single family dwelling and its front porch within the required front yard.

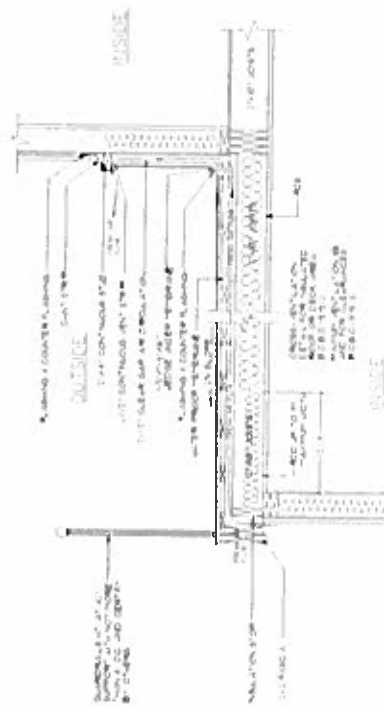
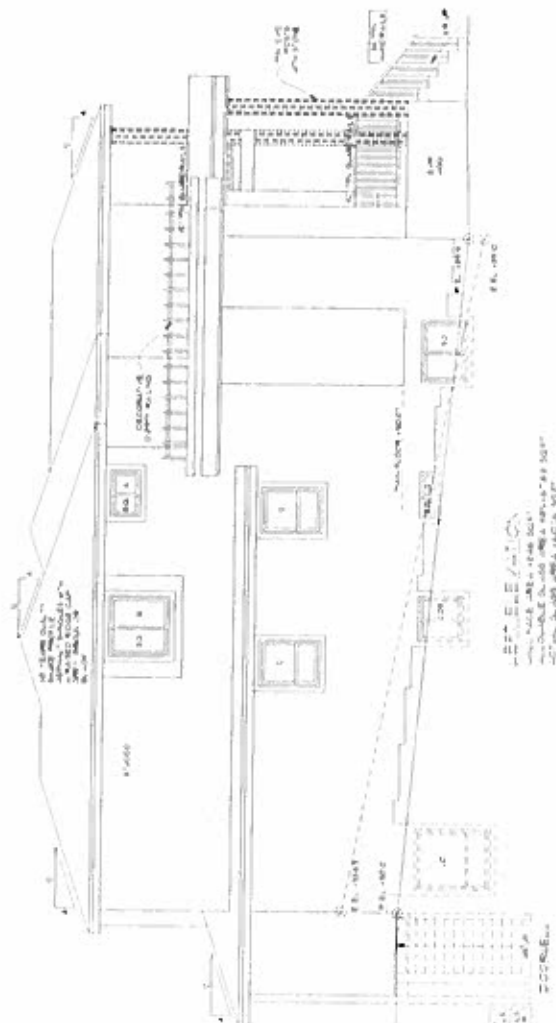
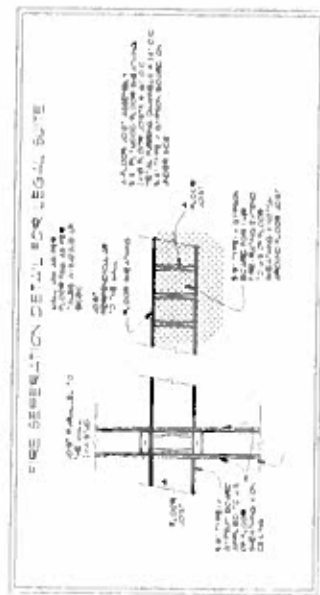
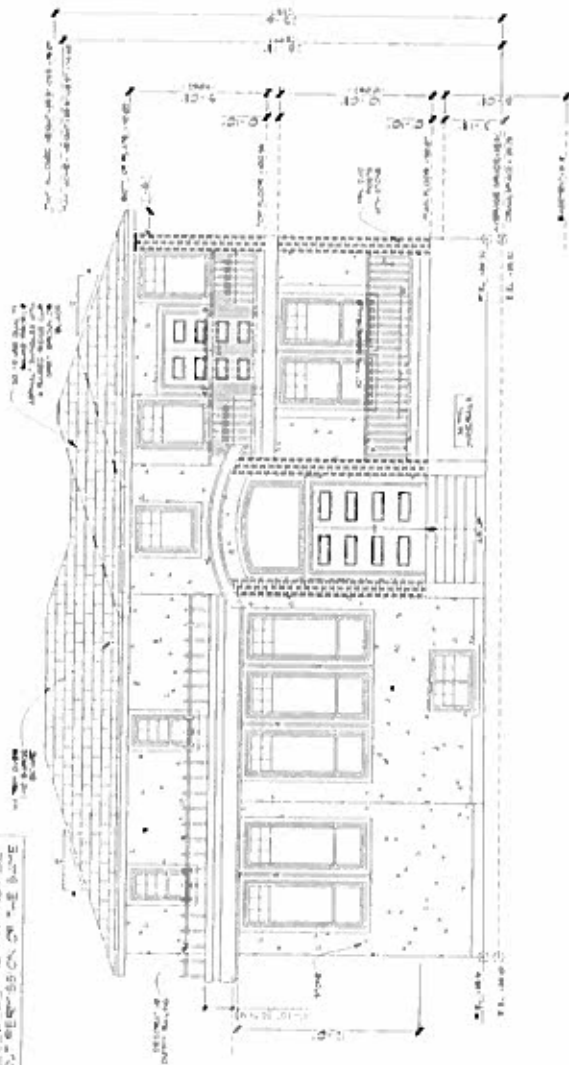
*Note: The applicant recognizes that should the project contain additional characteristics in contravention of the zoning by-law a future appeal(s) may be required.*

MS

Peter Kushnir  
Deputy Chief Building Inspector

[illegible]



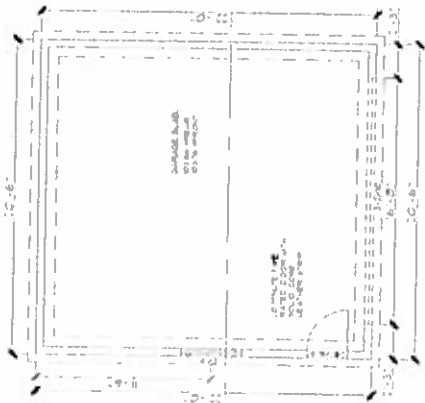


05085 ENTHALPIES OF

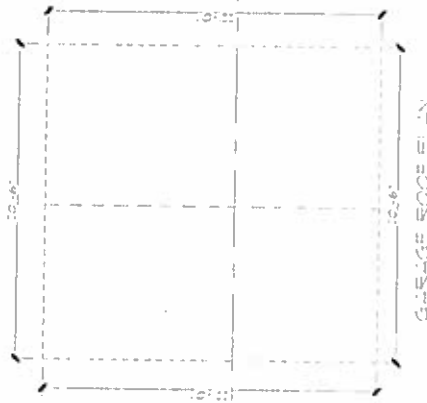
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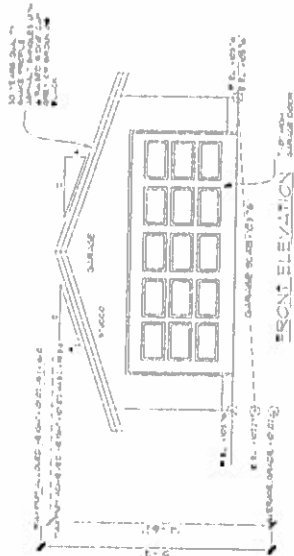
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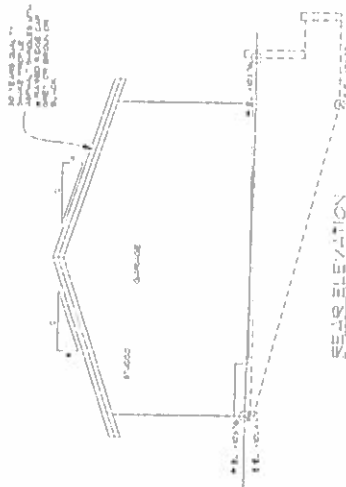
GARAGE FLOOR



GARAGE ROOF PLAN



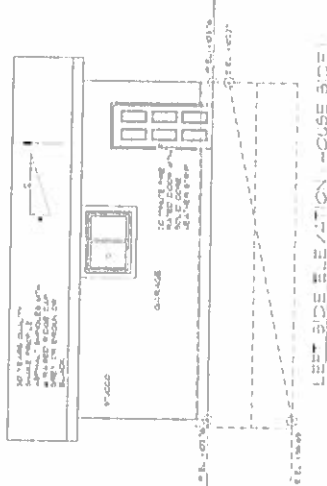
FRONT ELEVATION



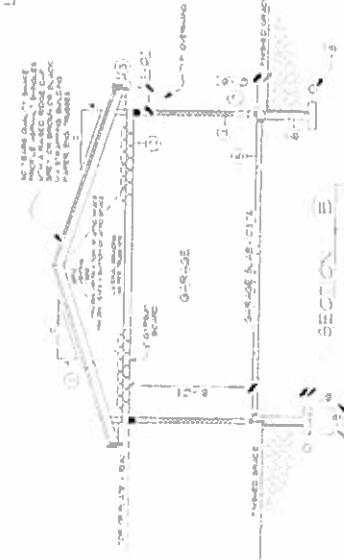
REAR ELEVATION



RIGHT SIDE ELEVATION (LINE SIDE)



LEFT SIDE ELEVATION - GAGE SIDE



SECTION E

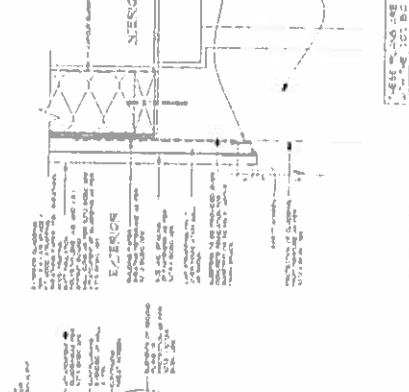
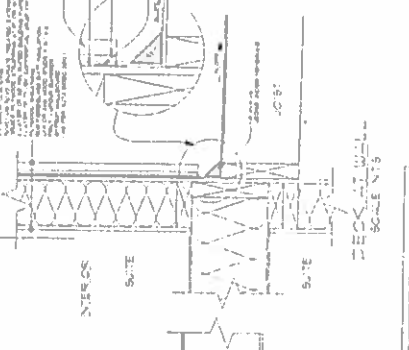
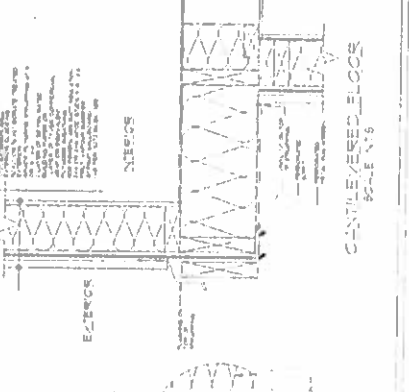
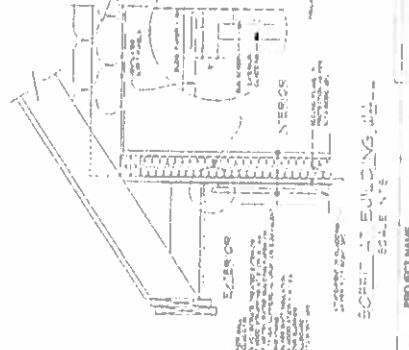
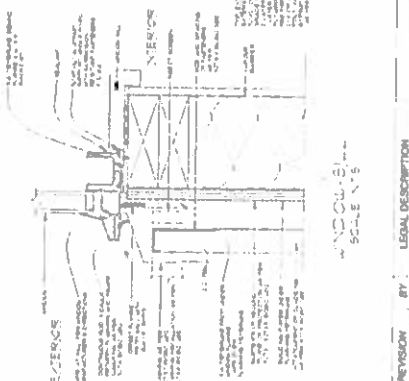
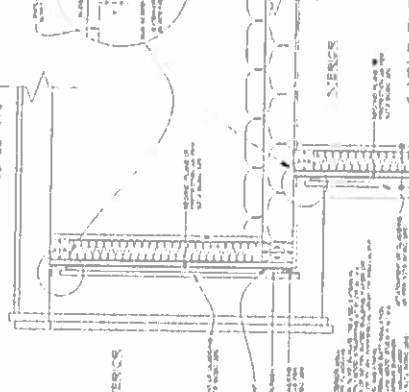
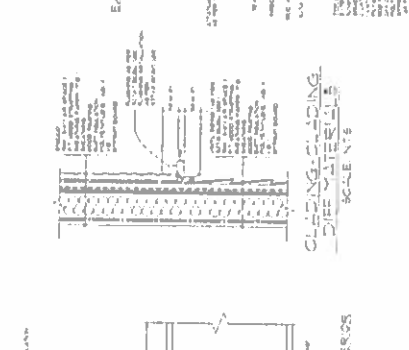
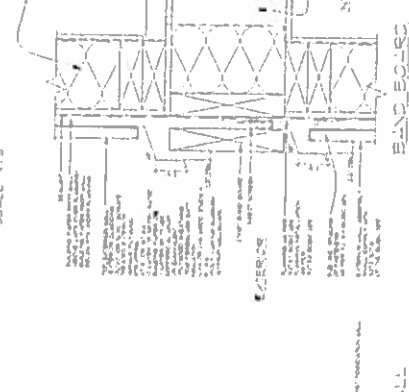
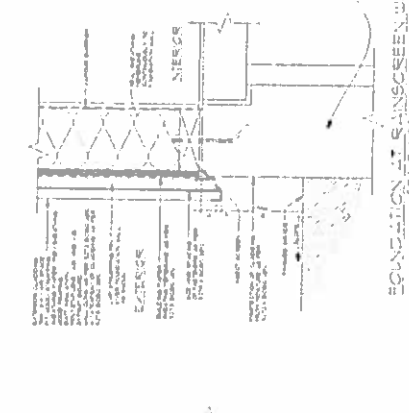
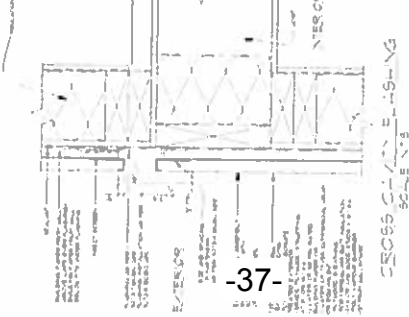
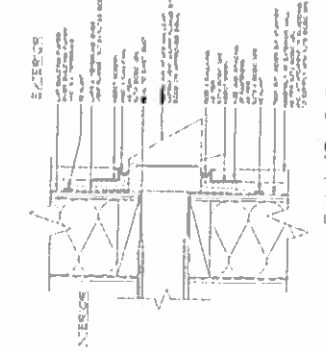
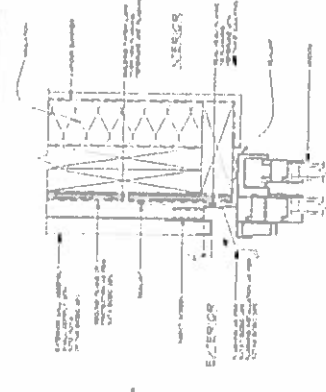
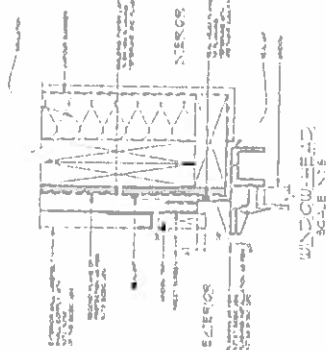
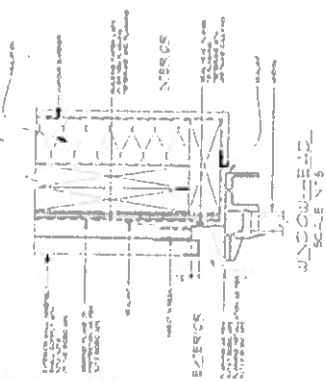
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<p>REVISIONS</p> <p>BY: _____</p> <p>DATE: _____</p>		<p>LEGAL DESCRIPTION</p> <p>LOT 157 &amp; 158, 4467, 4468, 4469, 4470, 4471, 4472, 4473, 4474, 4475, 4476, 4477, 4478, 4479, 4480, 4481, 4482, 4483, 4484, 4485, 4486, 4487, 4488, 4489, 4490, 4491, 4492, 4493, 4494, 4495, 4496, 4497, 4498, 4499, 4500, 4501, 4502, 4503, 4504, 4505, 4506, 4507, 4508, 4509, 4510, 4511, 4512, 4513, 4514, 4515, 4516, 4517, 4518, 4519, 4520, 4521, 4522, 4523, 4524, 4525, 4526, 4527, 4528, 4529, 4530, 4531, 4532, 4533, 4534, 4535, 4536, 4537, 4538, 4539, 4540, 4541, 4542, 4543, 4544, 4545, 4546, 4547, 4548, 4549, 4550, 4551, 4552, 4553, 4554, 4555, 4556, 4557, 4558, 4559, 4560, 4561, 4562, 4563, 4564, 4565, 4566, 4567, 4568, 4569, 4570, 4571, 4572, 4573, 4574, 4575, 4576, 4577, 4578, 4579, 4580, 4581, 4582, 4583, 4584, 4585, 4586, 4587, 4588, 4589, 4590, 4591, 4592, 4593, 4594, 4595, 4596, 4597, 4598, 4599, 4600, 4601, 4602, 4603, 4604, 4605, 4606, 4607, 4608, 4609, 4610, 4611, 4612, 4613, 4614, 4615, 4616, 4617, 4618, 4619, 4620, 4621, 4622, 4623, 4624, 4625, 4626, 4627, 4628, 4629, 4630, 4631, 4632, 4633, 4634, 4635, 4636, 4637, 4638, 4639, 4640, 4641, 4642, 4643, 4644, 4645, 4646, 4647, 4648, 4649, 4650, 4651, 4652, 4653, 4654, 4655, 4656, 4657, 4658, 4659, 4660, 4661, 4662, 4663, 4664, 4665, 4666, 4667, 4668, 4669, 4670, 4671, 4672, 4673, 4674, 4675, 4676, 4677, 4678, 4679, 4680, 4681, 4682, 4683, 4684, 4685, 4686, 4687, 4688, 4689, 4690, 4691, 4692, 4693, 4694, 4695, 4696, 4697, 4698, 4699, 4700, 4701, 4702, 4703, 4704, 4705, 4706, 4707, 4708, 4709, 4710, 4711, 4712, 4713, 4714, 4715, 4716, 4717, 4718, 4719, 4720, 4721, 4722, 4723, 4724, 4725, 4726, 4727, 4728, 4729, 4730, 4731, 4732, 4733, 4734, 4735, 4736, 4737, 4738, 4739, 4740, 4741, 4742, 4743, 4744, 4745, 4746, 4747, 4748, 4749, 4750, 4751, 4752, 4753, 4754, 4755, 4756, 4757, 4758, 4759, 4760, 4761, 4762, 4763, 4764, 4765, 4766, 4767, 4768, 4769, 4770, 4771, 4772, 4773, 4774, 4775, 4776, 4777, 4778, 4779, 4780, 4781, 4782, 4783, 4784, 4785, 4786, 4787, 4788, 4789, 4790, 4791, 4792, 4793, 4794, 4795, 4796, 4797, 4798, 4799, 4800, 4801, 4802, 4803, 4804, 4805, 4806, 4807, 4808, 4809, 4810, 4811, 4812, 4813, 4814, 4815, 4816, 4817, 4818, 4819, 4820, 4821, 4822, 4823, 4824, 4825, 4826, 4827, 4828, 4829, 4830, 4831, 4832, 4833, 4834, 4835, 4836, 4837, 4838, 4839, 4840, 4841, 4842, 4843, 4844, 4845, 4846, 4847, 4848, 4849, 4850, 4851, 4852, 4853, 4854, 4855, 4856, 4857, 4858, 4859, 4860, 4861, 4862, 4863, 4864, 4865, 4866, 4867, 4868, 4869, 4870, 4871, 4872, 4873, 4874, 4875, 4876, 4877, 4878, 4879, 4880, 4881, 4882, 4883, 4884, 4885, 4886, 4887, 4888, 4889, 4890, 4891, 4892, 4893, 4894, 4895, 4896, 4897, 4898, 4899, 4900, 4901, 4902, 4903, 4904, 4905, 4906, 4907, 4908, 4909, 4910, 4911, 4912, 4913, 4914, 4915, 4916, 4917, 4918, 4919, 4920, 4921, 4922, 4923, 4924, 4925, 4926, 4927, 4928, 4929, 4930, 4931, 4932, 4933, 4934, 4935, 4936, 4937, 4938, 4939, 4940, 4941, 4942, 4943, 4944, 4945, 4946, 4947, 4948, 4949, 4950, 4951, 4952, 4953, 4954, 4955, 4956, 4957, 4958, 4959, 4960, 4961, 4962, 4963, 4964, 4965, 4966, 4967, 4968, 4969, 4970, 4971, 4972, 4973, 4974, 4975, 4976, 4977, 4978, 4979, 4980, 4981, 4982, 4983, 4984, 4985, 4986, 4987, 4988, 4989, 4990, 4991, 4992, 4993, 4994, 4995, 4996, 4997, 4998, 4999, 5000</p>		<p>PROJECT NAME</p> <p>PROPOSED RESIDENCE FOR</p> <p>MR. &amp; MRS. JOHN</p> <p>LOT 157 &amp; 158, 4467, 4468, 4469, 4470, 4471, 4472, 4473, 4474, 4475, 4476, 4477, 4478, 4479, 4480, 4481, 4482, 4483, 4484, 4485, 4486, 4487, 4488, 4489, 4490, 4491, 4492, 4493, 4494, 4495, 4496, 4497, 4498, 4499, 4500, 4501, 4502, 4503, 4504, 4505, 4506, 4507, 4508, 4509, 4510, 4511, 4512, 4513, 4514, 4515, 4516, 4517, 4518, 4519, 4520, 4521, 4522, 4523, 4524, 4525, 4526, 4527, 4528, 4529, 4530, 4531, 4532, 4533, 4534, 4535, 4536, 4537, 4538, 4539, 4540, 4541, 4542, 4543, 4544, 4545, 4546, 4547, 4548, 4549, 4550, 4551, 4552, 4553, 4554, 4555, 4556, 4557, 4558, 4559, 4560, 4561, 4562, 4563, 4564, 4565, 4566, 4567, 4568, 4569, 4570, 4571, 4572, 4573, 4574, 4575, 4576, 4577, 4578, 4579, 4580, 4581, 4582, 4583, 4584, 4585, 4586, 4587, 4588, 4589, 4590, 4591, 4592, 4593, 4594, 4595, 4596, 4597, 4598, 4599, 4600, 4601, 4602, 4603, 4604, 4605, 4606, 4607, 4608, 4609, 4610, 4611, 4612, 4613, 4614, 4615, 4616, 4617, 4618, 4619, 4620, 4621, 4622, 4623, 4624, 4625, 4626, 4627, 4628, 4629, 4630, 4631, 4632, 4633, 4634, 4635, 4636, 4637, 4638, 4639, 4640, 4641, 4642, 4643, 4644, 4645, 4646, 4647, 4648, 4649, 4650, 4651, 4652, 4653, 4654, 4655, 4656, 4657, 4658, 4659, 4660, 4661, 4662, 4663, 4664, 4665, 4666, 4667, 4668, 4669, 4670, 4671, 4672, 4673, 4674, 4675, 4676, 4677, 4678, 4679, 4680, 4681, 4682, 4683, 4684, 4685, 4686, 4687, 4688, 4689, 4690, 4691, 4692, 4693, 4694, 4695, 4696, 4697, 4698, 4699, 4700, 4701, 4702, 4703, 4704, 4705, 4706, 4707, 4708, 4709, 4710, 4711, 4712, 4713, 4714, 4715, 4716, 4717, 4718, 4719, 4720, 4721, 4722, 4723, 4724, 4725, 4726, 4727, 4728, 4729, 4730, 4731, 4732, 4733, 4734, 4735, 4736, 4737, 4738, 4739, 4740, 4741, 4742, 4743, 4744, 4745, 4746, 4747, 4748, 4749, 4750, 4751, 4752, 4753, 4754, 4755, 4756, 4757, 4758, 4759, 4760, 4761, 4762, 4763, 4764, 4765, 4766, 4767, 4768, 4769, 4770, 4771, 4772, 4773, 4774, 4775, 4776, 4777, 4778, 4779, 4780, 4781, 4782, 4783, 4784, 4785, 4786, 4787, 4788, 4789, 4790, 4791, 4792, 4793, 4794, 4795, 4796, 4797, 4798, 4799, 4800, 4801, 4802, 4803, 4804, 4805, 4806, 4807, 4808, 4809, 4810, 4811, 4812, 4813, 4814, 4815, 4816, 4817, 4818, 4819, 4820, 4821, 4822, 4823, 4824, 4825, 4826, 4827, 4828, 4829, 4830, 4831, 4832, 4833, 4834, 4835, 4836, 4837, 4838, 4839, 4840, 4841, 4842, 4843, 4844, 4845, 4846, 4847, 4848, 4849, 4850, 4851, 4852, 4853, 4854, 4855, 4856, 4857, 4858, 4859, 4860, 4861, 4862, 4863, 4864, 4865, 4866, 4867, 4868, 4869, 4870, 4871, 4872, 4873, 4874, 4875, 4876, 4877, 4878, 4879, 4880, 4881, 4882, 4883, 4884, 4885, 4886, 4887, 4888, 4889, 4890, 4891, 4892, 4893, 4894, 4895, 4896, 4897, 4898, 4899, 4900, 4901, 4902, 4903, 4904, 4905, 4906, 4907, 4908, 4909, 4910, 4911, 4912, 4913, 4914, 4915, 4916, 4917, 4918, 4919, 4920, 4921, 4922, 4923, 4924, 4925, 4926, 4927, 4928, 4929, 4930, 4931, 4932, 4933, 4934, 4935, 4936, 4937, 4938, 4939, 4940, 4941, 4942, 4943, 4944, 4945, 4946, 4947, 4948, 4949, 4950, 4951, 4952, 4953, 4954, 4955, 4956, 4957, 4958, 4959, 4960, 4961, 4962, 4963, 4964, 4965, 4966, 4967, 4968, 4969, 4970, 4971, 4972, 4973, 4974, 4975, 4976, 4977, 4978, 4979, 4980, 4981, 4982, 4983, 4984, 4985, 4986, 4987, 4988, 4989, 4990, 4991, 4992, 4993, 4994, 4995, 4996, 4997, 4998, 4999, 5000</p>		<p>SHEET NO.</p> <p>1 OF 10</p>		<p>DRAWING NO.</p> <p>2008-01</p>		<p>DESIGNER ADDRESS:</p> <p>3111 10th Ave. N.E.</p> <p>Calgary, AB T2C 1P8</p> <p>Phone: (403) 243-8888</p> <p>Fax: (403) 243-8889</p> <p>Email: info@gilldrafting.com</p>	
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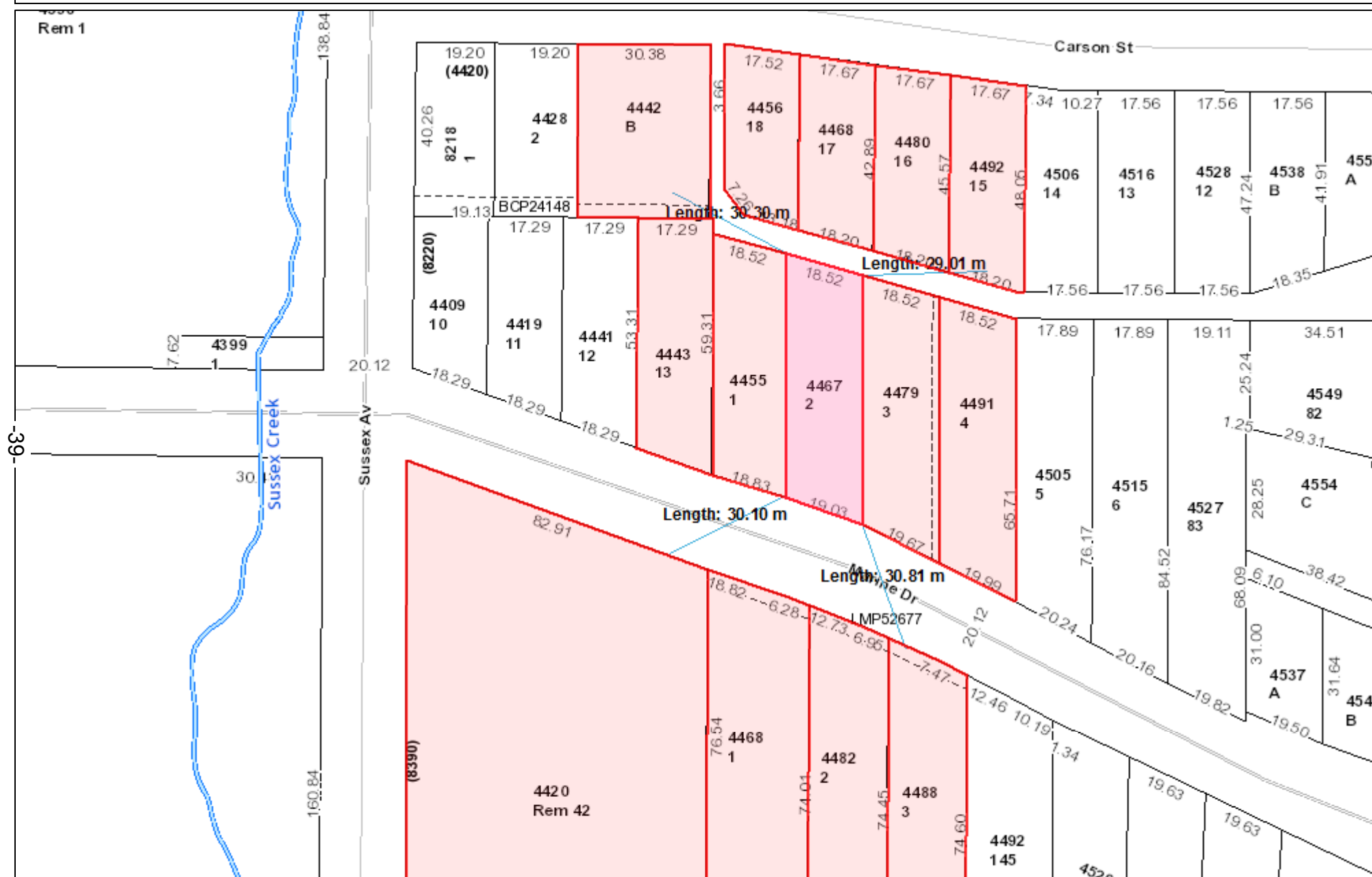


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REVISION	BY	LEGAL DESCRIPTION	PROJECT NAME	SHEET NO.	SHEET NO.	DRAWING NO.	DESIGNER ADDRESS
		PROPOSED RESIDENCE FOR MR. & MRS. J. W. H. 15' x 40' W. 1/2 SEC. 36, T. 15N., R. 10E., S. 10E.	15' x 40' W. 1/2 SEC. 36, T. 15N., R. 10E., S. 10E.	10 OF 10	10 OF 10	10 OF 10	10 OF 10









# Board of Variance Appeal Application Form

## OFFICE OF THE CITY CLERK

Burnaby City Hall, 4949 Canada Way, Burnaby BC, V5G 1M2, Phone: 604-294-7290 Email: clerks@burnaby.ca

### Applicant

Name of Applicant Beverly Kitasaka & Daniel Piskacek  
 Mailing Address 5480 Keith St.  
 City/Town Burnaby Postal Code V5J 3C5  
 Phone Number(s) (H) 604-437-5578 (C) 604-781-8745  
 Email bkitasaka@gmail.com  
 Preferred method of contact: ☒ email ☐ phone ☐ mail

### Property

Name of Owner Beverly Kitasaka & Daniel Piskacek  
 Civic Address of Property 5469 Keith St.  
Burnaby, BC V5J 3C4

I hereby declare that the information submitted in support of this application is, to the best of my knowledge, true and correct in all aspects, and further that my plans have no conflict with municipal bylaws other than those applied for with in this application.

November 7, 2016  
Date

[Signature]  
Applicant Signature

### Office Use Only

Appeal Date 2016 December 01 Appeal Number BV# 6253

#### Required Documents:

- ☐ Hardship Letter from Applicant
- ☐ Site Plan of Subject Property
- ☐ Building Department Referral Letter

Any documents submitted in support of this Board of  
Variance Appeal will be made available to the Public

Beverly Kitasaka & Daniel Piskacek  
5469 Keith St  
Burnaby, BC V5J 3C4

November 7, 2016

Board of Variance  
City of Burnaby  
4949 Canada Way  
Burnaby, BC V5G 1M2

Dear Members of the Board of Variance:

We would like to request a variance on our plans to rebuild our new home on 5469 Keith Street.

Our home is located in the South Slope area of Burnaby, one block north of Marine Drive and Royal Oak. Our property is steeply sloped and we have encountered challenges in creating our plans for our new home.

In our attempt to preserve a decent sized backyard on our sloped property, we have already been to the Board of Variance in June and have been allowed variances to our retaining walls and garage. At the June meeting, when we expressed that the backyard was important to our family, it was suggested that moving the whole house forward could help achieve this as well. After careful consideration, we have decided that since this will be our long term home, this would be very beneficial to our family and would like to request a relaxation on the front setback line.

We would be grateful to have our request granted. Thank you for your time and consideration.

Sincerely,

The image shows two handwritten signatures in blue ink. The first signature on the left is 'BKITAKA' and the second signature on the right is 'Daniel Piskacek'.

Beverly Kitasaka & Daniel Piskacek



# **BOARD OF VARIANCE REFERRAL LETTER**

<b>DATE:</b> November 4, 2016		<b>DEADLINE:</b> November 8, 2016 for the December 01, 2016 hearing		<i>This is <u>not</u> an application. Please take letter to Board of Variance. (Clerk's office - Ground Floor)</i>
<b>NAME OF APPLICANT:</b> Beverly Kitasaka				
<b>ADDRESS OF APPLICANT:</b> 5480 Keith Street				
<b>TELEPHONE:</b> 604.437.5578				
<b>PROJECT</b>				
<b>DESCRIPTION:</b> New Single Family Dwelling with Detached Garage				
<b>ADDRESS:</b> 5469 Keith Street				
<b>LEGAL:</b>	<b>LOT:</b> N	<b>DL:</b> 158	<b>PLAN:</b> 14508	

The above mentioned application, which includes the attached plan of the proposal, has been refused by the Building Department on the basis of contravention of:

**Zone/Section(s) R2 [102.8(1)]**  
of the Burnaby Zoning Bylaw No. 4742

## **COMMENTS:**

The applicant is proposing to build a new single family dwelling. The following relaxation is being requested.

1). Under Section 102.8(1) of the Burnaby Zoning Bylaw the depth of the front yard is required to be 33.09 feet (based on a front yard averaging). A front yard depth of 28.09 feet is proposed.

All projections into the proposed front yard will conform to the requirements of Section 6.12.

This variance is being requested in order to allow construction of the single family dwelling within the required front yard.

*Note: A previous Board of Variance (B.V. 6229) allowed the distance between the principal building and the detached garage to be 14.22 feet where a minimum distance of 14.8 feet is required.*

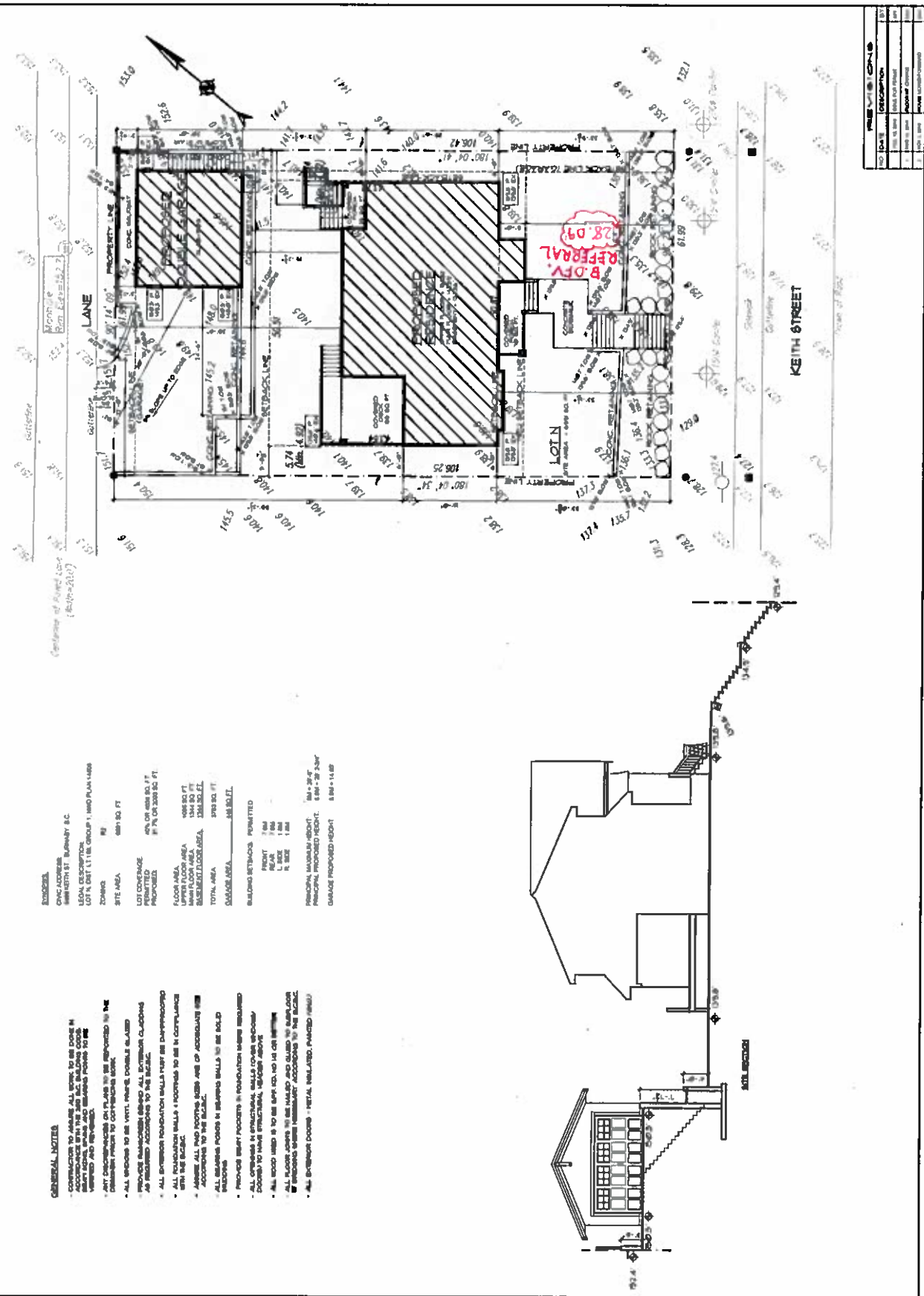
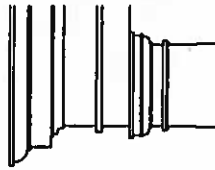
*Note: A previous Board of Variance (B.V. 6229) allowed the accessory building height to be 21.28 feet where the maximum building height would be 15.1 feet.*

*Note: A previous Board of Variance (B.V. 6229) allowed the rear yard retaining wall to be of varying heights, to a maximum of 11.7 feet, where a maximum of 5.91 feet is permitted.*

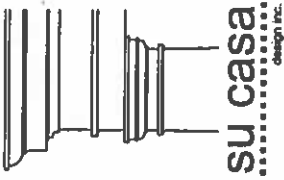
*Note: The applicant recognizes that should the project contain additional characteristics in contravention of the zoning by-law a future appeal(s) may be required.*

LM

Peter Kushnir  
Deputy Chief Building Inspector







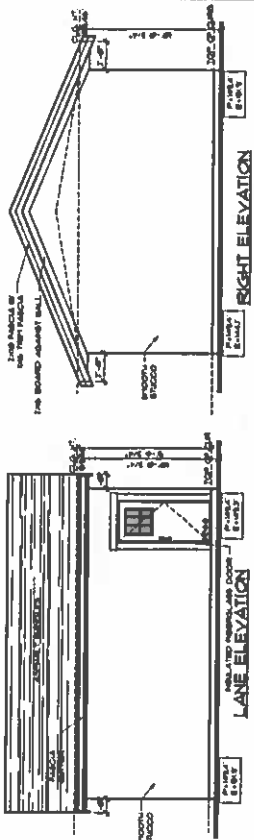
2543 montrose ave.  
abbotsford, B.C. V2S 3T4  
Tel: (604) 856-3222  
Fax: (604) 856-4303

KITASAKA RESIDENCE  
5469 KEITH ST., BURNABY, B.C.

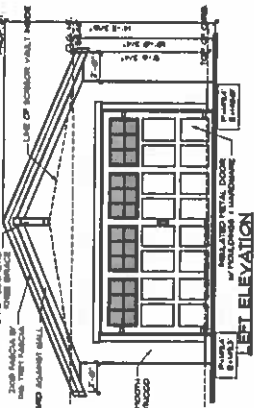
886 GARAGE  
1/4" = 1'-0" UNO.  
0309  
FEB. 8, 2019  
G7001  
AFF  
JOB NO.  
15029

Sheet No. A6

Project: 15029 - KITASAKA RESIDENCE  
Drawing: 15029-01 - GARAGE  
Scale: 1/4" = 1'-0" UNO.  
Date: FEB. 8, 2019  
By: G7001  
Check: AFF  
Job No: 15029



LEFT ELEVATION



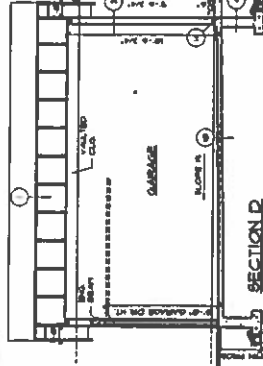
RIGHT ELEVATION

STUCCO SIDING

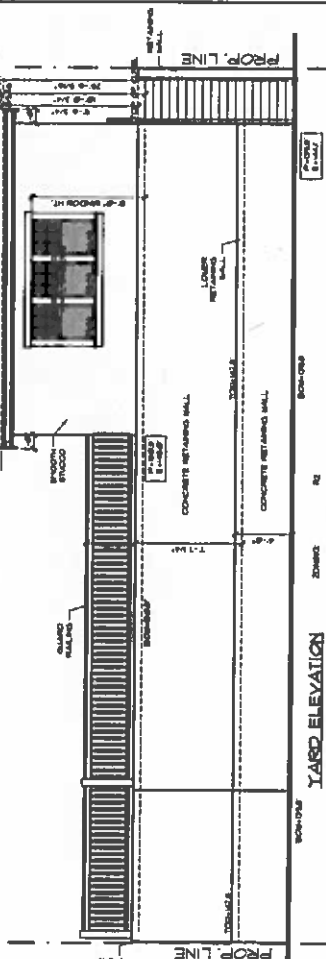
NO.	DESCRIPTION	QTY	UNIT
1	EXTERIOR STUCCO	600	SQ. FT.
2	INTERIOR STUCCO	600	SQ. FT.
3	STUCCO FINISH	600	SQ. FT.
4	STUCCO FINISH	600	SQ. FT.
5	STUCCO FINISH	600	SQ. FT.
6	STUCCO FINISH	600	SQ. FT.
7	STUCCO FINISH	600	SQ. FT.
8	STUCCO FINISH	600	SQ. FT.
9	STUCCO FINISH	600	SQ. FT.
10	STUCCO FINISH	600	SQ. FT.
11	STUCCO FINISH	600	SQ. FT.
12	STUCCO FINISH	600	SQ. FT.
13	STUCCO FINISH	600	SQ. FT.
14	STUCCO FINISH	600	SQ. FT.
15	STUCCO FINISH	600	SQ. FT.
16	STUCCO FINISH	600	SQ. FT.
17	STUCCO FINISH	600	SQ. FT.
18	STUCCO FINISH	600	SQ. FT.
19	STUCCO FINISH	600	SQ. FT.
20	STUCCO FINISH	600	SQ. FT.

TYP. EXT. WALL

SCALE: 1/4" = 1'-0" UNO.  
CENTRAL 48" HIGH ADJ. COAST BND. LTD. IMPACT  
+ 48" HIG. APPROVED BY ACHS/BCSA PROTECTION OFFICE



SECTION 1

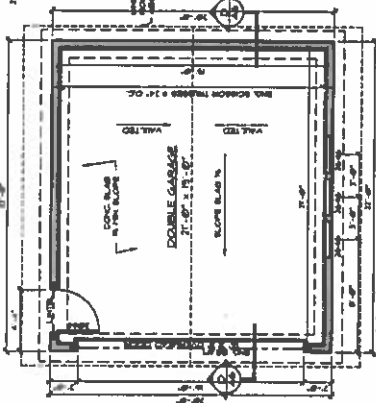


SECTION 2

NO.	DATE	DESCRIPTION
1	1/2/19	ISSUED FOR PERMIT
2	1/2/19	ISSUED FOR PERMIT
3	1/2/19	ISSUED FOR PERMIT
4	1/2/19	ISSUED FOR PERMIT
5	1/2/19	ISSUED FOR PERMIT
6	1/2/19	ISSUED FOR PERMIT
7	1/2/19	ISSUED FOR PERMIT
8	1/2/19	ISSUED FOR PERMIT
9	1/2/19	ISSUED FOR PERMIT
10	1/2/19	ISSUED FOR PERMIT
11	1/2/19	ISSUED FOR PERMIT
12	1/2/19	ISSUED FOR PERMIT
13	1/2/19	ISSUED FOR PERMIT
14	1/2/19	ISSUED FOR PERMIT
15	1/2/19	ISSUED FOR PERMIT
16	1/2/19	ISSUED FOR PERMIT
17	1/2/19	ISSUED FOR PERMIT
18	1/2/19	ISSUED FOR PERMIT
19	1/2/19	ISSUED FOR PERMIT
20	1/2/19	ISSUED FOR PERMIT

DETAIL - GARAGE SLAB

SCALE: 1/4" = 1'-0" UNO.



GARAGE

AREA: 445 SQ. FT.

AS PER SECTION 9.36.2(10) - NOTES PERTAINING TO  
LEAKAGE PATHS IN PROBLEMATIC AREAS

CONSTRUCTION TO BE AS FOLLOWS:

1. ALL JOINTS IN THE FOUNDATION...

2. ALL JOINTS IN THE FOUNDATION...

3. ALL JOINTS IN THE FOUNDATION...

4. ALL JOINTS IN THE FOUNDATION...

5. ALL JOINTS IN THE FOUNDATION...

6. ALL JOINTS IN THE FOUNDATION...

7. ALL JOINTS IN THE FOUNDATION...

8. ALL JOINTS IN THE FOUNDATION...

9. ALL JOINTS IN THE FOUNDATION...

10. ALL JOINTS IN THE FOUNDATION...

11. ALL JOINTS IN THE FOUNDATION...

12. ALL JOINTS IN THE FOUNDATION...

13. ALL JOINTS IN THE FOUNDATION...

14. ALL JOINTS IN THE FOUNDATION...

15. ALL JOINTS IN THE FOUNDATION...

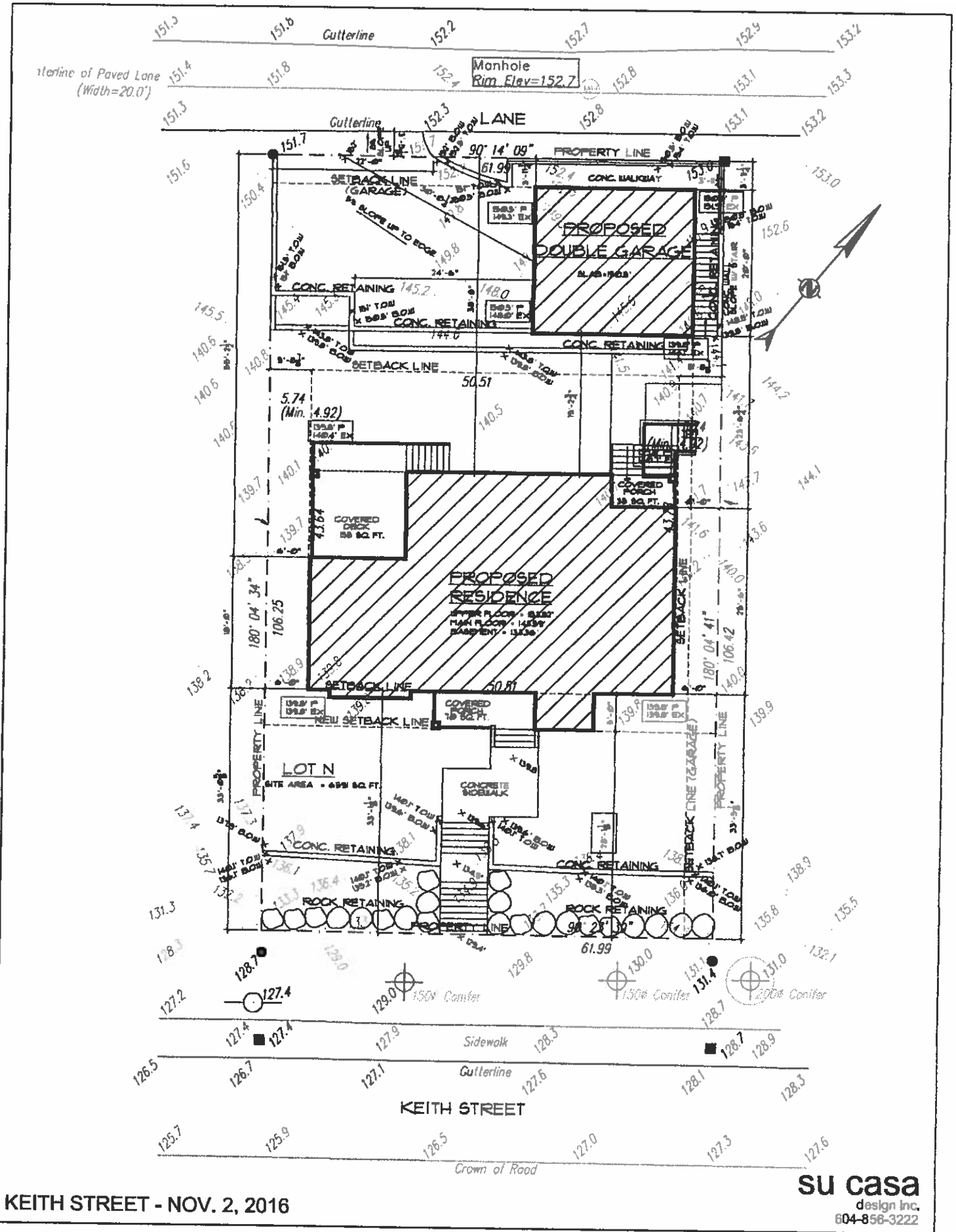
16. ALL JOINTS IN THE FOUNDATION...

17. ALL JOINTS IN THE FOUNDATION...

18. ALL JOINTS IN THE FOUNDATION...

19. ALL JOINTS IN THE FOUNDATION...

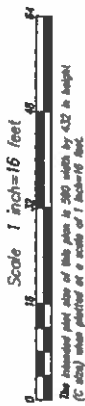
20. ALL JOINTS IN THE FOUNDATION...



KEITH STREET - NOV. 2, 2016

**su casa**  
design inc.  
604-856-3222

# TOPOGRAPHICAL PLAN OF LOT "N" DISTRICT LOT 158 GROUP 1 NEW WESTMINSTER DISTRICT PLAN 14508



All Dimensions And Elevations Are In Feet And Decimals  
Feet Unless Otherwise Stated.

PRO: 009-966-161

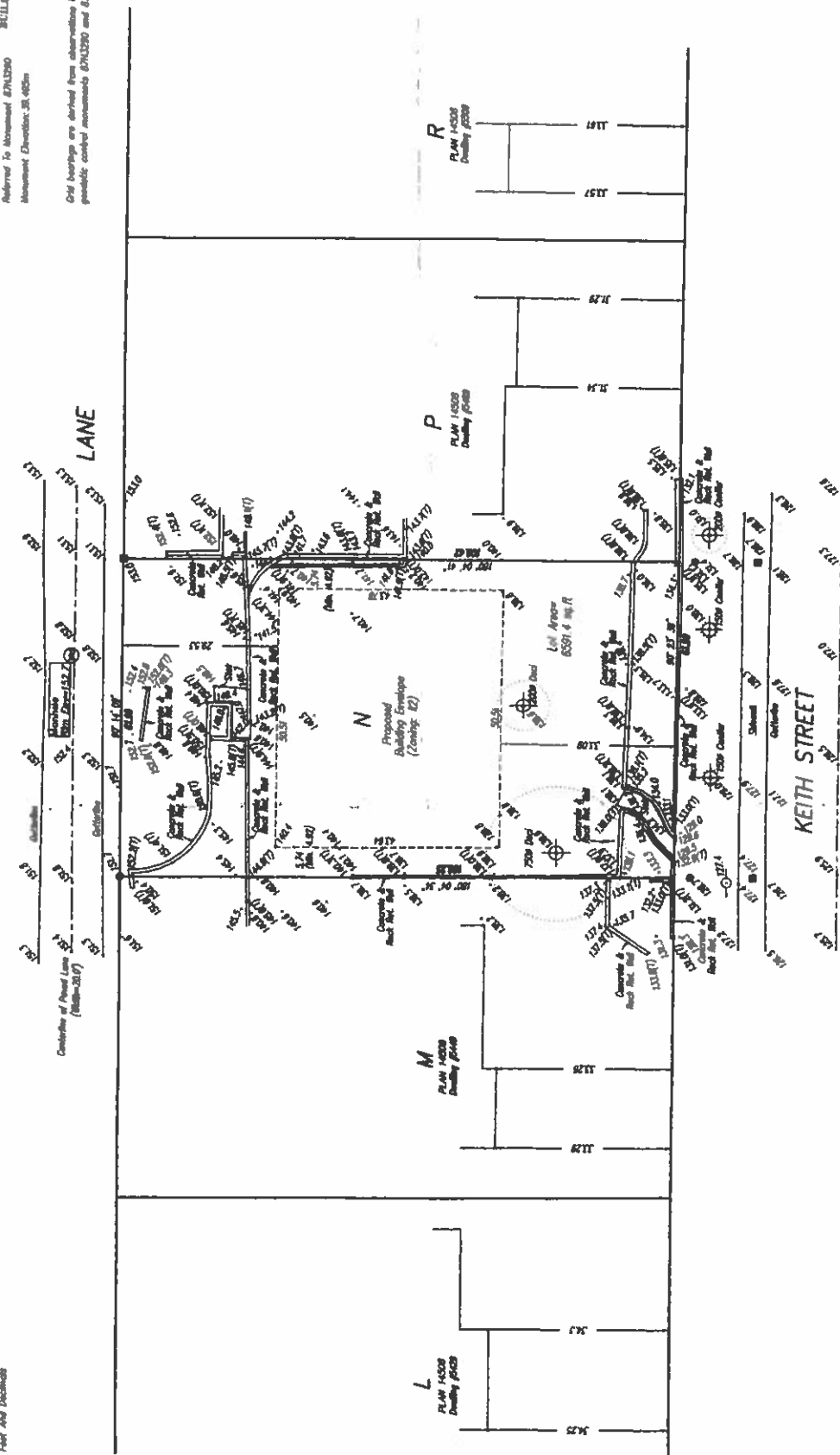
Civic Address: 5489 Keith Street,  
City of Burnaby

Notes: Trees permanent to lot from lot 1996 are shown

Standard Notes:  
Disturbance Are Considered  
Referred To Movement 87N/3250  
Movement Elevation: 38.405m

Grid bearings are derived from observations between  
permanent corner monuments 87N/3250 and 87N/3258.

RECEIVED  
FEB 16 2011  
BUILDING DEPARTMENT



## Legend:

- Standard Iron Pin
- Level Peg
- Tree (diameter is less than 250mm)
- Power Pole
- Manhole

Notes:  
T - Direction of top of wall

## Zoning R2 Setbacks

Lot	Front	Address
L	54.25	5429
M	33.25	5449
P	31.29	5489
R	33.57	5509

Average = 33.00

Building envelope shown is only approximate.  
For Interpretation of City Building Bylaws  
please consult Planning Department for final  
building envelope when required.

Notes:  
Information shown herein is for municipal purposes only and  
is for the exclusive use of the owner.  
All rights reserved. No person may copy, reproduce,  
transmit, alter, distribute, or otherwise use of this document  
in whole or in part without the prior written consent  
of the undersigned.

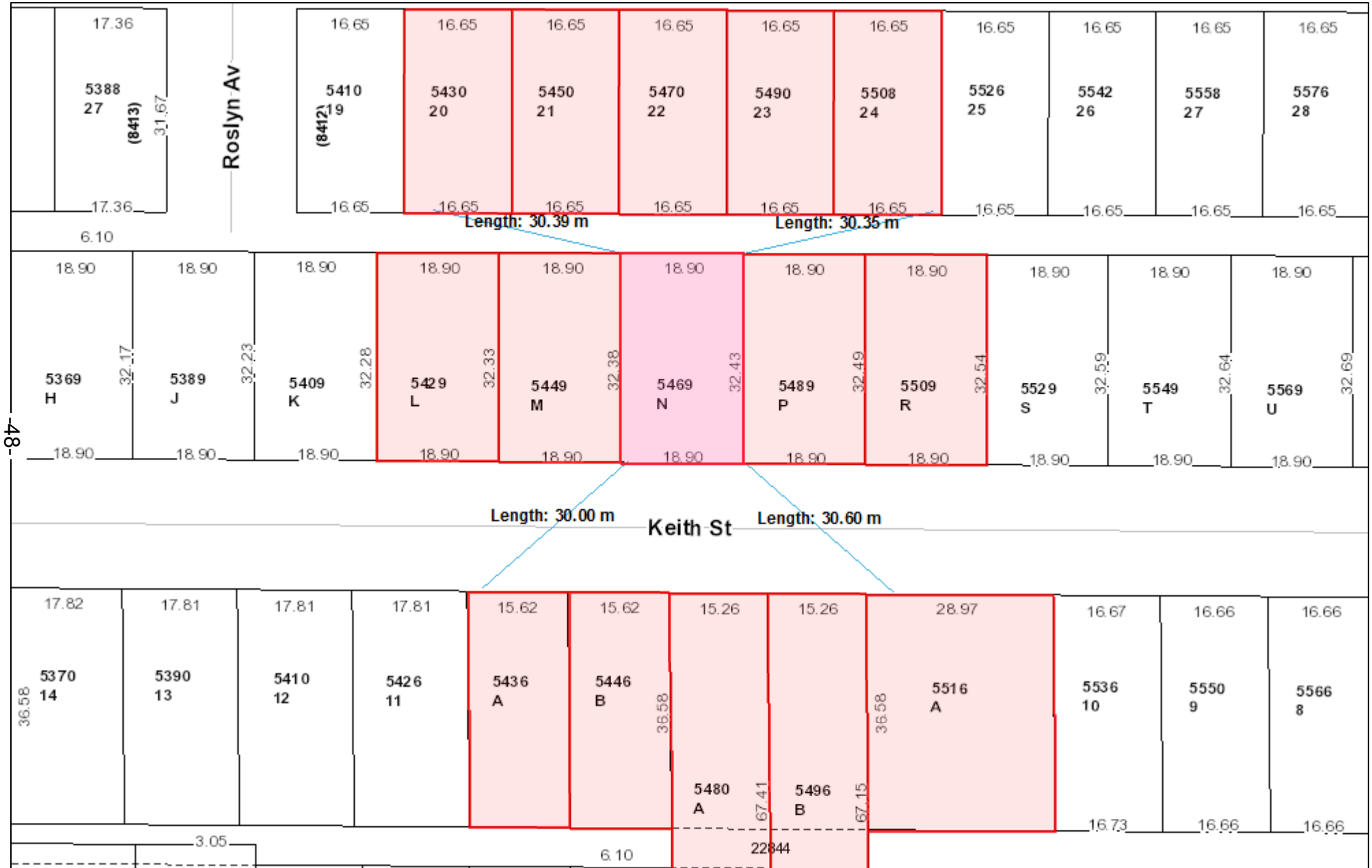
This is certified correct and is valid only with respect  
to the improvements as shown herein and located as  
on 31st day of March, 2011  
As-Inspected on 01st day of January, 2016

LIAMING YU  
B.C.L.S. #889

This Document is Not Valid Unless  
Originally Signed And Sealed

3.(c)







# Board of Variance Appeal Application Form

## OFFICE OF THE CITY CLERK

Burnaby City Hall, 4949 Canada Way, Burnaby BC, V5G 1M2, Phone: 604-294-7290 Email: clerks@burnaby.ca

### Applicant

Name of Applicant David Song  
 Mailing Address 4286 Alderwood Cre.  
 City/Town Burnaby Postal Code V5G 2G8  
 Phone Number(s) (H) \_\_\_\_\_ (C) 778 988 2108  
 Email david.song.zhuming@gmail.com  
 Preferred method of contact: ☒ email ☐ phone ☐ mail

### Property

Name of Owner S. Jala Investments (Canada) Ltd.  
 Civic Address of Property 8580 Gilley Ave. Burnaby

I hereby declare that the information submitted in support of this application is, to the best of my knowledge, true and correct in all aspects, and further that my plans have no conflict with municipal bylaws other than those applied for with in this application.

Date Nov. 7. 2016

David Song  
Applicant Signature

### Office Use Only

Appeal Date 2016 December 01 / Appeal Number BV# 6254

#### Required Documents:

- ☐ Hardship Letter from Applicant
- ☐ Site Plan of Subject Property
- ☐ Building Department Referral Letter

Any documents submitted in support of this Board of  
Variance Appeal will be made available to the Public

City of Burnaby Board of Variance  
4949 Canada Way  
Burnaby, BC, Canada  
V5G 1M2

November 6, 2016

### Letter Requesting Variance Regarding 8580 Gilley Ave.

Dear Madam or Sir,

The property at 8580 Gilley Ave is bounded by Gilley Ave. at the front, Firth Ave. at the side, and Bryne Rd (unconstructed, is currently a ravine) at the back. The zoning of the lot is R2. The front yard average from Gilley is 26.9' and the front yard setback average from Bryne is 104.25'.

We have two requests that we wish the board would consider:

**e hope that the board of variance will consider treating the yard facing the unconstructed Byrne Road as a back yard and reduce the setback accordingly.**

Because the lot is bounded by roads at the front and back, the city bylaw requires two front yards. However, doing so will reduce the building envelope to about 20' x 50', which is smaller than the existing house. The city bylaw allows the lot (10124 sq ft) at 8580 Gilley Ave to contain a 4736 sq ft house, this is not possible to plan with a building envelope of only 20' x 50'.

**2.We hope that the board of variance will relax the allowable building depth by one foot.**

The lot at 8580 Gilley is a skewed parallelogram shape, as a result, the building envelope is also that shape. We planned the house within the building envelope provided by the surveyor.

If we measure a line that is parallel to the side yard setback line, the maximum building depth will be 56' (see included figure).

If we measure a line that is perpendicular to the front yard setback line, the maximum building depth will be 55.6' (see included figure).

The depth of the house not including the garage is 53', including the attached garage, the depth is 61'. The garage is one floor (see included figure).

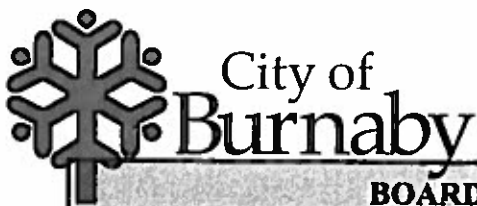
As you can see from the depth measurements of the planned house, it is not particularly long. The combination of the awkward parallelogram shape and the requirement that the garage is to face Gilley Ave. made it exceed the limit by a foot.

Regards,

David Song  
Architecture Designer

*David Song*  
*Nov. 8. 2016*




**BOARD OF VARIANCE REFERRAL LETTER**

<b>DATE:</b> October 31, 2016		<b>DEADLINE:</b> November 8, 2016 for the December 1, 2016 hearing		<i>This is <u>not</u> an application. Please take letter to Board of Variance. (Clerk's office - Ground Floor)</i>
<b>NAME OF APPLICANT:</b> David Song				
<b>ADDRESS OF APPLICANT:</b> 4286 Alderwood Crescent, Burnaby, B.C. V5G 2G8				
<b>TELEPHONE:</b> 778 988 2108				
<b>PROJECT</b>				
<b>DESCRIPTION:</b> New single family dwelling w/ attached garage				
<b>ADDRESS:</b> 8580 Gilley Avenue				
<b>LEGAL:</b>	<b>LOT:</b> 12	<b>DL:</b> 159	<b>PLAN:</b> NWP2014	

The above mentioned application, which includes the attached plan of the proposal, has been refused by the Building Department on the basis of contravention of:

**Zone/Section(s) R2 [102.8(1);102.7(b)]**  
of the Burnaby Zoning Bylaw No. 4742

**COMMENTS:**

The applicant is proposing to build a new single family dwelling. The following relaxations are being requested.

- 1) Under Section 102.8(1) of the Burnaby Zoning Bylaw the depth of the front yard facing Byrne Road is required to be 104.25 feet (based on front yard averaging). A front yard depth of 69.10 feet is proposed.

All projections into the proposed front yard will conform to the requirements of Section 6.12.

- 2) To vary Section 102.7 – "Depth of Principal Building" of the Zoning Bylaw from 60.0 feet to 61.0 feet. The sundeck will be 3.94 feet beyond the building.

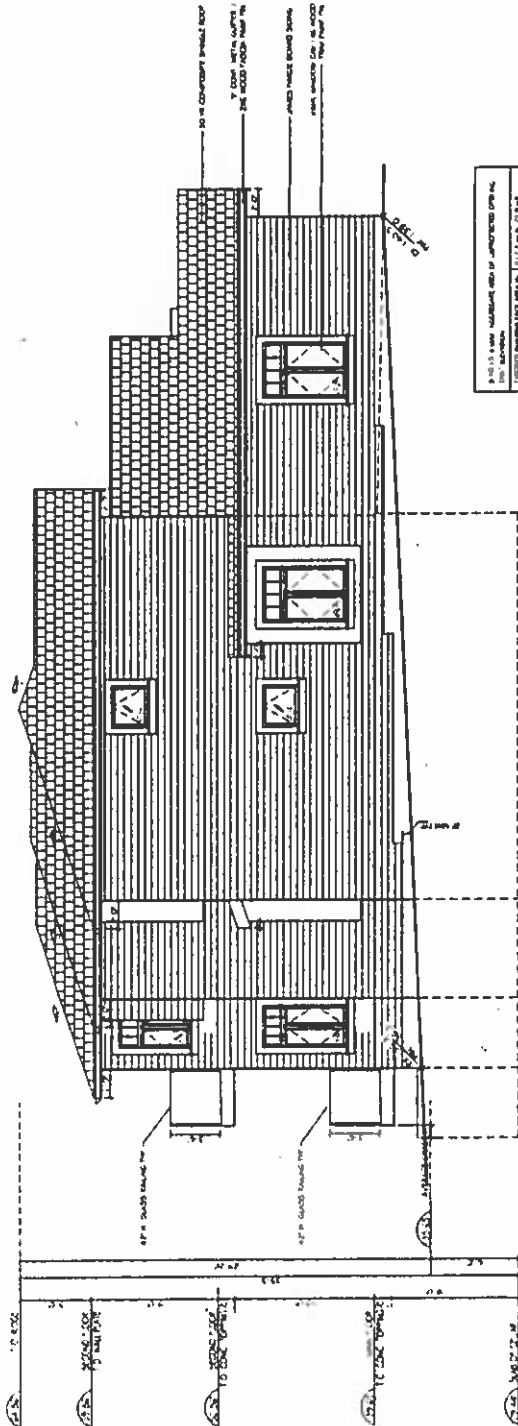
This variance is being requested in order to allow construction of the single family dwelling and its sundeck within the required front yard.

*Note: The applicant recognizes that should the project contain additional characteristics in contravention of the zoning by-law a future appeal(s) may be required.*

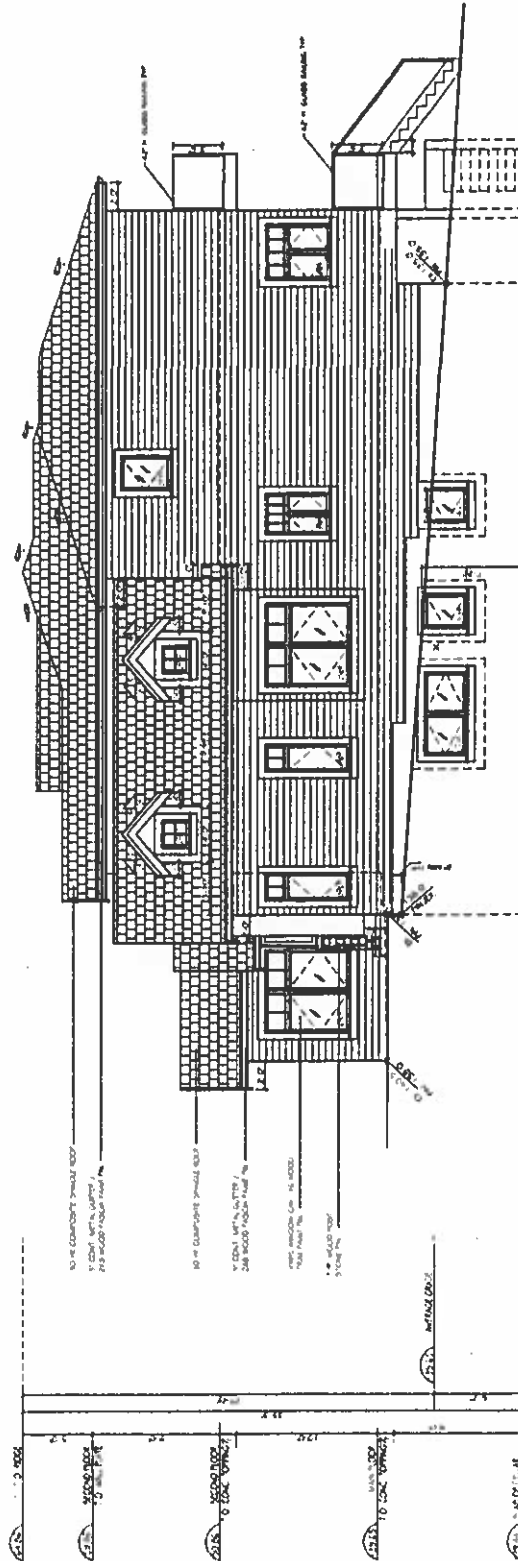
JQ

Peter Kushnir  
Deputy Chief Building Inspector





**EAST ELEVATION**  
A 1/4" SCALE 1" = 10' 0"



WEST ELEVATION  
SCALE: 1"=1'-0"





O'CONNELL HOMES

4246 ALDERWOOD DR  
BURLINGTON, VT 05403  
775-366-2108

CONTRACT MATERIAL  
SPECIFICATIONS ARE THE PROPERTY OF O'CONNELL  
HOMES. NO PART OF THIS DOCUMENT  
SHALL BE REPRODUCED  
WITHOUT WRITTEN CONSENT

ALL DRAWINGS TO BE  
PREPARED BY THE  
ARCHITECT OR BY AN  
EXPERIENCED ARCHITECT  
UNDER HIS CLOSE  
SUPERVISION

PROJECT:  
GOLF RESIDENCE

CIVIL ADDRESS:  
8900 GOLF AVE  
BURLINGTON, VT

LEGAL  
DESCRIPTION:  
LOT 12  
SUBJECT LOT 12  
GROUP 1, PLAT 2014

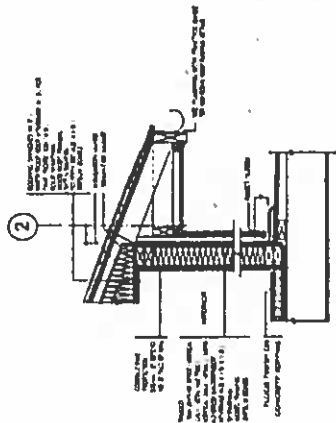
DRAWING TITLE:  
SOUTH, NORTH  
ELEVATIONS  
DETAILS

REVISIONS:

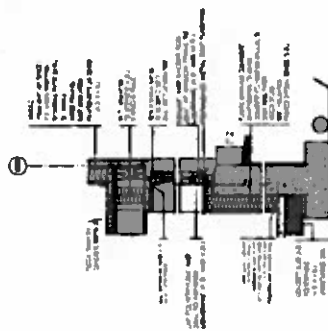
NO.	DESCRIPTION	DATE
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2	ISSUED FOR PERMIT	12/15/14
3	ISSUED FOR PERMIT	12/15/14
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5	ISSUED FOR PERMIT	12/15/14
6	ISSUED FOR PERMIT	12/15/14
7	ISSUED FOR PERMIT	12/15/14
8	ISSUED FOR PERMIT	12/15/14
9	ISSUED FOR PERMIT	12/15/14
10	ISSUED FOR PERMIT	12/15/14

DATE: 12/15/14  
DRAWN BY: J.S.  
REVIEWED BY:  
SHEET NO: A1.4

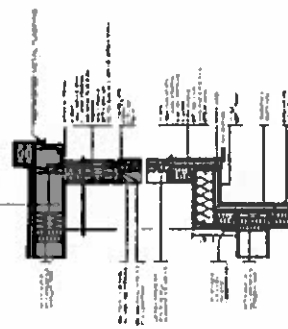
3.(d)



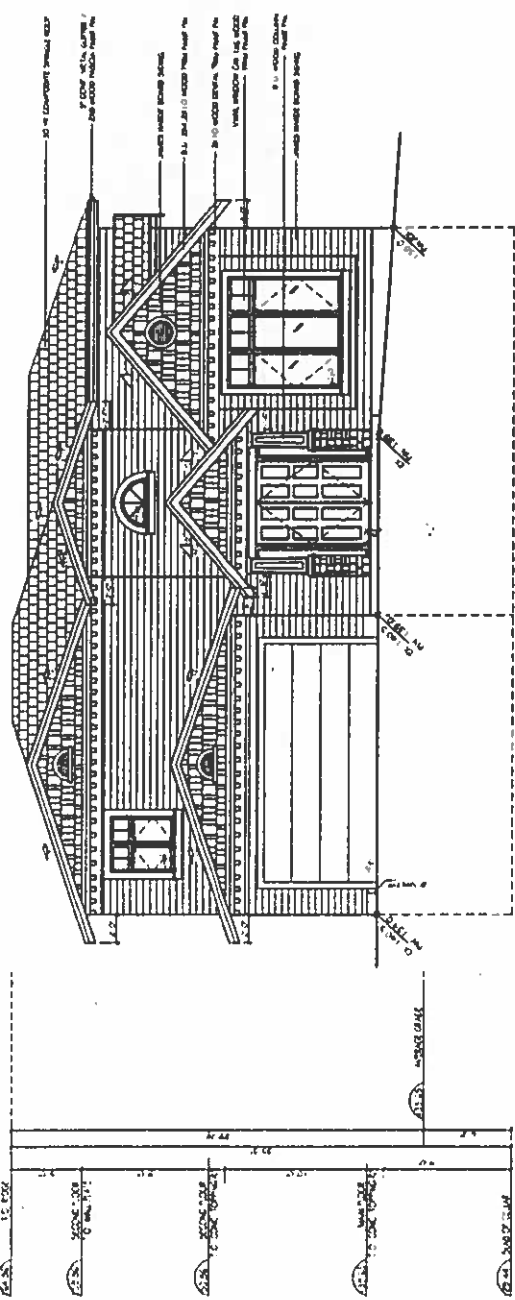
1 ROOF/WALL/FLAT ROOF  
SCALE: 1/4"=1'-0"



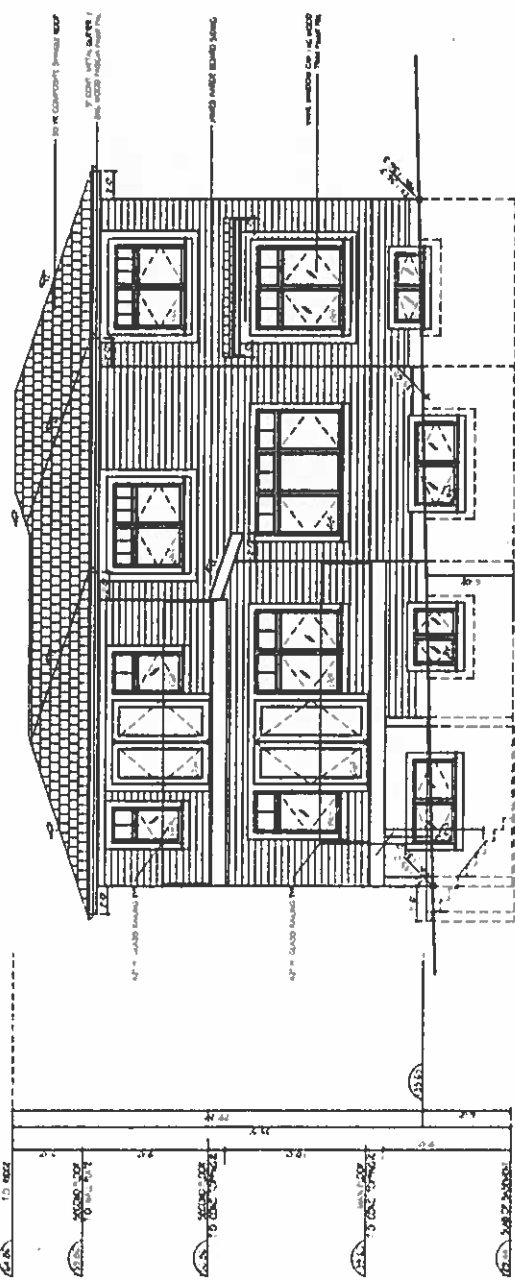
1 FOOTING AND FOUNDATION WALL DETAIL  
SCALE: 1/4"=1'-0"



1 TYPICAL BAY WINDOW/WINDOW SEAT  
SCALE: 1/4"=1'-0"



1 NORTH ELEVATION  
SCALE: 1/4"=1'-0"



1 SOUTH ELEVATION  
SCALE: 1/4"=1'-0"

**PLAN OF SURVEY OF LOT 12  
DISTRICT LOT 159, GROUP 1  
NEW WESTMINSTER DISTRICT  
PLAN 2014**

8580 Gilley Avenue  
Burnaby, B.C.

**ZONING: R2**

SCALE: 1 INCH = 16 FEET



All distances are in feet and decimals  
thereof unless otherwise indicated  
Contour interval: 2.0 feet

**RECEIVED**  
JUN 09 2016  
BURNABY DISTRICT

**LEGEND**

- LP lead plug
- IP iron post
- ⊙ LS lamp standard
- ⊙ MH manhole
- ⊙ MC metal cover
- ⊙ TB top of bank
- ⊙ GE ground elevation
- ⊙ a/a overall distance
- ⊙ sf square feet
- ⊙ P/L property line
- ⊙ d diameter
- ⊙ SD sundeck
- ⊙ LO living quarters
- ⊙ SW statutory right-of-way
- ⊙ SPA Streetside Protection and Enhancement Area
- ⊙ FIA front yard average

All original corner points  
have been located and are  
undisturbed, therefore a  
Posting Plan is not required

**NOTES:**  
Elevations are based on datum  
of 1985.  
Burnaby Municipal Bylaw 1771  
located at the intersection of  
Stukey Avenue and Fifth Avenue  
d.m. Elevation = 117.50 feet  
d.m. Elevation = 117.50 feet

© copyright restriction  
This document is not valid unless  
originally signed and sealed.

**CERTIFIED CORRECT:**  
June 3, 2016

*Shy*  
BCLS

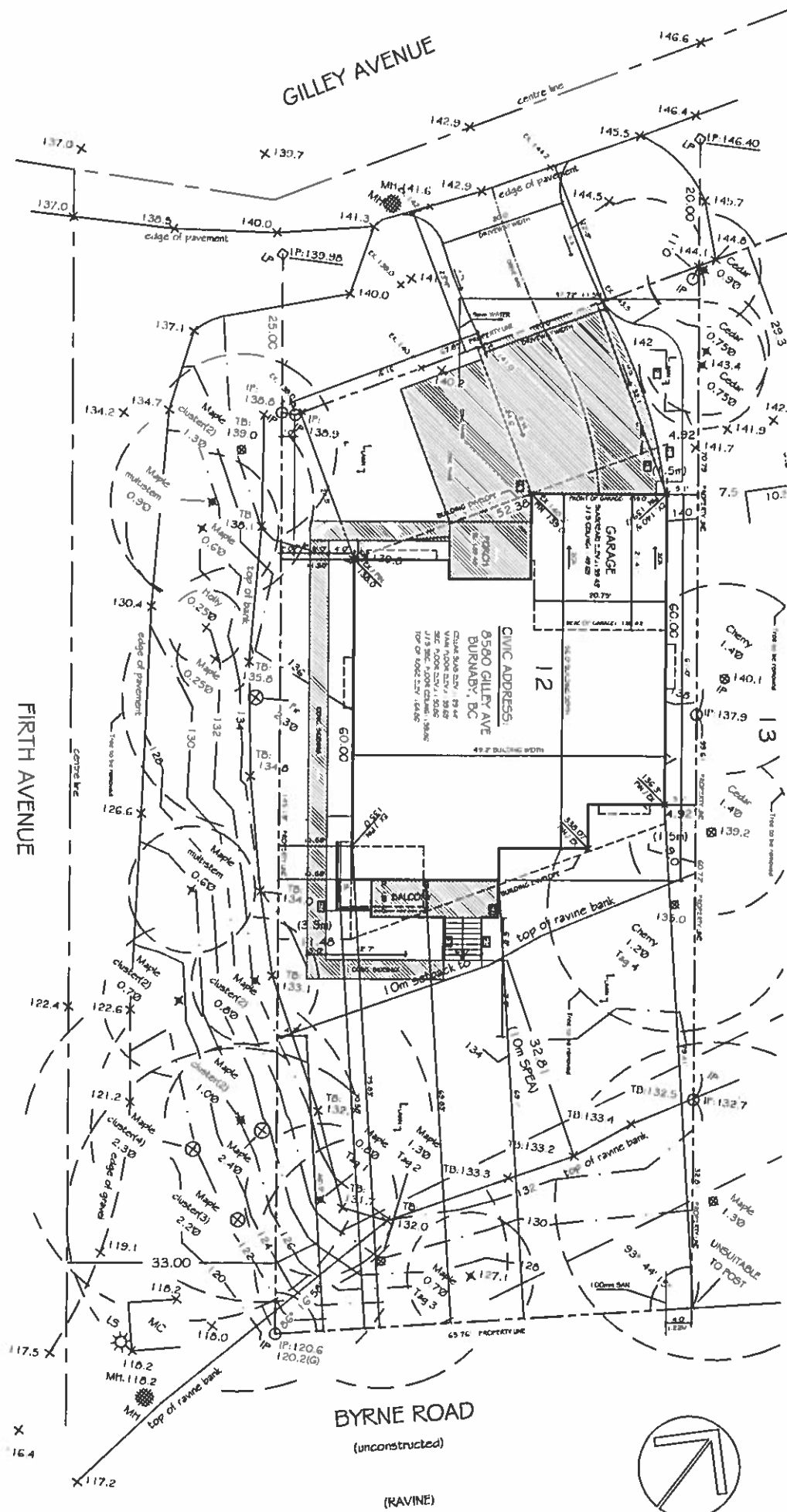
**NOTES:**  
1. All trees are shown in  
accordance with British Columbia  
Bylaw 1292

**NOTES:**  
1. All trees are shown in  
accordance with British Columbia  
Bylaw 1292

GILLEY AVENUE			
HOUSE	LOT	FRONT YD	FRONT YD SETBACK
8570	13	29.1	
8560	14	20.5	
TOTAL			
AVERAGE		24.8	
MINIMUM		20.5	

BYRNE ROAD			
HOUSE	LOT	FRONT YD	FRONT YD SETBACK
8570	13	68.1	
8560	14	120.4	
TOTAL			
AVERAGE		94.25	
MINIMUM		24.6	

Ken E. Wong and Associates  
Canada and B.C. Land Surveyors  
5624 E. Hastings Street  
Burnaby, B.C. V5B 1R4  
Telephone: (604) 294-8881  
Fax: (604) 294-0625  
150610 P8926 P138-140  
P-7176 P-6692 P-2174 P-8004  
Drawn by: TB SJ-1644







# Board of Variance Appeal Application Form

## OFFICE OF THE CITY CLERK

Burnaby City Hall, 4949 Canada Way, Burnaby BC, V5G 1M2, Phone: 604-294-7290 Email: clerks@burnaby.ca

### Applicant

Name of Applicant CHARLES MADDISON  
 Mailing Address BONI MADDISON ARCHITECTS (BMA)  
3732 WEST BROADWAY  
 City/Town VANCOUVER Postal Code V6R 2C1  
 Phone Number(s) (H) 604 688 5894 (C) 604 727-7617  
 Email CHARLIE@BONIMADDISON.COM  
 Preferred method of contact: ☒ email ☐ phone ☐ mail

### Property

Name of Owner MS. TINNY JONES  
 Civic Address of Property 7729 / 7731 ROSEWOOD ST.

I hereby declare that the information submitted in support of this application is, to the best of my knowledge, true and correct in all aspects, and further that my plans have no conflict with municipal bylaws other than those applied for with in this application.

Nov 8<sup>th</sup>, 2016  
 Date

David De  
 Applicant Signature

DAVIDA DEE  
 BMA

### Office Use Only

Appeal Date 2016 December 01 / Appeal Number BV# 6255

#### Required Documents:

- ☐ Hardship Letter from Applicant
- ☐ Site Plan of Subject Property
- ☐ Building Department Referral Letter

Any documents submitted in support of this Board of  
 Variance Appeal will be made available to the Public



3732 West Broadway  
 Vancouver, BC Canada V6R 2C1  
 Tel: 604 688 5894 Fax: 604 688 5899  
 E-mail: info@bonimaddison.com

City of Burnaby Building Department  
 4949 Canada Way,  
 Burnaby, BC V5G 1M2

November 8, 2016

Attention: Ms. Irene Yuen, Senior Building Technologist

RE: 7729-7731 ROSEWOOD STREET TWO FAMILY SEMI-DETACHED DWELLING

Board of Variance Letter of Hardship

Dear Ms. Yuen,

We are writing on behalf of our client, Ms. Tinny Jones, to apply to the Board of Variance for a height variance for this duplex building project. The zoning bylaw restricts our building, with a flat roof to 6.1m (20 feet). Our design requires a building height of 7.62m (25' feet and 1/2") to the highest point of the structure.

105. RESIDENTIAL DISTRICT (R5)

[1.5.7 (2)] Height- Semi-D, 2 storey  
 sloping roof, 7.62 m (25 ft.)  
 flat roof, 6.1 m (20 ft.)

measured from the lower of the front average elevation or the rear average elevation to the highest point of the structure

#### Notes of Hardship

- 1) Our proposed semi-detached dwelling is being built on a sloped site. The R5 zoning requires we measure from "the lower of the front average elevation or the rear average elevation to the highest point of the structure". There is .83 m (2.75 feet) difference in height between the front and back of our house.
- 2) The Client wishes to make the ground floor of her house disabled accessible to age in place so that depressing the house into the slope would require lengthy ramps to access the ground floor and require the main floor to be below grade.
- 3) The building site is immediately next to the Kinder Morgan pipeline carrying aviation fuel to YVR. Any in ground excavation or disturbance requires review, approval and monitoring by Kinder Morgan.
- 4) The house which is being demolished to allow for this semi-detached dwelling is larger and taller than the proposed two family dwelling.
- 5) The survey information shows that our proposed building height is lower than its neighbours and smaller in mass and scale. Please reference our street scape drawings documenting these conditions. Included also please find surveys documenting these building elevations.
- 6) The building is being built using proprietary light gauge steel framing which requires floor and roof truss assemblies of greater depth than wood construction. Our ground floor ceiling height is 9 feet. Our Upper floor ceiling height is 8 feet. This is consistent with current, acceptable, housing design.

We have addressed the remainder of the concerns which you identified in your Building Permit review and will resubmit our drawings to you November 7 along with revised structural drawings, to follow by November 10.

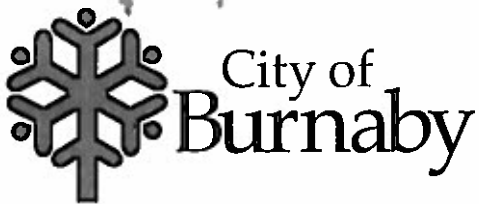
Please let us know if you require anything else to provide your referral letter to the Board of Variance.

We will attend the December 1, 2016, meeting of the Board of Variance to present our project to the Board.

Respectfully,

Charlie Maddison Architect AIBC OAA  
Partner Boni•Maddison Architects  
Regards,





### BOARD OF VARIANCE REFERRAL LETTER

<b>DATE:</b> November 8, 2016	<b>DEADLINE:</b> Nov 08, 2016 for the Dec 1, 2016 hearing	<i>This is <u>not</u> an application. Please take letter to Board of Variance. (Clerk's office - Ground Floor)</i>	
<b>NAME OF APPLICANT:</b> Davida Dee (Boni-Maddison Architects)			
<b>ADDRESS OF APPLICANT:</b> 3732 West Broadway			
<b>TELEPHONE:</b> 604-688-5894 ext 121			
<b>PROJECT</b>			
<b>DESCRIPTION:</b> New Two Family Dwelling with Detached Garage			
<b>ADDRESS:</b> 7729 / 7731 Rosewood Street			
<b>LEGAL:</b>	<b>LOT:</b> 4	<b>DL:</b> 90	<b>PLAN:</b> 13173

The above mentioned application, which includes the attached plan of the proposal, has been refused by the Building Department on the basis of contravention of:

**Zone/Section(s) R5 [105.7(2)(c)]**  
of the Burnaby Zoning Bylaw No. 4742

**COMMENTS:**

The applicant is proposing to build a new two family dwelling. The following relaxations are being requested:

1. To vary Section 105.7(2)(c) – “Height of Principal Building” of the Zoning Bylaw from 20 ft. to 24.79 ft. The purpose of this variance is to allow construction of the proposed two family dwelling with a flat roof to exceed the permitted maximum building height, as measured from the rear average elevation
2. To vary Section 105.7(2)(c) – “Height of Principal Building” of the Zoning Bylaw from 20 ft. to 22.04 ft. The purpose of this variance is to allow construction of the proposed two family dwelling with a flat roof to exceed the permitted maximum building height, as measured from the front average elevation.

*Note: The applicant recognizes that should the project contain additional characteristics in contravention of the zoning by-law a future appeal(s) may be required.*

IV

*Kushnir*

Peter Kushnir  
Deputy Chief Building Inspector



**JOB #16-07 PROJECT: ROSEWOOD STREET 2-FAMILY SEMI-DETACHED  
7728/7731 ROSEWOOD STREET, BURNABY, BC**

**PROJECT DATA**

Project Name: 7728/7731 Rosewood St. 2-Family Semi-Detached  
City: Burnaby, BC  
Project Number: 16-07  
Client: [Redacted]  
Architect: [Redacted]  
Date: [Redacted]  
Scale: 1/2" = 1'-0"

**ZONING**

**RS - RESIDENTIAL SEMI-DETACHED**  
Minimum Lot Area: 10,000 sq. ft.  
Minimum Front Setback: 10 ft.  
Minimum Side Setback: 5 ft.  
Minimum Rear Setback: 10 ft.  
Maximum Height: 35 ft.  
Maximum Floor Area: 10,000 sq. ft.  
Maximum Lot Coverage: 40%  
Maximum Density: 20 units per acre

**PERMIT DATA**  
Project Name: 7728/7731 Rosewood St. 2-Family Semi-Detached  
City: Burnaby, BC  
Project Number: 16-07  
Client: [Redacted]  
Architect: [Redacted]  
Date: [Redacted]  
Scale: 1/2" = 1'-0"

**CONSTRUCTION**  
Foundation: [Redacted]  
Walls: [Redacted]  
Roof: [Redacted]  
Flooring: [Redacted]  
Interior: [Redacted]  
Exterior: [Redacted]

**ENERGY REQUIREMENTS**  
Energy Code: 2015 BC Energy Code  
Envelope: [Redacted]  
HVAC: [Redacted]  
Water Heating: [Redacted]  
Lighting: [Redacted]  
Mechanical: [Redacted]

**PERMIT REQUIREMENTS**  
Permit Type: Building Permit  
Permit Fee: [Redacted]  
Permit Validity: 12 months  
Permit Conditions: [Redacted]

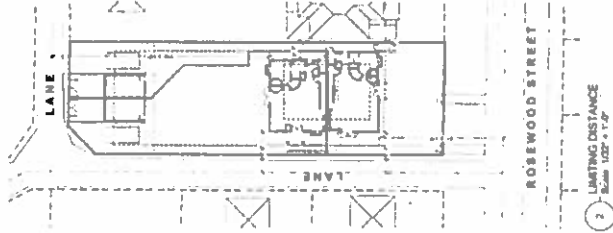
**NOTES**  
1. All construction shall conform to the 2015 BC Building Code.  
2. All materials shall be of good quality and installed in accordance with the manufacturer's instructions.  
3. All work shall be completed within the specified time frame.

**APPENDICES**  
Appendix A: [Redacted]  
Appendix B: [Redacted]  
Appendix C: [Redacted]  
Appendix D: [Redacted]  
Appendix E: [Redacted]

**DRAWINGS LIST**

1. SITE PLAN  
2. FLOOR PLAN  
3. ELEVATION  
4. SECTION  
5. DETAIL  
6. CONSTRUCTION  
7. PERMIT  
8. ENERGY  
9. PERMIT REQUIREMENTS  
10. NOTES  
11. APPENDICES

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**LIMITING DISTANCE CALCULATIONS**

Item	Item Description	Item Value	Item Unit
1	East Elevation - Dwelling 'A' Fire Compartment	10.0	ft
2	East Elevation - Dwelling 'B' Fire Compartment	10.0	ft
3	West Elevation - Dwelling 'A' Fire Compartment	10.0	ft
4	West Elevation - Dwelling 'B' Fire Compartment	10.0	ft
5	South Elevation - Dwelling 'A' Fire Compartment	10.0	ft
6	South Elevation - Dwelling 'B' Fire Compartment	10.0	ft
7	North Elevation - Dwelling 'A' Fire Compartment	10.0	ft
8	North Elevation - Dwelling 'B' Fire Compartment	10.0	ft

**BUILDING CODE DATA**

Building Code: 2015 BC Building Code  
Section: 9.0.0.0  
Table: 9.0.0.0.1  
Item: 1.0

**BUILDING ENERGY REQUIREMENTS**

Energy Code: 2015 BC Energy Code  
Envelope: [Redacted]  
HVAC: [Redacted]  
Water Heating: [Redacted]  
Lighting: [Redacted]  
Mechanical: [Redacted]

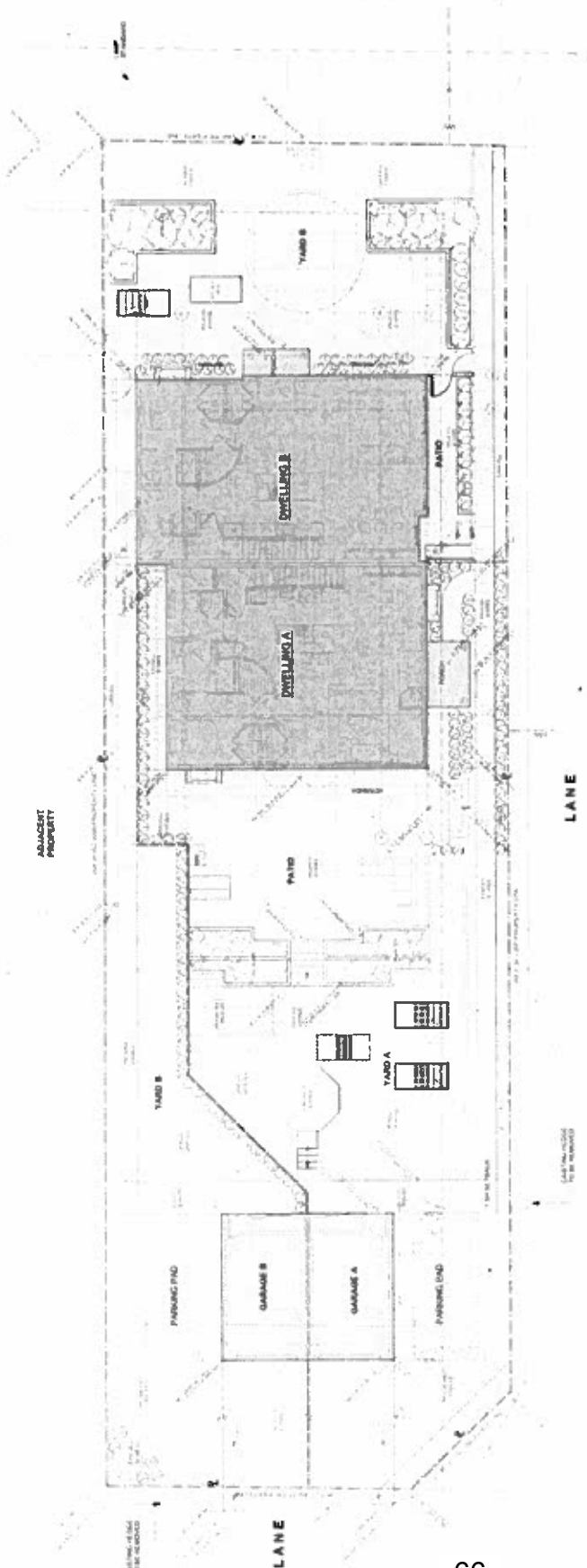
**NOTES**

1. All construction shall conform to the 2015 BC Building Code.  
2. All materials shall be of good quality and installed in accordance with the manufacturer's instructions.  
3. All work shall be completed within the specified time frame.

**APPENDICES**

Appendix A: [Redacted]  
Appendix B: [Redacted]  
Appendix C: [Redacted]  
Appendix D: [Redacted]  
Appendix E: [Redacted]





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SITE LANDSCAPE PLAN  
Scale 1/8" = 1'-0"

ROSEWOOD STREET

1. 11/24/16 BY REVISED

A. 08/17/16 - GRABED FOR BP

BONI-MADDISOI Architects

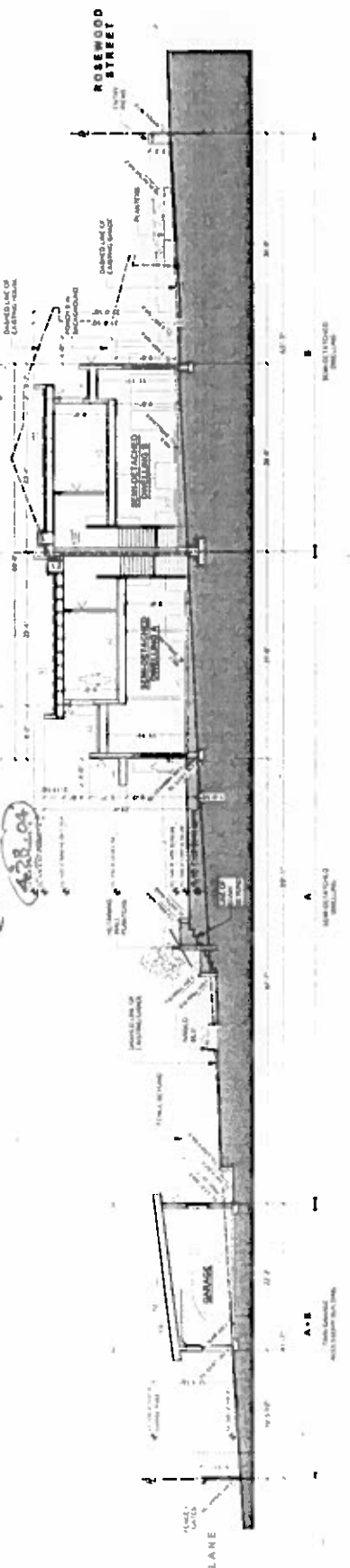
1712 West Broadway  
Vancouver, B.C. V6J 1C1  
T: 604-683-1094  
F: 604-683-1095  
E: info@bonimaddiso.com

TWO-FAMILY SEMI-D  
7728 / 7731 ROSEWOOD  
BURNABY, B.C.

SITE PLAN (LANDSCAPE)

PROJECT	DO	DATE
SCALE	1/8" = 1'-0"	A2.3
DATE	10/27	10/27
DATE	10/27	10/27

3.(e)



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SITE SECTION  
 Scale 1/8" = 1'-0"

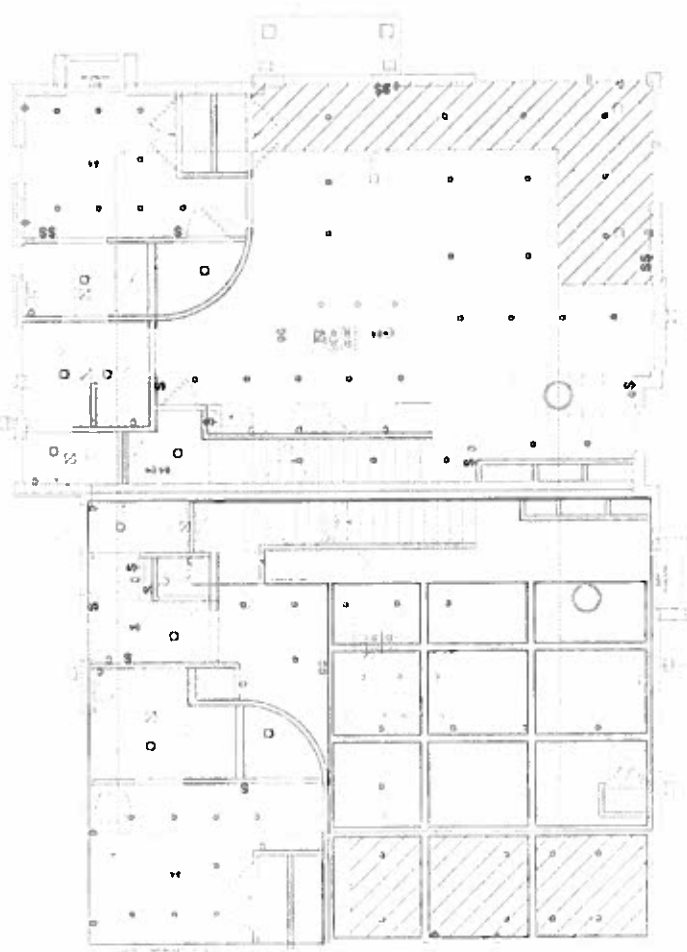
BONI - MADDISO  
 Architects  
 1712 Wood Street  
 Birmingham, AL 35203  
 T 205.465.1544  
 F 205.465.1544  
 E. albert.bonni@maddiso.com

TWO-FAMILY SEMI-D  
 1728/1731 ROSEWOOD  
 BIRMINGHAM, B.C.  
 SITE SECTION

DATE	10/12/16	BY	
SCALE	1/8" = 1'-0"		
PROJECT	A24		

3.(e)

11-2-11



1	DOUBLE FLU
2	LIGHT CONTROL
3	3" TYPICAL LIGHT
4	WALL MOUNTED DOWNLIGHT
5	5" POT LIGHT
6	5" POT LIGHT
7	CORNER REFLECTOR
8	LINEAR REFLECTOR
9	REAR REFLECTOR
10	REAR REFLECTOR
11	REAR REFLECTOR
12	REAR REFLECTOR
13	REAR REFLECTOR
14	REAR REFLECTOR
15	REAR REFLECTOR
16	REAR REFLECTOR
17	REAR REFLECTOR
18	REAR REFLECTOR
19	REAR REFLECTOR
20	REAR REFLECTOR

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 NOV 08 2016  
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GROUND FLOOR REFLECTED CEILING PLAN  
 Scale 1/4" = 1'-0"

**A. BENTLEY GROUP FOR BP**  
 1712 West Broadway  
 Vancouver, B.C. V6J 1K1  
 Tel: 604-683-5894  
 Fax: 604-683-5895  
 E: info@bentleygroup.com

**BONI-MADDISON Architects**  
 1712 West Broadway  
 Vancouver, B.C. V6J 1K1  
 Tel: 604-683-5894  
 Fax: 604-683-5895  
 E: info@bonimaddison.com

**TWO-FAMILY SEMI-D**  
 1779 / 1731 ROSEWOOD  
 BURNABY, B.C.

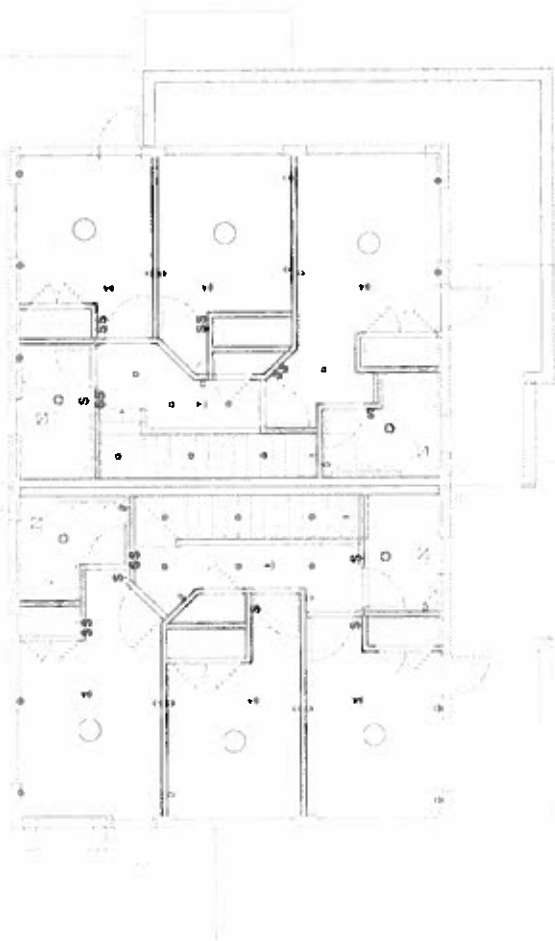
**GROUND FLOOR RCP**

DATE	11-2-11
BY	11-2-11
SCALE	1/4" = 1'-0"
PROJECT	1779 / 1731 ROSEWOOD
ARCH	11-2-11

3.(e)

2

1	DOUBLE PLUG
2	LIGHT CONTROL
3	STANDARD LIGHT
4	WALL MOUNTED LIGHT
5	3' POST LIGHT
6	CEILING RECURVE
7	WALL RECURVE
8	WALL RECURVE
9	WALL RECURVE
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11	WALL RECURVE
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99	WALL RECURVE
100	WALL RECURVE



SECOND FLOOR REFLECTED CEILING PLAN  
Scale: 1/4" = 1'-0"

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A 304 THE 304TH ST  
BURNABY, B.C.  
V5C 2H8  
TEL: 604-291-1111  
FAX: 604-291-1112  
WWW.BONIMADDISO.COM

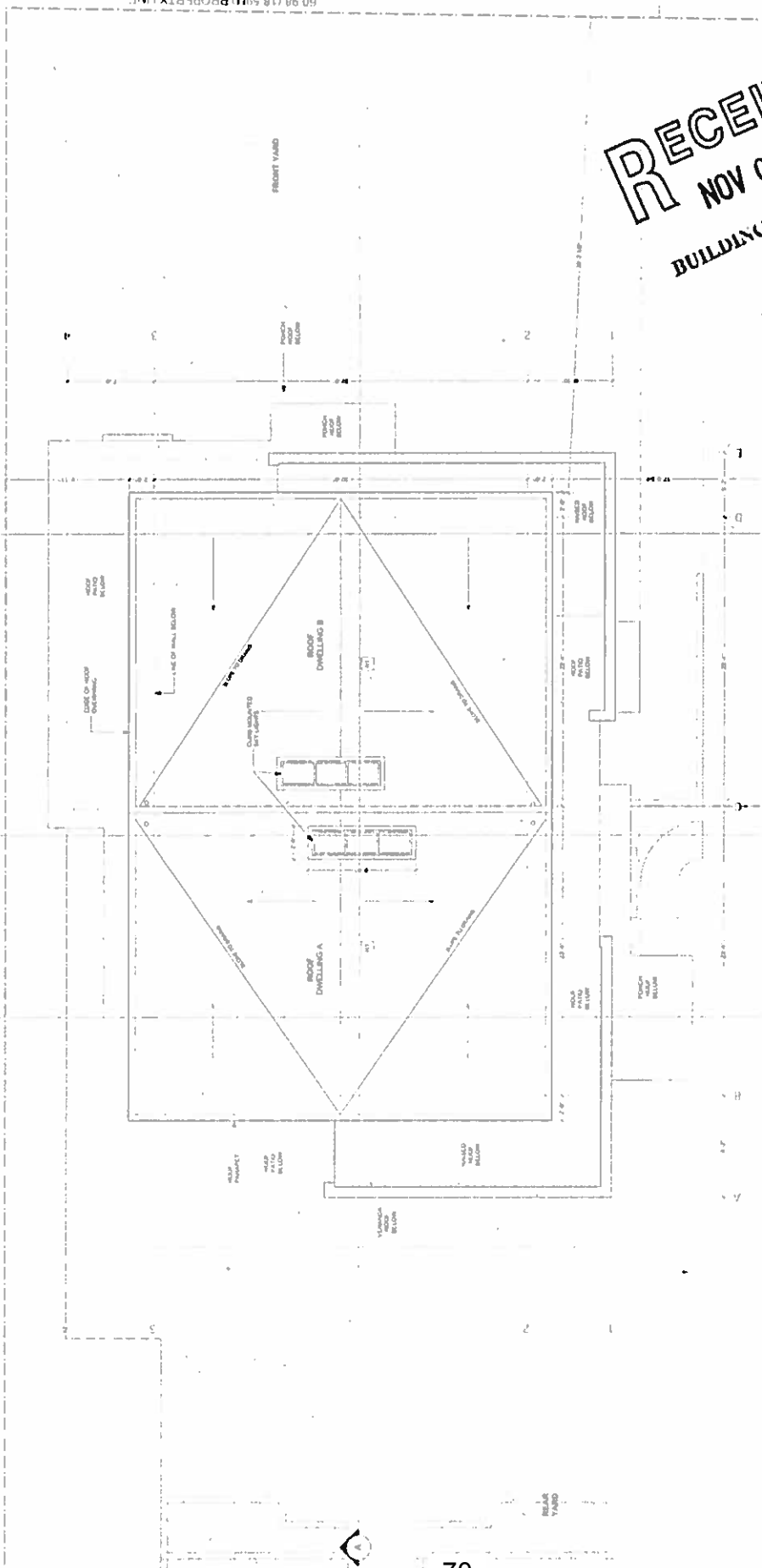
**BONI-MADDISO Architects**  
1312 West Burnaby St.  
Burnaby, B.C. V5C 2C1  
TEL: 604-291-1111  
FAX: 604-291-1112  
WWW.BONIMADDISO.COM

**TWO-FAMILY SEMI-D**  
7728 / 7731 ROSEWOOD  
BURNABY, B.C.  
SECOND FLOOR RCP

3.(e)



204.38 (62.30M) PROPERTY LINE



60.98 (18.59M) PROPERTY LINE

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(57.72M) PROPERTY LINE

ROOF PLAN  
Scale: 1/4" = 1'-0"



1 11/8/16 0P REVISIONS

A 09/1/16 ISSUED FOR AP

**BONI - MADDISON Architects**  
312 West Broadway  
Portland, ME 04101  
T 603.683.5994  
F 603.683.5995  
E info@bonimaddison.com

THO-FAMEL Y SEUL D  
777777 ROSEWOOD  
BURNABY, B.C.

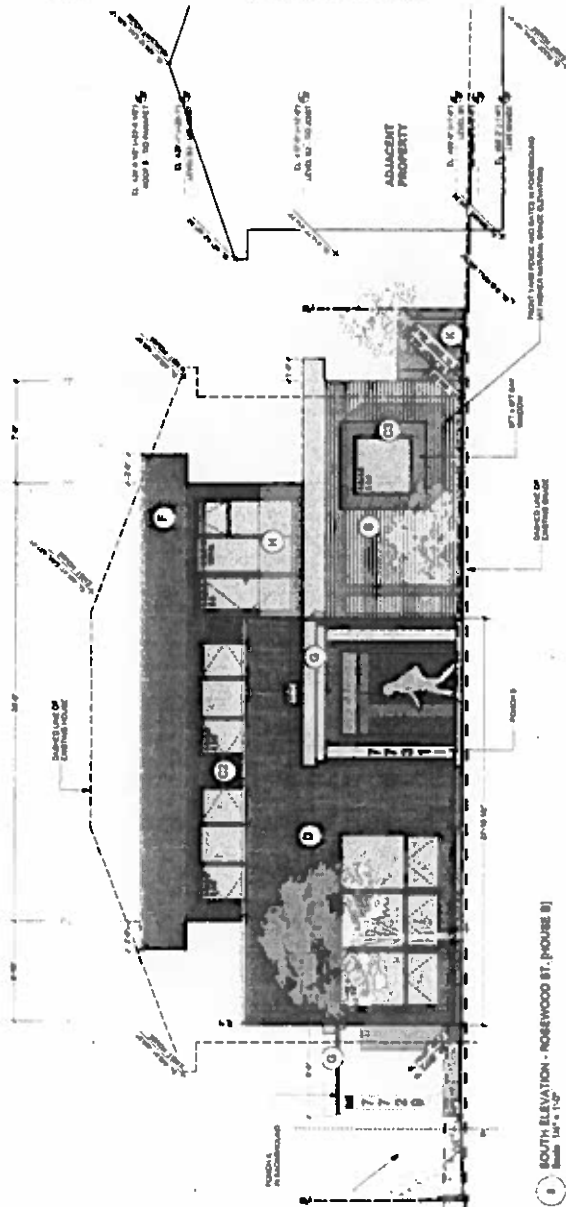
ROOF PLAN

A33

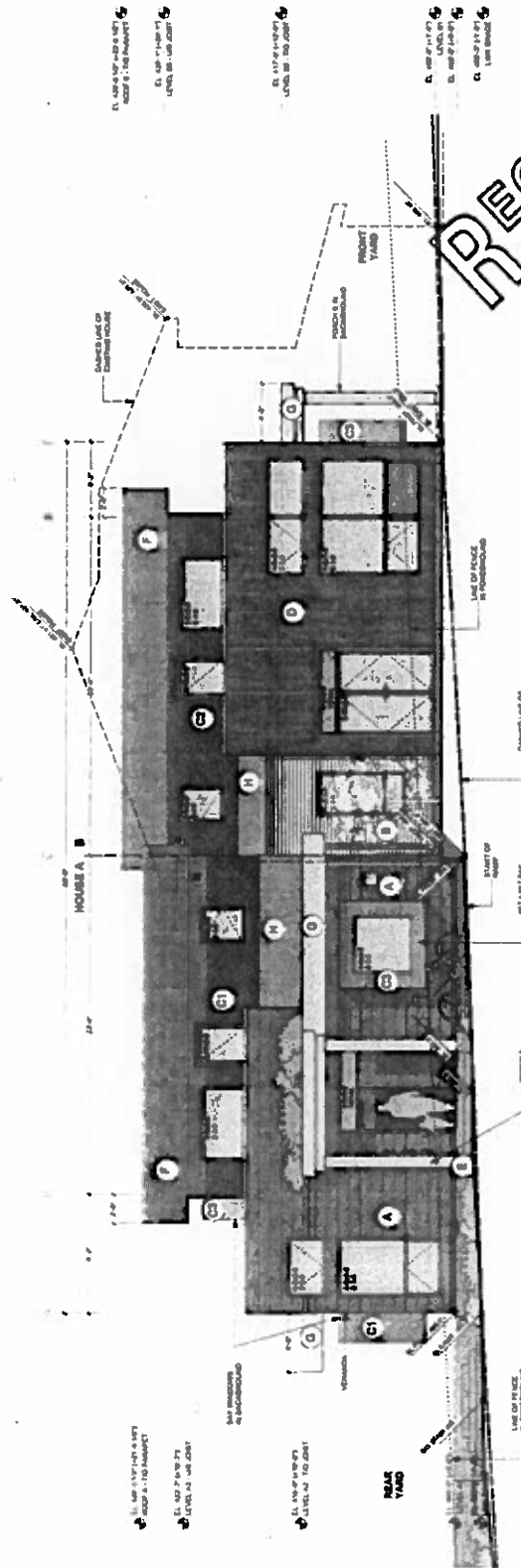
3.(e)

EXTERIOR FINISHES:

- A. FIBRE CEMENT PLANK LAP BONDING (white cement)
- B. FIBRE CEMENT PLANK LAP BONDING (grey cement)
- C. FIBRE CEMENT PANEL VERTICAL BONDING W/ REVEAL SYSTEM - VARIOUS COLOURS
- D. WOOD LOOK METAL PANEL W/ REVEAL SYSTEM
- E. LEDGESTONE
- F. ROOF FASCIA - FIBRE CEMENT PANEL W/ REVEAL SYSTEM
- G. METAL FASCIA - VERANDA - STEPPED PROFILE
- H. GLASS MIRRORAL
- J. WINDOW - DOOR FRAMES - GREY
- K. FENCE MATERIAL



8 SOUTH ELEVATION - ROSEWOOD ST. (HOUSE B)  
Scale: 1/4" = 1'-0"



9 WEST ELEVATION - SIDE LANE  
Scale: 1/4" = 1'-0"

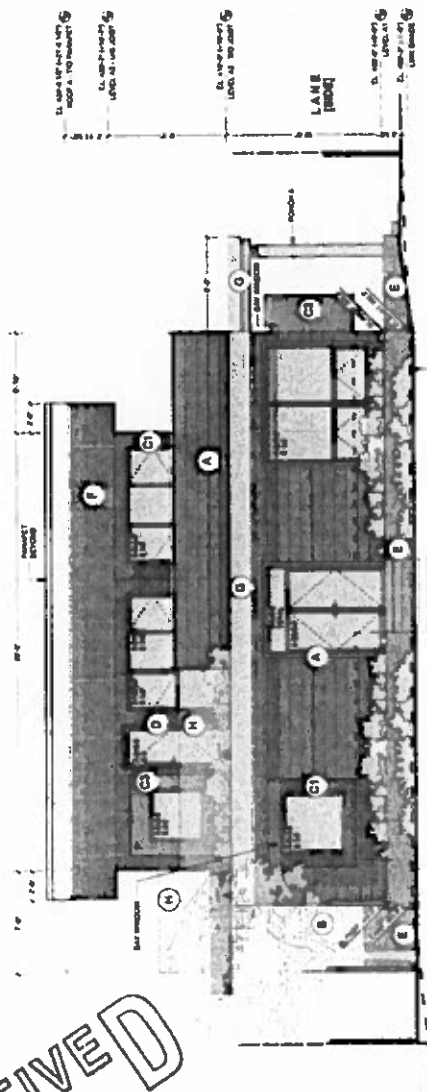
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NOV 08 2016  
BUILDING DEPARTMENT

<p>1. 11/04/16 10:00 AM</p> <p>A. 10/11/16 10:00 AM</p>		<p>7772 Wood Blenheim Vancouver, B.C. V6M 3C1 Tel: 604 444 5899 Fax: 604 444 5899 E: info@boni-maddison.com</p>	<p>PROJECT: TWO-FAMILY SEMI-D 7728 / 7731 ROSEWOOD BURNABY, B.C. ELEVATION: S-W</p>	<p>DATE: 11/04/16 DRAWN: A5.1 CHECKED: A5.1 SCALE: 1/4" = 1'-0"</p>
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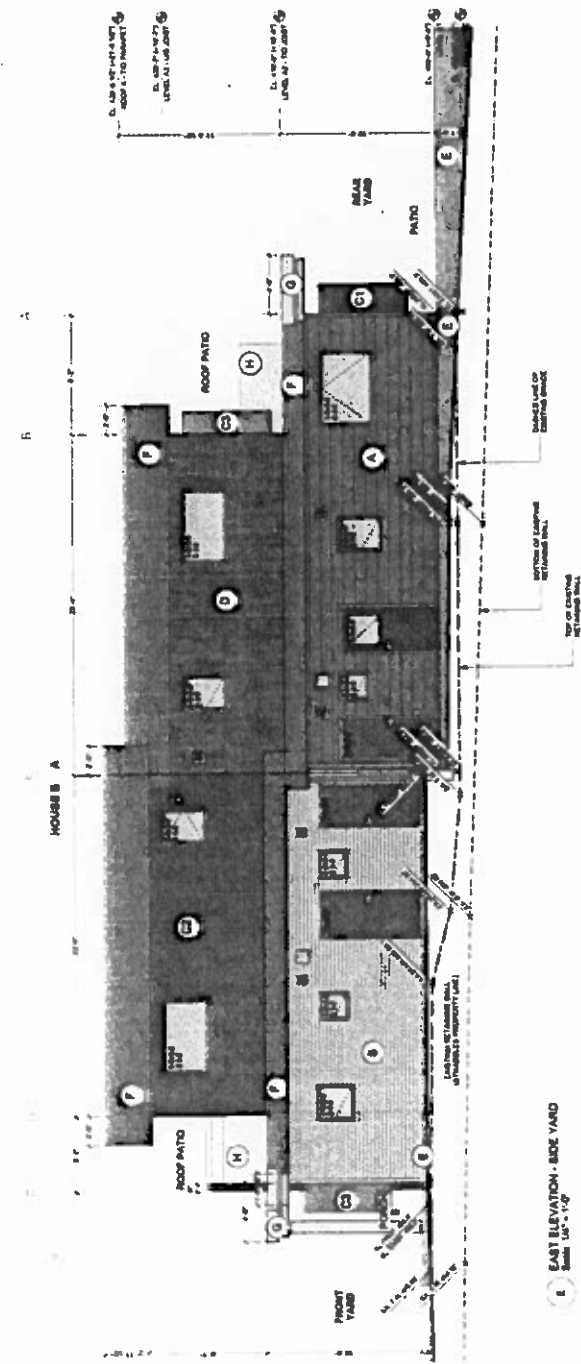


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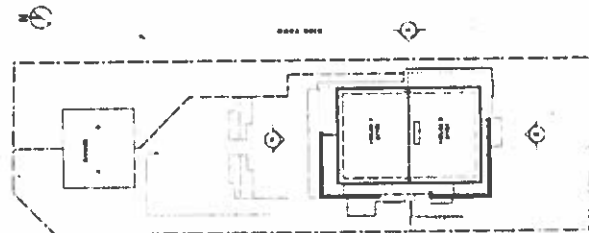
- EXTERIOR FINISHES:**
- A FIBRE CEMENT PLANK LAP SIDING (white finish)
  - B FIBRE CEMENT PLANK LAP SIDING (pewee finish)
  - C FIBRE CEMENT PANEL VERTICAL SIDING W/ REVEAL SYSTEM - VARIOUS COLOURS
  - D WOOD LOOK METAL PANEL W/ REVEAL SYSTEM
  - E LEDGESTONE
  - F ROOF FASCIA FIBRE CEMENT PANEL W/ REVEAL SYSTEM
  - G METAL FASCIA VERANDA - STEPPED PROFILE
  - H GLASS HANDRAIL
  - J WINDOW - DOOR FRAMES - GREY
  - K FENCE MATERIAL



**NORTH ELEVATION - REAR YARD (HOUSE A)**  
 Scale: 1/4" = 1'-0"



**EAST ELEVATION - SIDE YARD**  
 Scale: 1/4" = 1'-0"

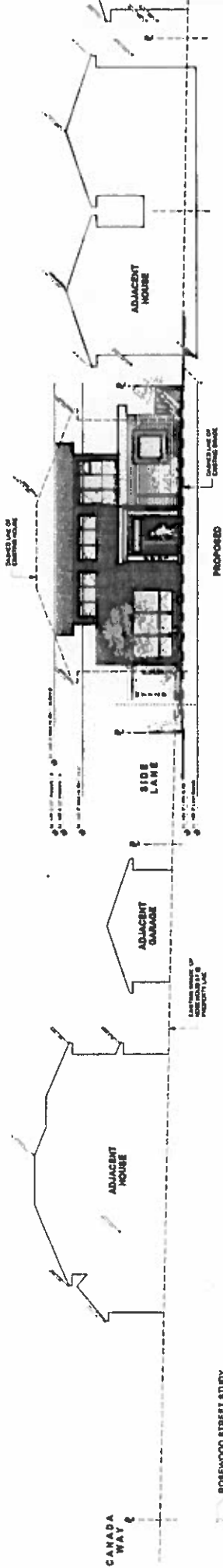


<b>1. NOTES - REVISIONS</b> 1. 11/04/16 - 1P REVISIONS 2. 11/04/16 - 1P REVISIONS		<b>2. SITE PLAN - 11/04/16 FOR 1P</b> 1. 11/04/16 - 1P REVISIONS 2. 11/04/16 - 1P REVISIONS	
<b>BONI - MADDOX Architects</b> 1732 West Broadway Vancouver, B.C. V6J 1K1 P: 604 688 5499 E: boni-maddox@boni-maddox.com		<b>TWO-FAMILY SEMI-D</b> 7728 / 7731 ROSEWOOD BURNABY, B.C. ELEVATION: N/E	
DRAWN: [blank] CHECK: [blank] DATE: 11/04/16	PROJECT: [blank] SHEET: [blank] TOTAL: [blank]	SCALE: [blank] DATE: 11/04/16	SCALE: [blank] DATE: 11/04/16

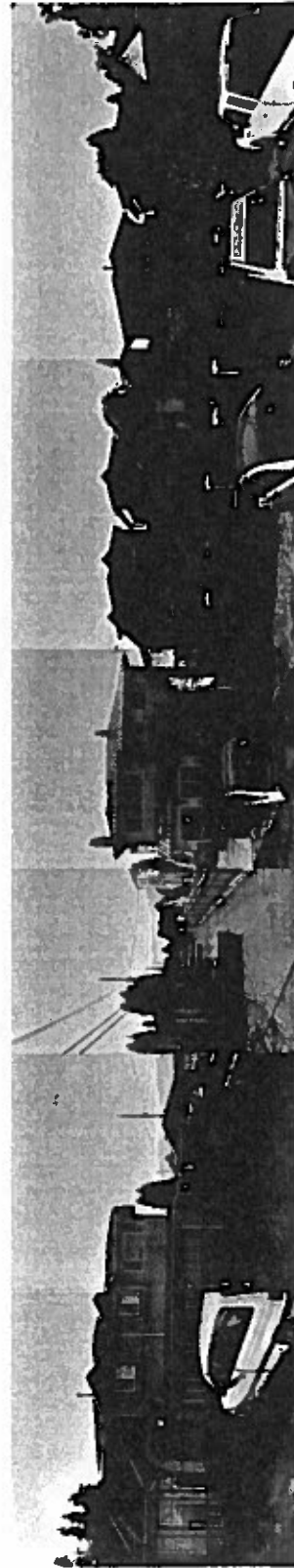
**3.(e)**

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BUILDING DEPARTMENT



1 ROSEWOOD STREET STUDY  
Scale: 1" = 10' - 0"



2 ROSEWOOD STREET SCENE: PHOTOMONTAGE EXISTING  
ADJACENT HOUSE  
(CORNER OF CANADA WAY)

A 11-0116-01 OF ADDITIONAL INFORMATION

BONI - MADDOISI  
Architects  
3732 Yonge Street  
Toronto, Ontario M4N 1M1  
T 416 463 5894  
F 416 463 5895  
E info@bonimaddoisi.com

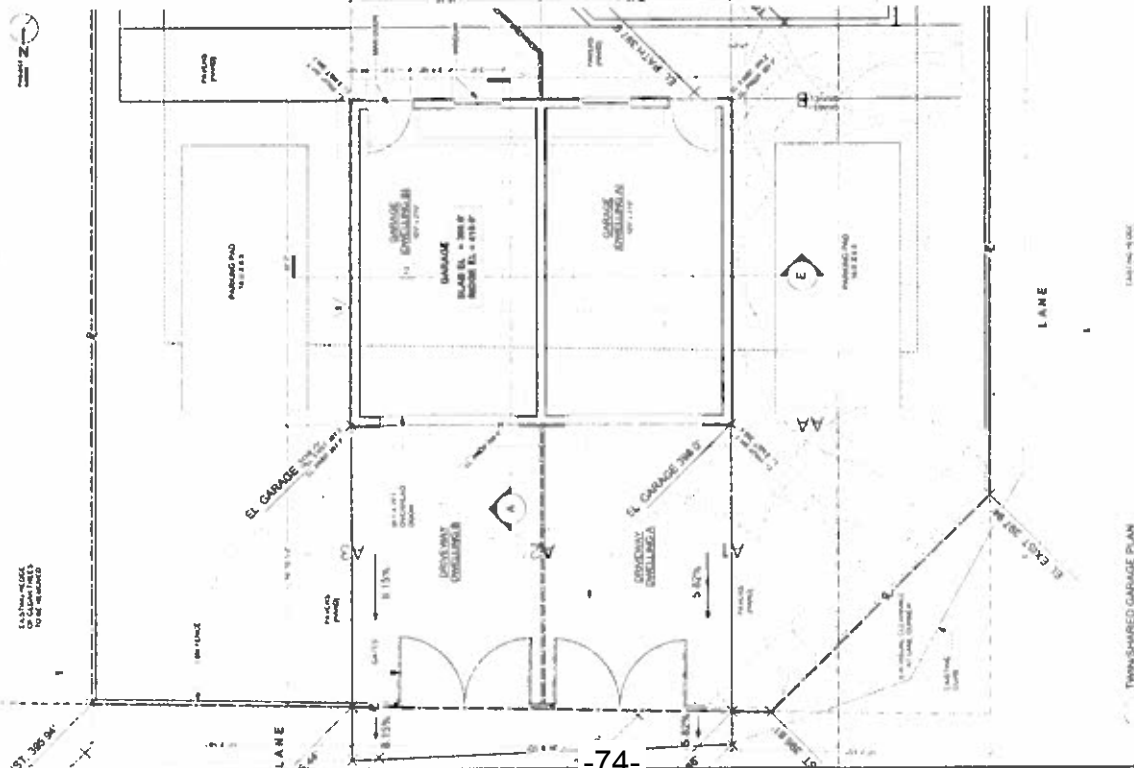
PROJECT  
TWO-FAMILY SEMI-D  
7728 / 7731 ROSEWOOD  
BURNABY B.C.  
BUILDING HEIGHT STUDY

DATE  
FEB 12, 2016

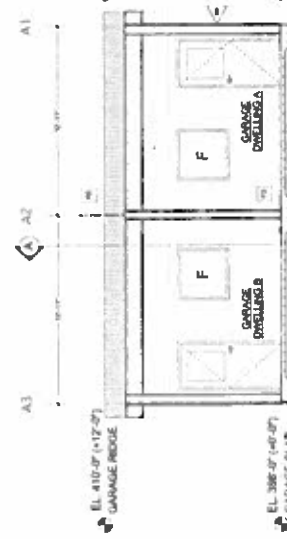
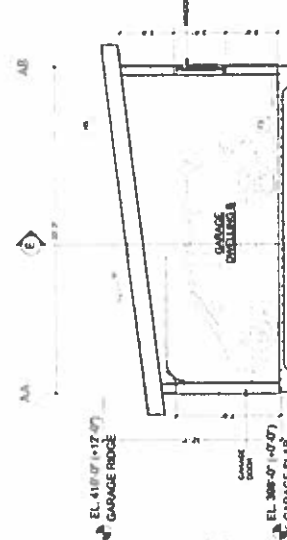
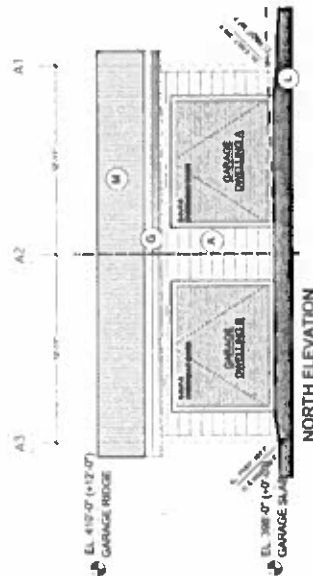
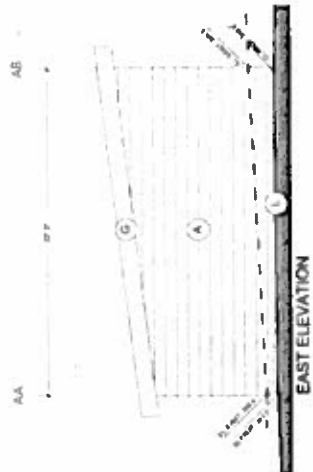
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BUILDING DEPARTMENT



- EXTENSION FINISHES:
- (A) FIBRE CEMENT PLANK LAP SIDING (white enamel)
  - (B) FIBRE CEMENT PLANK LAP SIDING (natural enamel)
  - (C) FIBRE CEMENT PANEL VERTICAL SIDING W/ REVEAL SYSTEM - VARIOUS COLOURS
  - (D) WOOD LOOK METAL PANEL W/ REVEAL SYSTEM
  - (E) LEDGESTONE
  - (F) ROOF FASCIA - FIBRE CEMENT PANEL W/ REVEAL SYSTEM
  - (G) METAL FASCIA - VERANDA - STEPPED PROFILE
  - (H) GLASS HANDRAIL
  - (J) WINDOW - DOOR FRAMES - GREY
  - (K) FENCE MATERIAL
  - (L) CONCRETE BASE
  - (M) METAL SLOPED ROOFING



SECTION A-A

SECTION E-E

BONI - MADDISO  
Architects

7721 West Burnaby  
Burnaby B.C. V5A 3K1  
Tel: 604-465-1000  
Fax: 604-465-1001  
E: info@bonimaddiso.com

TWO-FAMILY SEMI-D  
7729 / 7731 ROSEWOOD  
BURNABY B.C.

GARAGE

DATE	DESCRIPTION	BY
2016.10.20	REVISED	BM
2016.10.20	REVISED	BM
2016.10.20	REVISED	BM

3.(e)

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BUILDING DEPARTMENT

**3.(e)**

# **Project Manual #2**

**Building Envelope and  
*Architectural Details***

**TWO-FAMILY SEMI DETACHED  
DWELLINGS  
AT  
7729/7731 ROSEWOOD STREET,  
BURNABY, B.C.**

Direct all inquiries to:

**CHARLIE MADDISON, MAIBC**

Boni•Maddison Architects

(604) 688-5894 ex.112

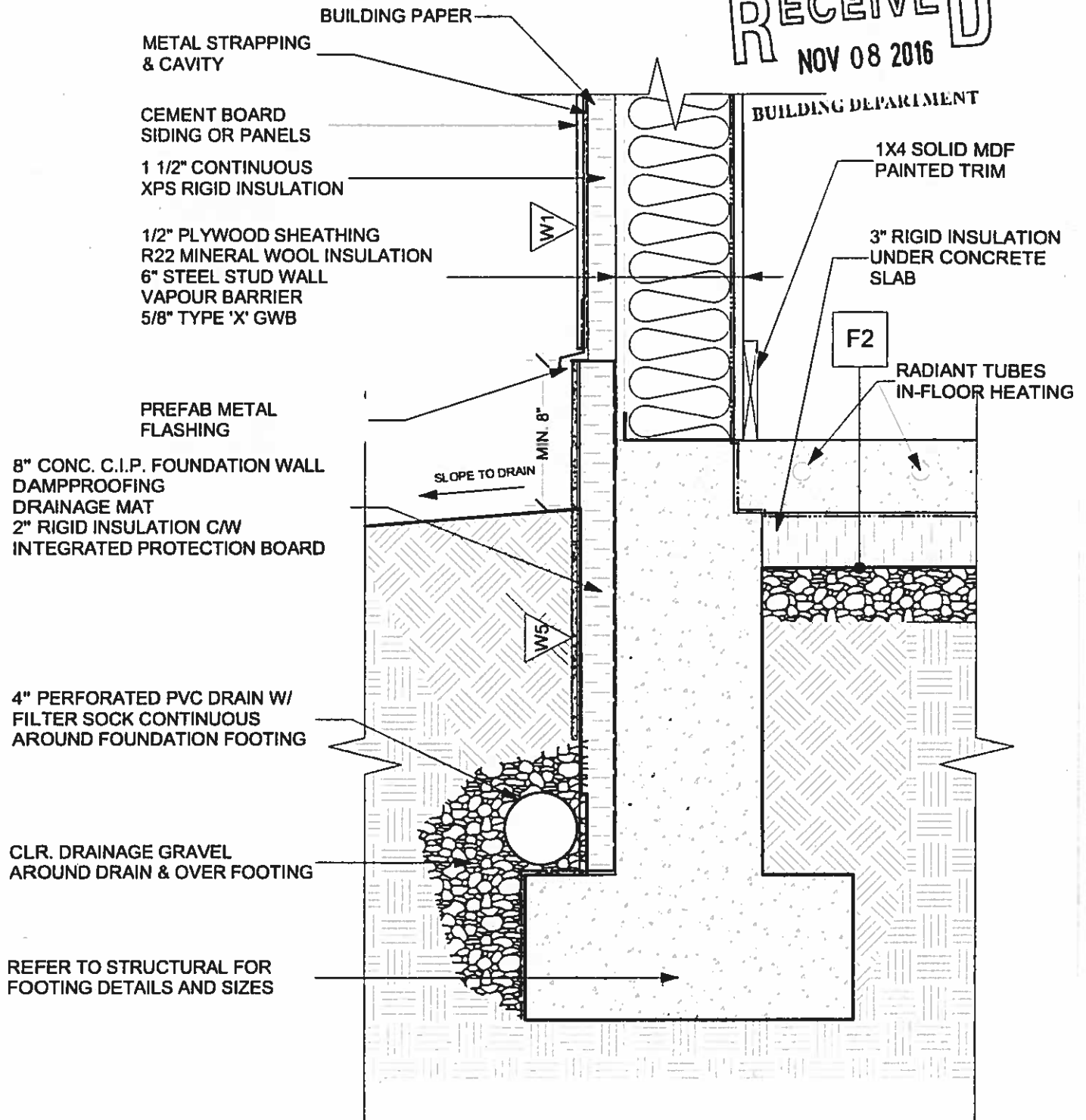


**Project Manual #2**

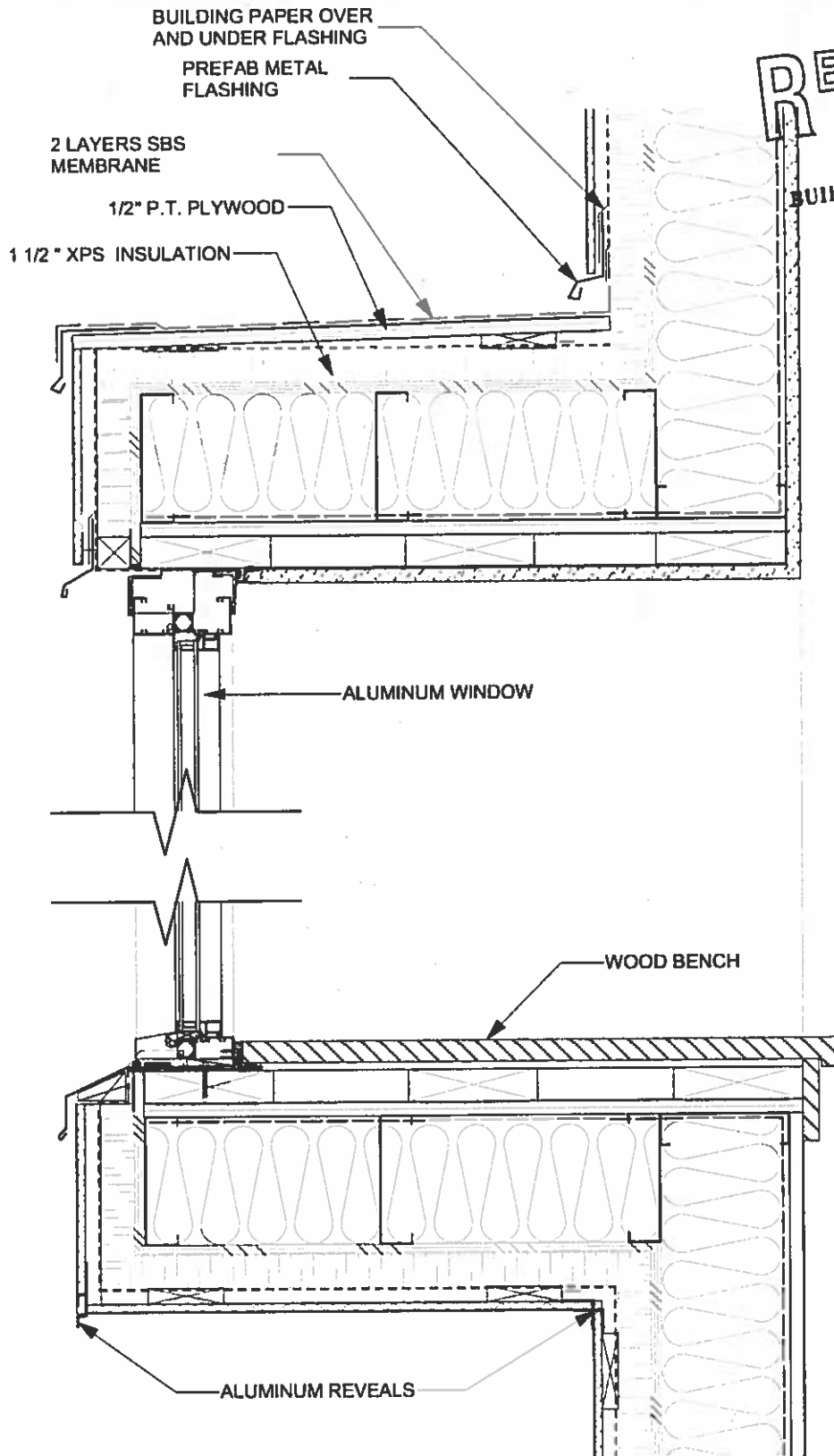
Issued for Building Permit, June 03, 2016

Revised Nov 08, 2016

**RECEIVED**  
NOV 08 2016



<b>BONI-MADDISON</b> <b>Architects</b> 3732 West Broadway, Vancouver, B.C., V6R 2C1 T: 604 688 5894 F: 604 688 5899	<b>TITLE:</b> FOUNDATION WALL (TYP)		<b>JOB N°:</b> 16-07		<b>DATE:</b> MAY 2016
	<b>PROJECT:</b> TWO-FAMILY SEMI-D 7729/7731 ROSEWOOD ST. BURNABY, BC		<b>REVISIONS:</b> 1 11/8/16 BP REVISIONS A 06/03/16 ISSUED FOR BP		<b>DRAWING N°:</b> D1.01
			<b>SCALE:</b> 1.5"=1'-0"		
			<b>DRAWN:</b> TG		

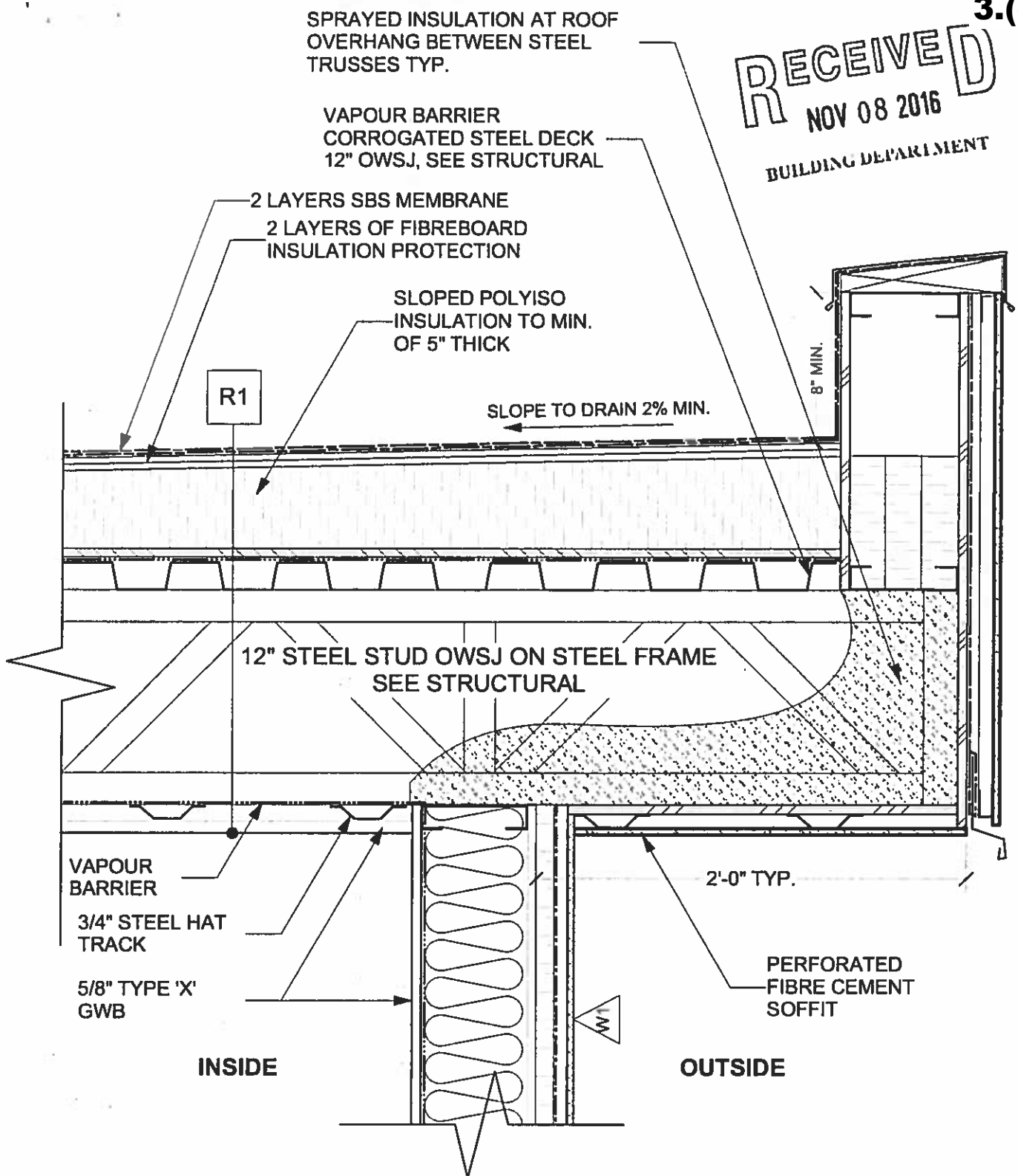


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 NOV 08 2016  
 BUILDING DEPARTMENT

<b>BONI-MADDISON</b> <b>Architects</b> 3732 West Broadway, Vancouver, B.C., V6R 2C1 T: 604 688 5894 F: 604 688 5899	<b>TITLE:</b> BAY WINDOW DETAIL		<b>JOB N°:</b> 16-07	<b>DATE:</b> MAY 2016
	<b>PROJECT:</b> TWO-FAMILY SEMI-D 7729/7731 ROSEWOOD ST. BURNABY, BC		<b>REVISIONS:</b> 1 11/8/16 BP REVISIONS	<b>DRAWING N°:</b>
			A 06/03/16 ISSUED FOR BP	<b>SCALE:</b> 1.5"=1'-0"
	-77-		<b>ISSUES:</b>	<b>DRAWN:</b> TG <b>D1.02</b>

3.(e)

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NOV 08 2016  
BUILDING DEPARTMENT



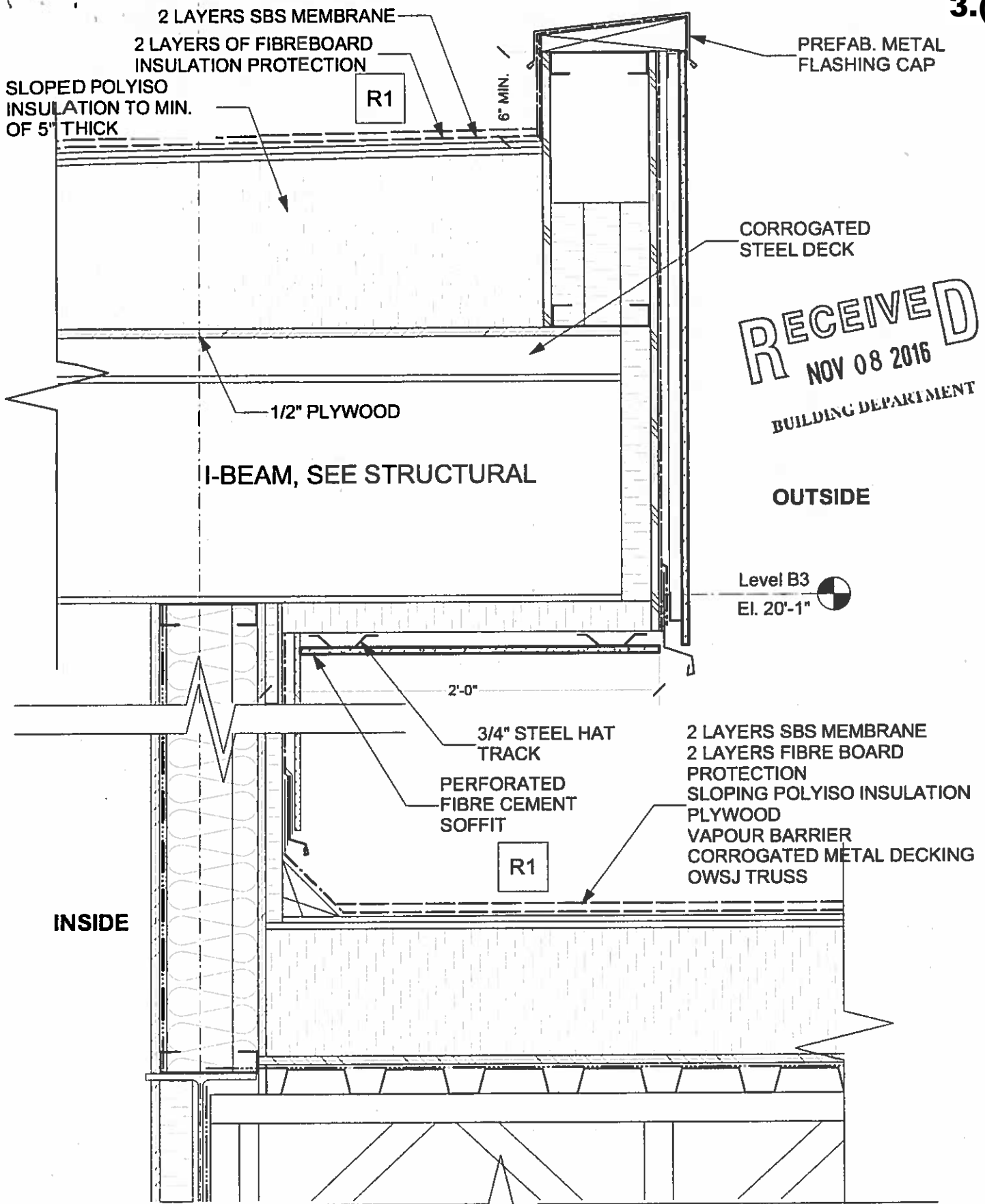
**SECTION THRU ROOF OVERHANG**

Scale: 1 1/2" = 1'-0"

1

<b>BONI-MADDISON</b> Architects  3732 West Broadway, Vancouver, B.C., V6R 2C1 T: 604 688 5894 F: 604 688 5899	<b>TITLE:</b> TYP. ROOF OVERHANG @ OWSJ		<b>JOB N°:</b> 16-07	<b>DATE:</b> MAY 2016
	<b>PROJECT:</b> TWO-FAMILY SEMI-D 7729/7731 ROSEWOOD ST. BURNABY, BC -78-		<b>REVISIONS:</b>  A 06/03/16 ISSUED FOR BP	<b>DRAWING N°:</b>  D1.03
			<b>SCALE:</b> 1.5"=1'-0"	
			<b>DRAWN:</b> TG	

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**OUTSIDE**

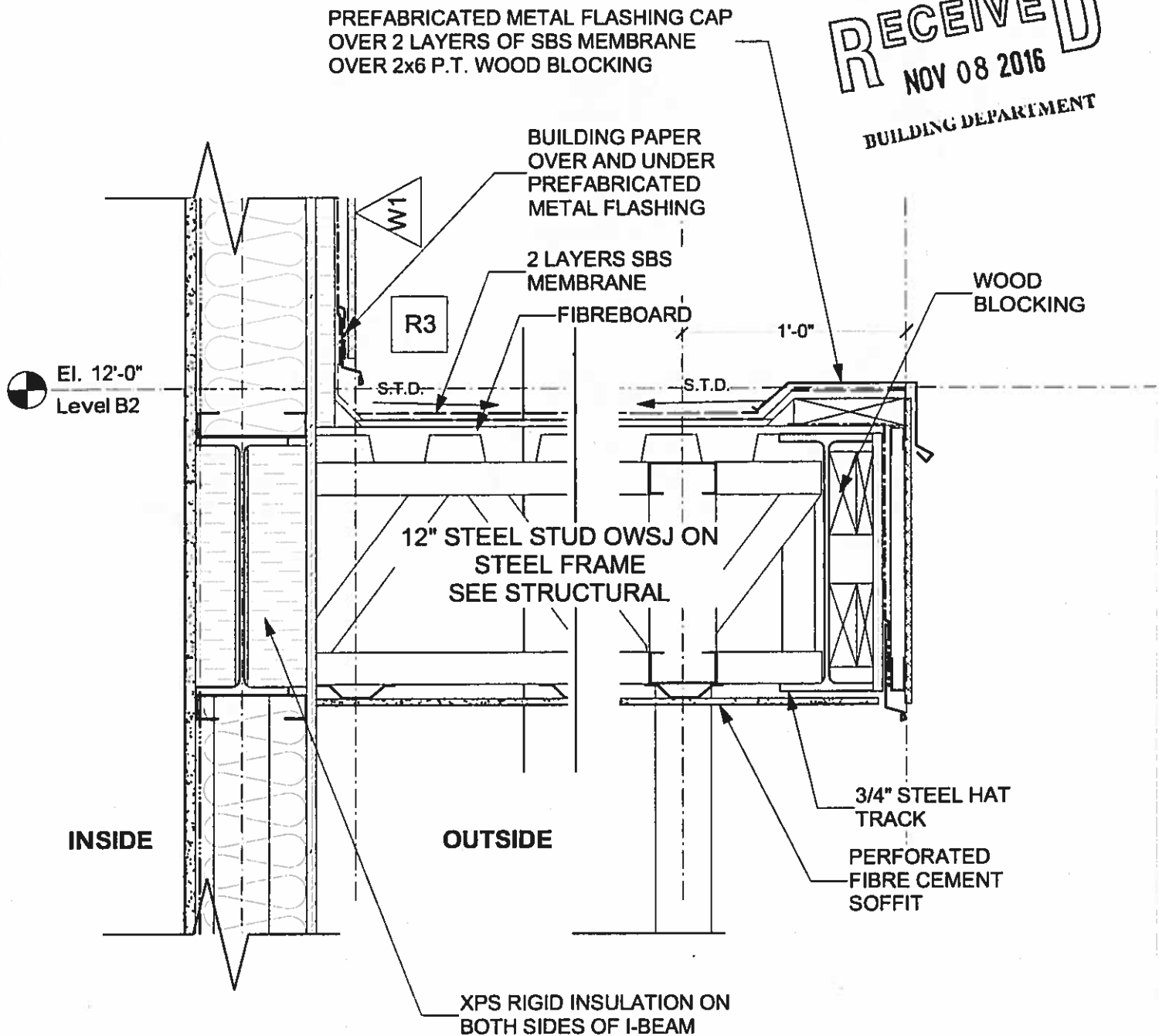
Level B3  
 El. 20'-1"

**INSIDE**

<b>BONI-MADDISON</b> Architects	<b>TITLE:</b> TYP. OWSJ @ I-BEAM	1 11/8/16 BP REVISIONS <b>REVISIONS:</b>	<b>JOB N°:</b> 16-07	<b>DATE:</b> MAY 2016
3732 West Broadway, Vancouver, B.C., V6R 2C1 T: 604 688 5894 F: 604 688 5899	<b>PROJECT:</b> TWO-FAMILY SEMI-D 7729/7731 ROSEWOOD ST. BURNABY, BC -79-	A 06/03/16 ISSUED FOR BP <b>ISSUES:</b>	<b>SCALE:</b> 1.5"=1'-0"	<b>DRAWING N°:</b>
			<b>DRAWN:</b> TG	<b>D1.04</b>

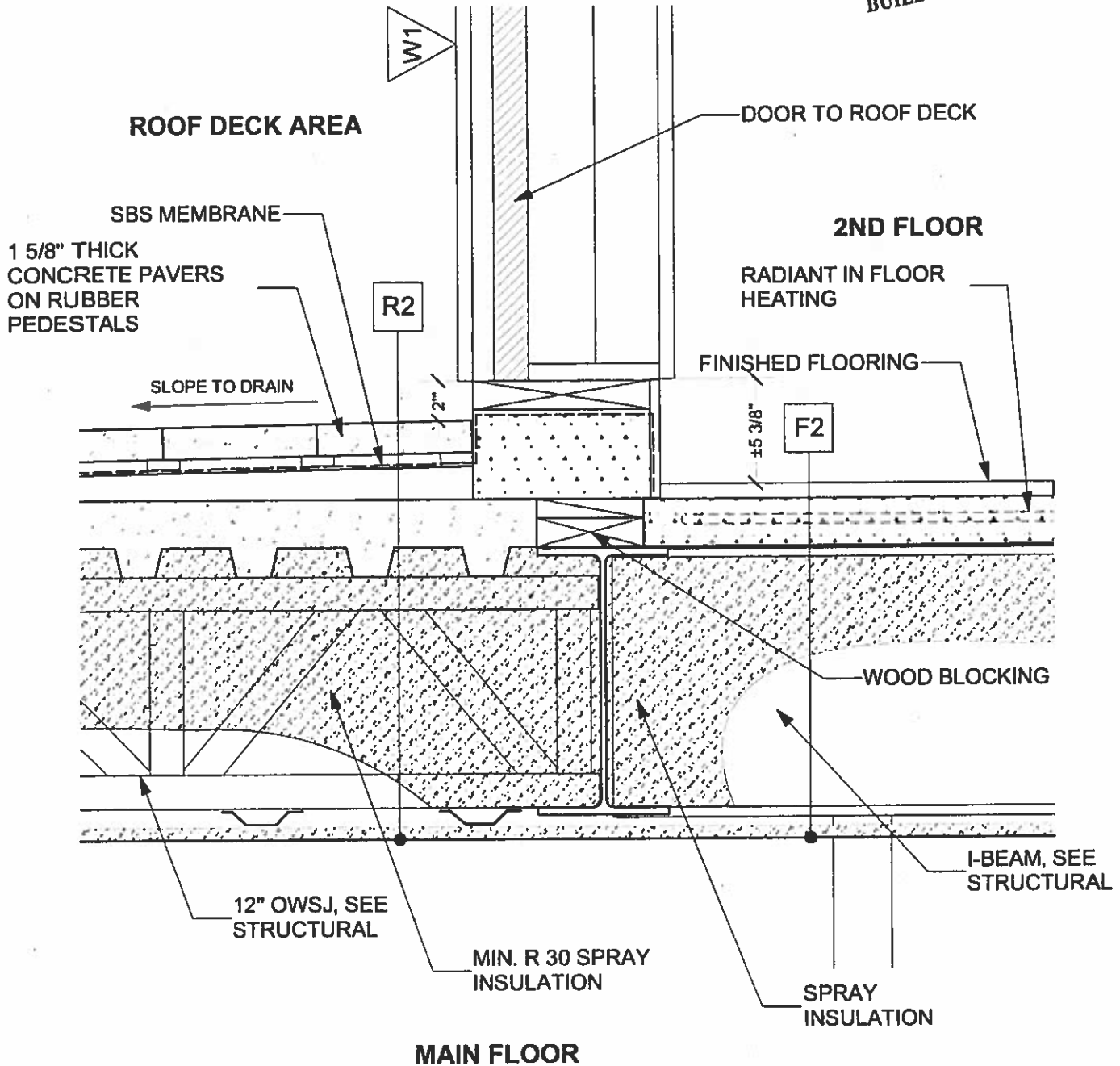


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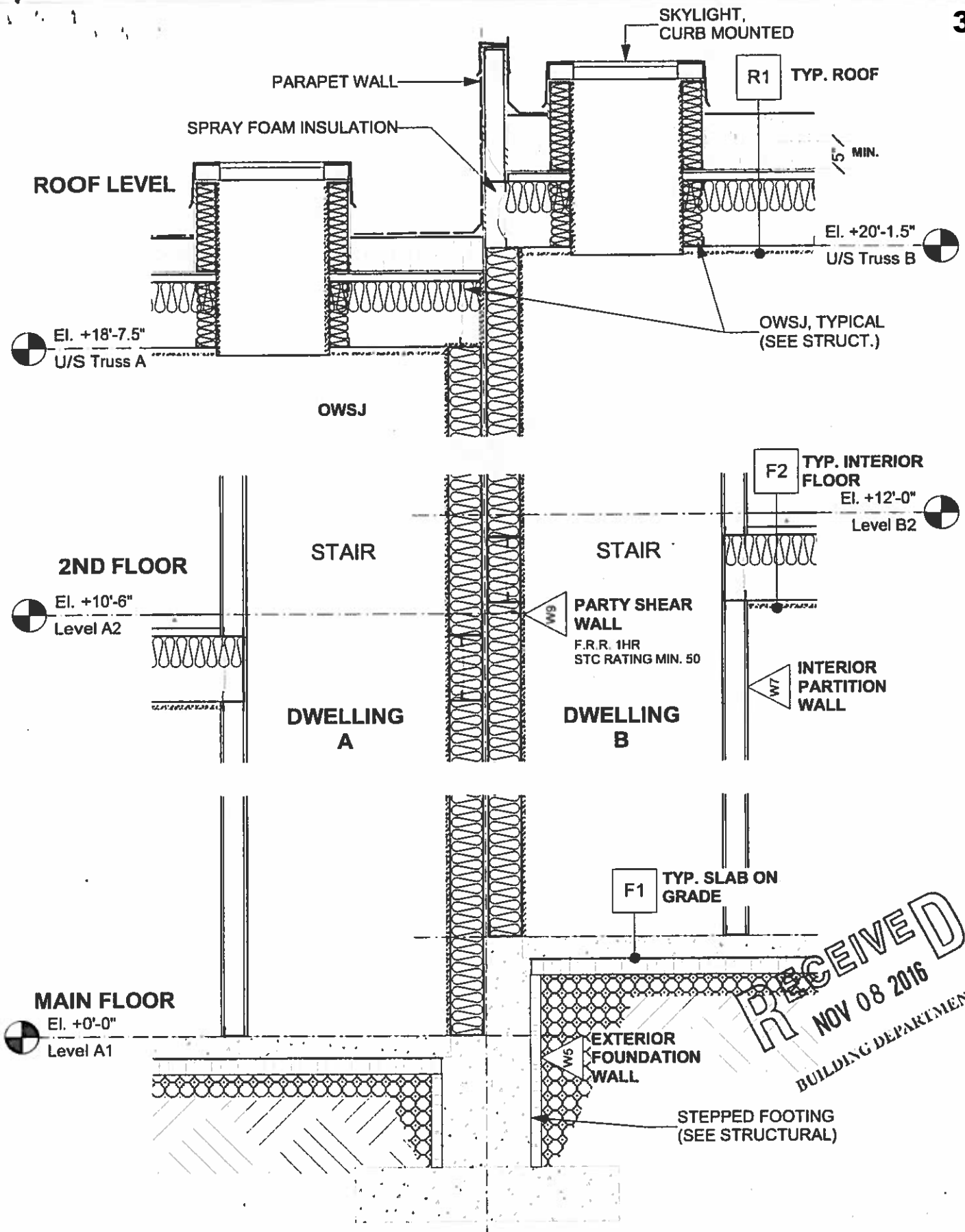


<b>BONI-MADDISON</b> <b>Architects</b>	<b>TITLE:</b> TYP. ENTRANCE PORCH	1 11/8/16 BP REVISIONS <b>REVISIONS:</b>	<b>JOB N°:</b> 16-07	<b>DATE:</b> MAY 2016
3732 West Broadway, Vancouver, B.C., V6R 2C1 T: 604 688 5894 F: 604 688 5899	<b>PROJECT:</b> TWO-FAMILY SEMI-D 7729/7731 ROSEWOOD ST. BURNABY, BC	A 06/03/16 ISSUED FOR BP <b>ISSUES:</b>	<b>SCALE:</b> 1.5"=1'-0"	<b>DRAWING N°:</b>
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<b>BONI-MADDISON</b> <b>Architects</b> 3732 West Broadway, Vancouver, B.C., V6R 2C1 T: 604 688 5894 F: 604 688 5899	<b>TITLE:</b> SECTION AT DECK DOOR		<b>JOB N°:</b> 16-07	<b>DATE:</b> MAY 2016
	<b>PROJECT:</b> TWO-FAMILY SEMI-D 7729/7731 ROSEWOOD ST. BURNABY, BC		<b>REVISIONS:</b> 1 11/8/16 BP REVISIONS	<b>DRAWING N°:</b> D1.06
	<b>ISSUES:</b> A 06/03/16 ISSUED FOR BP		<b>SCALE:</b> 1.5"=1'-0"	
	-81-		<b>DRAWN:</b> TG	



**BONI-MADDISON**  
**Architects**

3732 West Broadway,  
 Vancouver, B.C., V6R 2C1  
 T: 604 688 5894 F: 604 688 5899

**TITLE:**

**PARTY WALL**

**PROJECT:**

**TWO-FAMILY SEMI-D  
 7729/7731 ROSEWOOD ST.  
 BURNABY, BC**

**A 11/8/16 ADDITIONAL INFO  
 ISSUES:**

**JOB N°:**  
 16-07

**DATE:**  
 MAY 2016

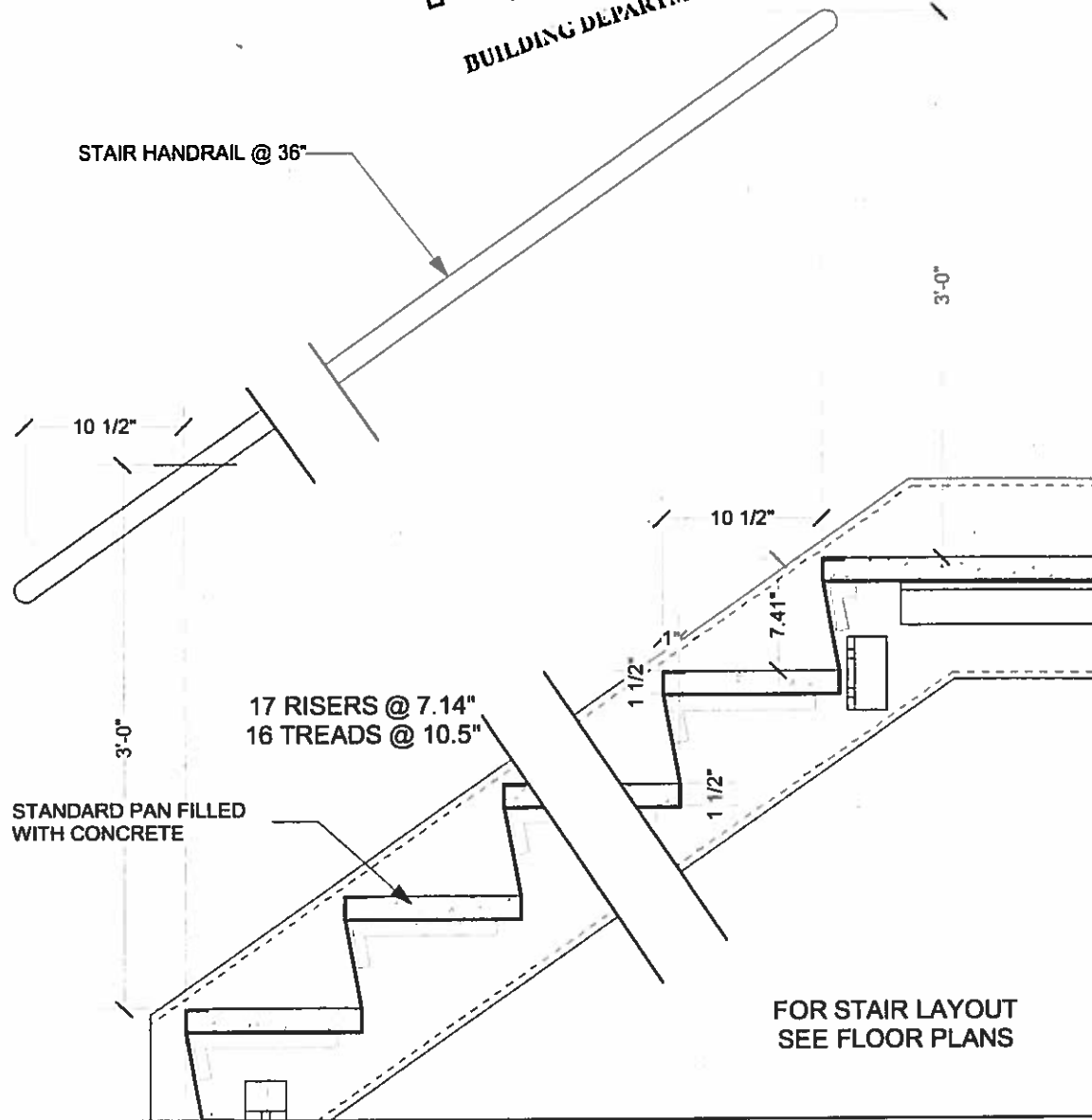
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**DRAWING N°:**

**DRAWN:**  
 TG

**D1.07**

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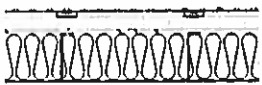
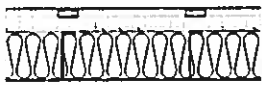
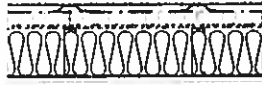
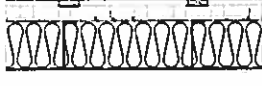


**1** **TYP. STEEL STAIR DETAIL**  
 Scale: 1" = 1'-0"

<div><div><div>BONI-MADDISON</div><div>Architects</div></div><div>3732 West Broadway, Vancouver, B.C., V6R 2C1 T: 604 688 5894 F: 604 688 5899</div></div>	TITLE:  STAIR DETAIL DECK DOOR		JOB N°: 16-07	DATE: MAY 2016
	PROJECT:  TWO-FAMILY SEMI-D 7729/7731 ROSEWOOD ST. BURNABY, BC	A 06/03/16ISSUED FOR BP ISSUES:	SCALE: 1"=1'-0"	DRAWING N°:
			DRAWN: TG	D3.01

# EXTERIOR WALL ASSEMBLIES:






3.(e)

W1a		<p><u>W1a EXTERIOR STEEL STUD WALL W/ CEMENTIOUS LAP SIDING</u></p> <ul style="list-style-type: none"> <li>• FIBRE CEMENT LAP SIDING 5/16" THICK, 8.25" WIDE (EXPOSURE 7")</li> <li>• 1" x 3" P.T. WOOD STRAPS, VERTICAL</li> <li>• BUILDING PAPER</li> <li>• 1 1/2" XPS RIGID INSULATION (R-7.5)</li> <li>• 1/2" PLYWOOD SHEATHING</li> <li>• 6" STRUCTURAL STEEL STUD @ 16" O.C.</li> <li>• R22 BATT INSULATION</li> <li>• 6 MIL. VAPOUR BARRIER</li> <li>• 5/8" GWB TYPE 'X'</li> </ul>
W1b		<p><u>W1b EXTERIOR STEEL STUD WALL W/ CEMENTIOUS LAP SIDING</u></p> <ul style="list-style-type: none"> <li>• SAME AS W1a EXCEPT DIFFERENT SIDING SIZE</li> <li>• FIBRE CEMENT LAP SIDING 5/16" THICK, 5.25" WIDE (EXPOSURE 4")</li> </ul>
W1c		<p><u>W1c EXTERIOR STEEL STUD WALL W/ CEMENTIOUS SIDING OF NONCOMBUSTIBLE CONSTRUCTION 1HR FRR</u></p> <ul style="list-style-type: none"> <li>• FIBRE CEMENT LAP SIDING 5/16" THICK, 5.25" WIDE (EXPOSURE 4")</li> <li>OR FIBRE CEMENT BOARDS C/W REVEALS</li> <li>• 0.75" HAT TRACK, VERTICAL @ 16" O.C. SCREWED IN 6" STEEL JOISTS</li> <li>• BUILDING PAPER</li> <li>• 1 1/2" MINERAL WOOL RIGID INSULATION</li> <li>• FIBERGASS MAT GYPSUM PANEL</li> <li>• 6" STRUCTURAL STEEL STUD @ 16" O.C.</li> <li>• R22 BATT INSULATION</li> <li>• 6 MIL. VAPOUR BARRIER</li> <li>• 5/8" GWB TYPE 'X'</li> </ul>
W2		<p><u>W2 EXTERIOR STEEL STUD WALL W/ CEMENTIOUS PANELS</u></p> <ul style="list-style-type: none"> <li>• FIBRE CEMENT PANELS</li> <li>• 1" x 3" P.T. WOOD STRAPS, VERTICAL</li> <li>• BUILDING PAPER</li> <li>• 1 1/2" XPS RIGID INSULATION (R-7.5)</li> <li>• 1/2" PLYWOOD SHEATHING</li> <li>• 6" STRUCTURAL STEEL STUD @ 16" O.C.</li> <li>• R22 BATT INSULATION</li> <li>• 6 MIL. VAPOUR BARRIER</li> <li>• 5/8" GWB TYPE 'X'</li> </ul>
W3	DELETED	DELETED

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<b>BONI-MADDISON</b> Architects 3732 West Broadway, Vancouver, B.C., V6R 2C1 T: 604 688 5894 F: 604 688 5899	<b>TITLE:</b> WALL TYPES 1		<b>JOB N°:</b> 16-07	<b>DATE:</b> MAY 2016
	<b>PROJECT:</b> TWO-FAMILY SEMI-D 7729/7731 ROSEWOOD ST. BURNABY, BC	<b>REVISIONS:</b>  A 06/03/16 ISSUED FOR BP ISSUES:	<b>SCALE:</b> 1/2"=1'-0"  <b>DRAWN:</b> NB	<b>DRAWING N°:</b> D7.01



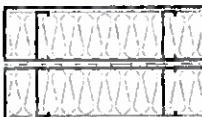
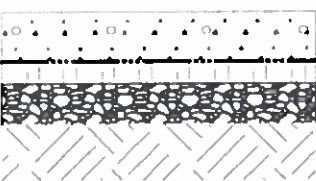
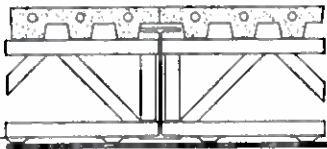
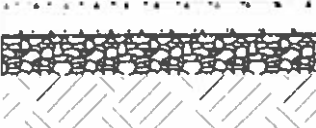
## EXTERIOR WALL ASSEMBLIES:

W4a		<u>W4a WOOD LOOK ALUMINUM PANEL SIDING W/ REVEAL SYSTEM</u> <ul style="list-style-type: none"> <li>• ALUMINUM PANEL RAINSCREEN SYSTEM</li> <li>• BUILDING PAPER</li> <li>• 1 1/2" XPS RIGID INSULATION (R-7.5)</li> <li>• 1/2" PLYWOOD SHEATHING</li> <li>• 6" STEEL STUD WALL</li> <li>• R22 BATT INSULATION</li> <li>• 6 MIL. VAPOUR BARRIER</li> <li>• 5/8" GWB TYPE 'X'</li> </ul>
W4b		<u>W4b FIBRE CEMENT PANEL SIDING W/ REVEAL SYSTEM</u> <ul style="list-style-type: none"> <li>• FIBRE CEMENT PANEL</li> <li>• 1"x4" P.T. WOOD STRAPPING</li> <li>• BUILDING PAPER</li> <li>• 1 1/2" XPS RIGID INSULATION (R-7.5)</li> <li>• 1/2" PLYWOOD SHEATHING</li> <li>• 6" STEEL STUD WALL W/ R22 BATT INSULATION</li> <li>• R22 BATT INSULATION</li> <li>• 6 MIL. VAPOUR BARRIER</li> <li>• 5/8" GWB TYPE 'X'</li> </ul>
W5		<u>W5 EXTERIOR CONC. FOUNDATION WALL</u> <ul style="list-style-type: none"> <li>• 2" XPS INSULATION (R-10)</li> <li>W/ INTEGRAL PROTECTION BOARD</li> <li>• DRAINAGE MAT</li> <li>• DAMPPROOFING</li> <li>• 8" C.I.P.</li> </ul>
W6		<u>W6 GARAGE EXTERIOR STEEL STUD WALL W/ CEMENTITIOUS LAP SIDING</u> <ul style="list-style-type: none"> <li>• FIBRE CEMENT LAP SIDING 5/16" THICK, 8.25" WIDE (EXPOSURE 7")</li> <li>• 1" x 3" P.T. WOOD STRAPS, VERTICAL</li> <li>• BUILDING PAPER</li> <li>• 1/2" PLYWOOD SHEATHING</li> <li>• 6" STRUCTURAL STEEL STUD @ 16" O.C.</li> <li>• R22 BATT INSULATION</li> <li>• 6 MIL. VAPOUR BARRIER</li> <li>• 1/2" GWB</li> </ul>
		<div style="text-align: right;">  </div>

<b>BONI-MADDISON</b> <b>Architects</b> 3732 West Broadway, Vancouver, B.C., V6R 2C1 T: 604 688 5894 F: 604 688 5899	<b>TITLE:</b> WALL TYPES 2		<b>JOB N°:</b> 16-07 <b>DATE:</b> MAY 2016
	<b>PROJECT:</b> TWO-FAMILY SEMI-D 7729/7731 ROSEWOOD ST. BURNABY, BC -85-	<b>REVISIONS:</b> 1 11/8/16 BP REVISIONS A 06/03/16 ISSUED FOR BP	<b>SCALE:</b> 1/2"=1'-0" <b>DRAWN:</b> NB <b>DRAWING N°:</b> D7.02

# INTERIOR WALL AND FLOOR ASSEMBLIES:

3.(e)

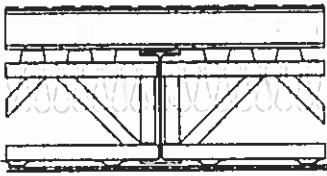
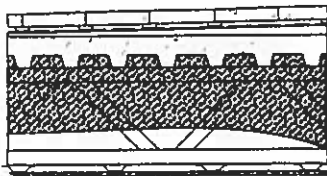
W7		<p><u>W7 INTERIOR PARTITION WALL</u></p> <ul style="list-style-type: none"> <li>• 1/2" GWB</li> <li>• 3 5/8" STEEL STUD @ 16" O.C.</li> <li>• 1/2" GWB</li> <li>• ACOUSTIC INSULATION OPTIONAL</li> </ul>
W8		<p><u>W8 INTERIOR PARTITION WALL</u></p> <ul style="list-style-type: none"> <li>• 1/2" GWB</li> <li>• 6" STEEL STUD @ 16" O.C.</li> <li>• 1/2" GWB</li> <li>• ACOUSTIC INSULATION OPTIONAL</li> </ul>
W9		<p><u>W9 SHEAR PARTY WALL [F.R.R 1HR, STC MIN. 50]</u></p> <ul style="list-style-type: none"> <li>• 5/8" GWB TYPE 'X'</li> <li>• METAL STRAP (SEE STRUCTURAL)</li> <li>• 6" STEEL STUD @ 16" O.C.</li> <li>• ACOUSTIC INSULATION</li> <li>• 1" AIR SPACE</li> <li>• ACOUSTIC INSULATION</li> <li>• 6" STEEL STUD @ 16" O.C.</li> <li>• METAL STRAP (SEE STRUCTURAL)</li> <li>• 5/8" GWB TYPE 'X'</li> </ul>
F1		<p><u>F1 TYP. SLAB ON GRADE (INSULATED)</u></p> <ul style="list-style-type: none"> <li>• SLAB ON GRADE C/W IN-FLOOR RADIANT HEATING, SEE STRUCTURAL</li> <li>• 6 MIL. VAPOUR BARRIER</li> <li>• 3" XPS INSULATION (R-15)</li> <li>• COMPACTED SAND</li> </ul>
F2	 <div style="position: absolute; left: 380px; top: 640px; color: red;"> <p>             .33              .125              1.0              .06              .05              1.56           </p> </div>	<p><u>F2 TYP. INTERIOR FLOOR ASSEMBLY</u></p> <ul style="list-style-type: none"> <li>• FINISHED FLOOR (SEE FINISH SCHEDULE)</li> <li>• 4" CONC. TOPPING C/W IN-FLOOR RADIANT HEATING</li> <li>• 1 1/2" CORROGATED STEEL DECK</li> <li>• 12" STEEL STUD OWSJ ON STEEL FRAME</li> <li>• 3/4" STEEL HAT TRACK</li> <li>• 5/8" GWB TYPE 'X'</li> </ul>
F3		<p><u>F3 GARAGE SLAB ON GRADE</u></p> <ul style="list-style-type: none"> <li>• SLAB ON GRADE</li> <li>• SEE STRUCTURAL</li> <li>• 6 MIL. VAPOUR BARRIER</li> <li>• COMPACTED SAND</li> </ul>

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<b>BONI-MADDISON</b> <b>Architects</b> 3732 West Broadway, Vancouver, B.C., V6R 2C1 T: 604 688 5894 F: 604 688 5899	<b>TITLE:</b> WALL TYPES 3	1 11/8/16 BP REVISIONS <b>REVISIONS:</b>	<b>JOB N°:</b> 16-07	<b>DATE:</b> MAY 2016
	<b>PROJECT:</b> TWO-FAMILY SEMI-D 7729/7731 ROSEWOOD ST. BURNABY, BC -86-	A 06/03/16 ISSUED FOR BP <b>ISSUES:</b>	<b>SCALE:</b> 1/2"=1'-0"	<b>DRAWING N°:</b> D7.03
			<b>DRAWN:</b> TG	

# ROOF ASSEMBLIES:

3.(e)

R1		<p><u>R1 ROOF ASSEMBLY, TYP.</u></p> <ul style="list-style-type: none"> <li>• 2 LAYER SBS MEMBRANE</li> <li>• PROTECTION BOARD</li> <li>• MIN. 5" RIGID POLYISO INSULATION, SLOPING (R-30)</li> <li>• 1/2" PLYWOOD</li> <li>• 1 1/2" CORROGATED STEEL DECK</li> <li>• R22 BATT INSULATION</li> <li>• 12" OWSJ ON STEEL FRAME</li> <li>• 3/4" STEEL HAT TRACK</li> <li>• 1/2" TYPE X GWB</li> </ul>
R2		<p><u>R2 ROOF PATIO ASSEMBLY, TYP.</u></p> <ul style="list-style-type: none"> <li>• 1 5/8" CONCRETE PAVERS ON RUBBER PEDESTALS</li> <li>• SBS MEMBRANE</li> <li>• 4" CONCRETE TOPPING</li> <li>• 1 1/2" CORROGATED STEEL DECK</li> <li>• MIN. R-30 SPRAY INSULATION</li> <li>• 12" STEEL STUD OWSJ ON STEEL FRAME</li> <li>• 3/4" STEEL HAT TRACK</li> <li>• 5/8" TYPE 'X' GWB</li> </ul>
R3		<p><u>R3 ROOF: PORCH (NO INSULATED REQUIRED)</u></p>
R4		<p><u>R4 VERANDA: ROOF PROJECTION (NO INSULATED REQUIRED)</u></p>
R5		<p><u>R5 ROOF: GARAGE (SLOPED)</u></p>

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<b>BONI-MADDISON</b> Architects 3732 West Broadway, Vancouver, B.C., V6R 2C1 T: 604 688 5894 F: 604 688 5899	TITLE: ROOF TYPES 1		JOB N°: 16-07 DATE: MAY 2016	
	PROJECT: TWO-FAMILY SEMI-D 7729/7731 ROSEWOOD ST. BURNABY, BC -87-		REVISIONS: A 06/03/16 ISSUED FOR BP ISSUES:	
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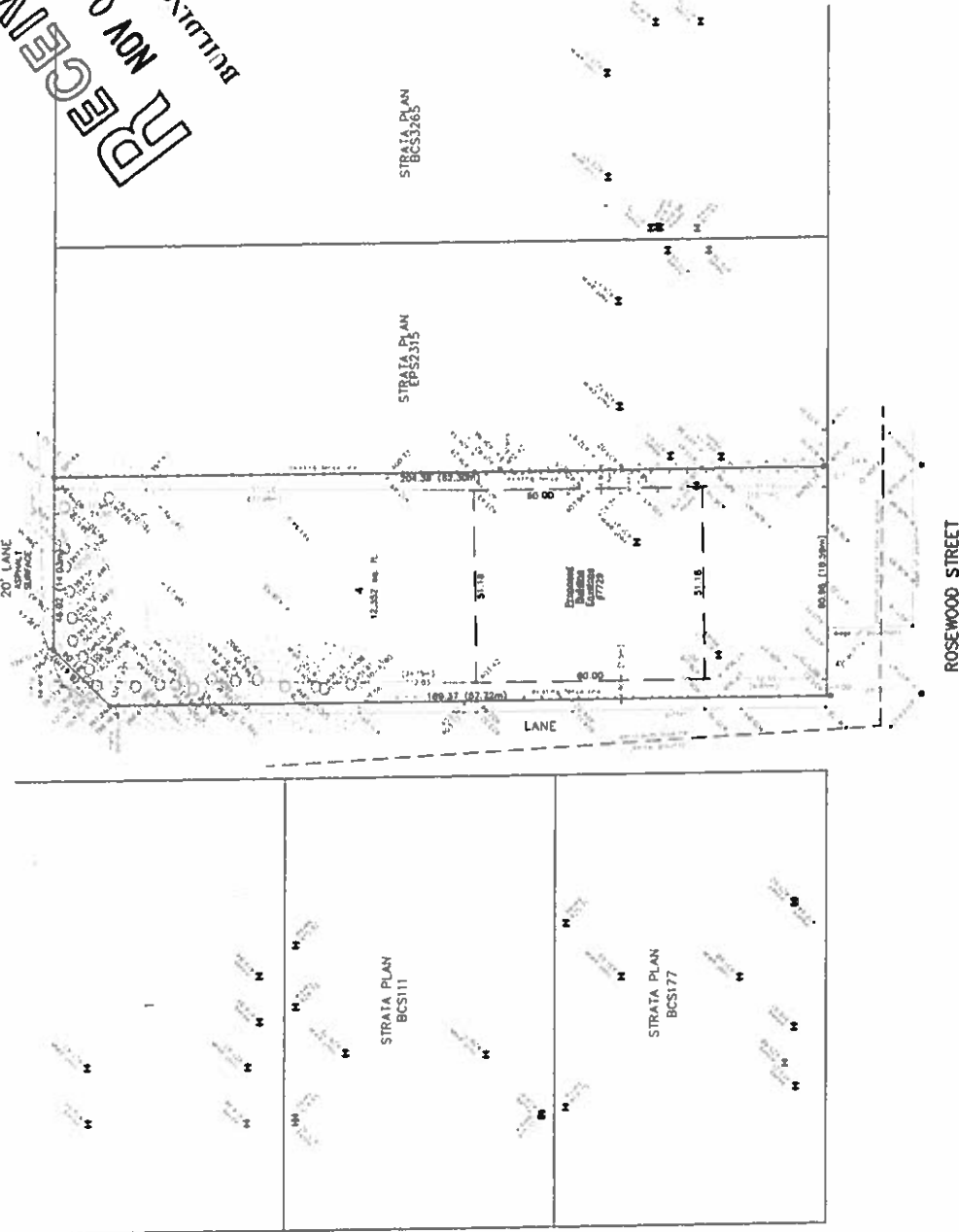


SURVEY PLAN OF LOT 4  
DISTRICT LOT 90, GROUP 1  
NEW WESTMINSTER DISTRICT, PLAN 13173

SCALE: 1" = 10'

Applicant	Applicant's Name	Date of Issue
1	...	...
2	...	...
3	...	...
4	...	...
5	...	...

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BUILDING DEPARTMENT

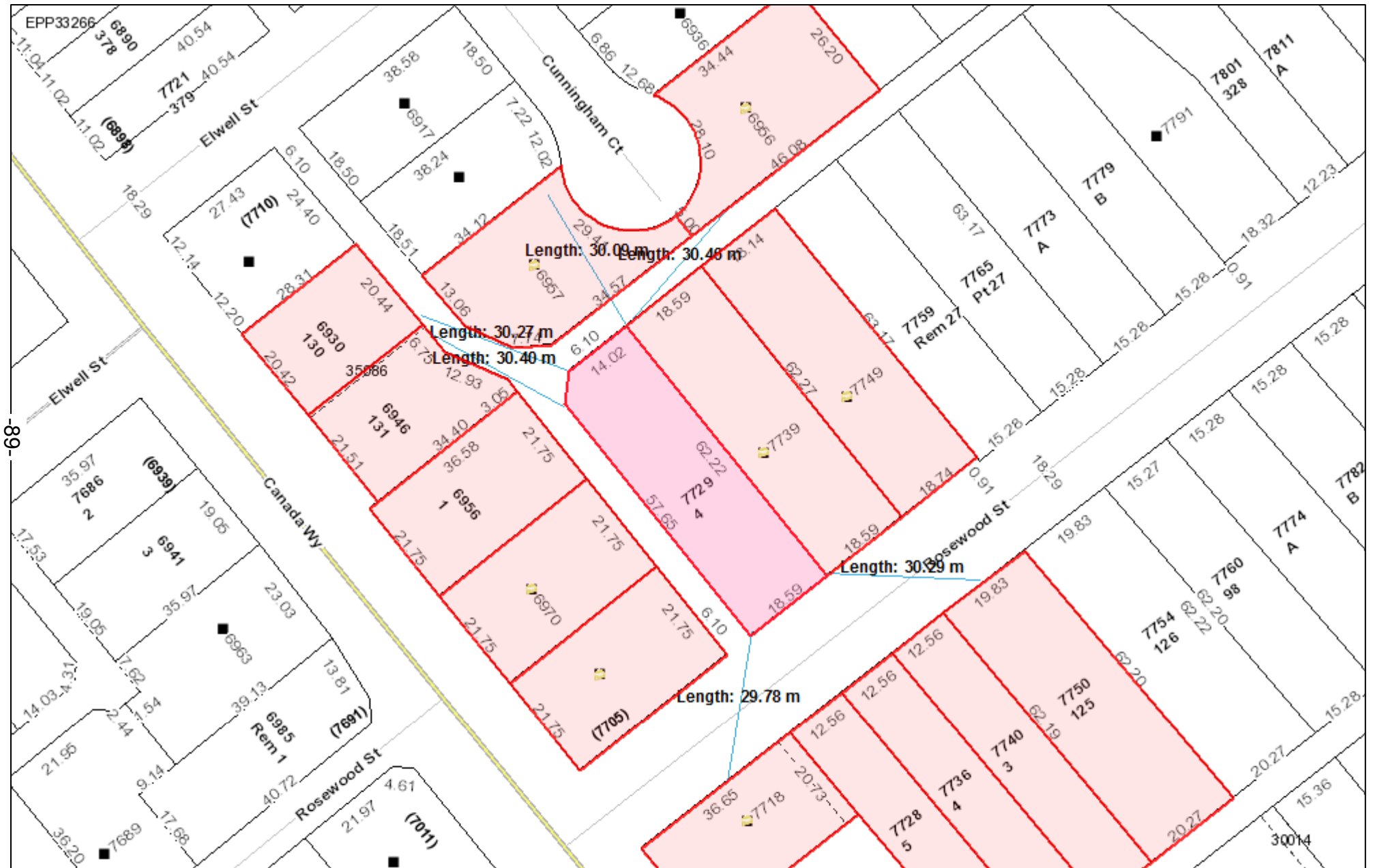


CSC ADDRESS  
7770 ROSEWOOD STREET  
BURNABY, B.C.  
V5C 2G6

IN ORDER TO: PLACE AND ERECT  
A PERMANENT MONUMENT OR  
TO ERECT A PERMANENT MONUMENT  
ON OCT. 1, 2016  
DATED 1-19-17 BY DAY OF APRIL, 2016

IVAN NGAN B.C.L.S.  
L.N.L.S. METRO VANCOUVER  
LAND SURVEYORS  
4832 VICTORIA DRIVE, VANCOUVER, B.C. V6P 3P9  
TEL: 604-271-1535 WEB: WWW.LNLS.CA

3.(e)





# Board of Variance Appeal Application Form

## OFFICE OF THE CITY CLERK

Burnaby City Hall, 4949 Canada Way, Burnaby BC, V5G 1M2, Phone: 604-294-7290 Email: [clerks@burnaby.ca](mailto:clerks@burnaby.ca)

### Applicant

Name of Applicant Harb Marr  
 Mailing Address 7779 11th AVE  
 City/Town BURNABY Postal Code V3N 2N4  
 Phone Number(s) (H) \_\_\_\_\_ (C) 604 375 1655  
 Email mvdevelopment1@gmail.com  
 Preferred method of contact: ☒ email ☐ phone ☐ mail

### Property

Name of Owner JACK & PAULINE CHAN  
 Civic Address of Property 8462 ROYAL OAK AVE BURNABY  
PL NW P1489 LT18 D4150 WD36

I hereby declare that the information submitted in support of this application is, to the best of my knowledge, true and correct in all aspects, and further that my plans have no conflict with municipal bylaws other than those applied for with in this application.

OCT 31 / 2016  
 Date

[Signature]  
 Applicant Signature

### Office Use Only

Appeal Date 2016 December 01 Appeal Number BV# 6256

#### Required Documents:

- ☐ Hardship Letter from Applicant
- ☐ Site Plan of Subject Property
- ☐ Building Department Referral Letter

Any documents submitted in support of this Board of  
Variance Appeal will be made available to the Public

**SUBJECT – Hardship Letter regarding 8462 Royal Oak Avenue Burnaby**

To Whom it may concern,

I am writing this formal hardship letter to the Board of Variance to request that our application to build a new detached family dwelling at address 8462 Royal Oak Avenue be approved for a 4ft height increase of the new home planned.

The reason why we are looking for a 4ft height increase is because the property is very steep to begin with as it is located on the corner of royal oak avenue and Keith st, on block north of marine drive. The driveway to the attached garage will have a slope of 33% initially, however with the 4 ft height increase we can obtain a driveway slope of 14.88% (this is the number where we derived the 4ft height increase from), the maximum allowed for driveway slope is 15% according to the city bylaws. The driveway will come off of the back alley for Keith st. City of Burnaby Engineering will not allow for a driveway off of Royal Oak Avenue as it is a main road, also we are unable to build a detached garage as the property is not wide enough to accommodate enough distance between the garage and the main residence, in addition the owner's that will be occupying this home are in their mid to late 70's of age and will not be able to walk down the number of steps required if a detached garage was an option.

The proposed height of the new home will not obstruct the North and East neighbors views they currently have from their homes. The placement of the new proposed home is currently complying with all building setbacks and there is no room to adjust the placement of the building on the property.

We hope that the Board will consider all the above information justifying the increase in height of the new proposed building and make the appropriate descision.

Thank you for your time and consideration

Harb Mann





# **BOARD OF VARIANCE REFERRAL LETTER**

<b>DATE:</b> Nov 2, 2016		<b>DEADLINE:</b> Nov 08, 2016 for the Dec 1, 2016 hearing		<i>This is <u>not</u> an application. Please take letter to Board of Variance. (Clerk's office - Ground Floor)</i>
<b>NAME OF APPLICANT:</b> Jack and Paulina Chan				
<b>ADDRESS OF APPLICANT:</b> 5537 Marine Drive Burnaby				
<b>TELEPHONE:</b> 604-435-1248				
<b>PROJECT</b>				
<b>DESCRIPTION:</b> New Single Family Dwelling w/ Secondary Suite and Attached Garage				
<b>ADDRESS:</b> 8462 Royal Oak Avenue				
<b>LEGAL:</b>	<b>LOT:</b> 18	<b>DL:</b> 158	<b>PLAN:</b> NWP1489	

The above mentioned application, which includes the attached plan of the proposal, has been refused by the Building Department on the basis of contravention of:

**Zone/Section(s) R2 [102.6(1)(a)]**  
of the Burnaby Zoning Bylaw No. 4742

## **COMMENTS:**

The applicant is proposing to build a new single family dwelling. The following relaxation is being requested.

1. To vary Section 102.6(1)(a) – “Height of Principal Building” of the Zoning Bylaw from 29.5 ft. to 33.74 ft. The purpose of this variance is to allow construction of the proposed single family dwelling with a sloped roof to exceed the permitted maximum building height, as measured from the front average elevation. The principal building height, measured from the rear average elevation will be 27.15 feet.

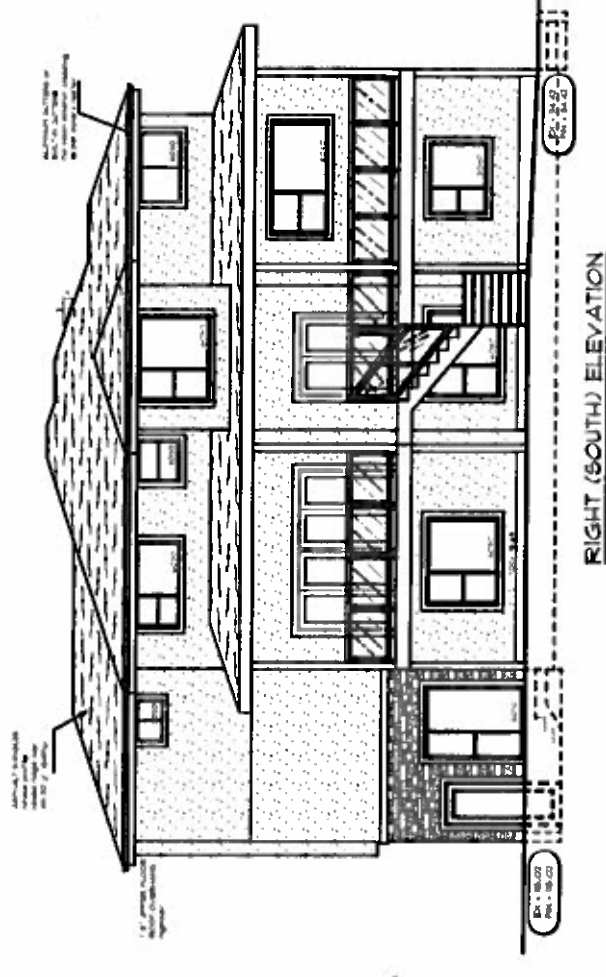
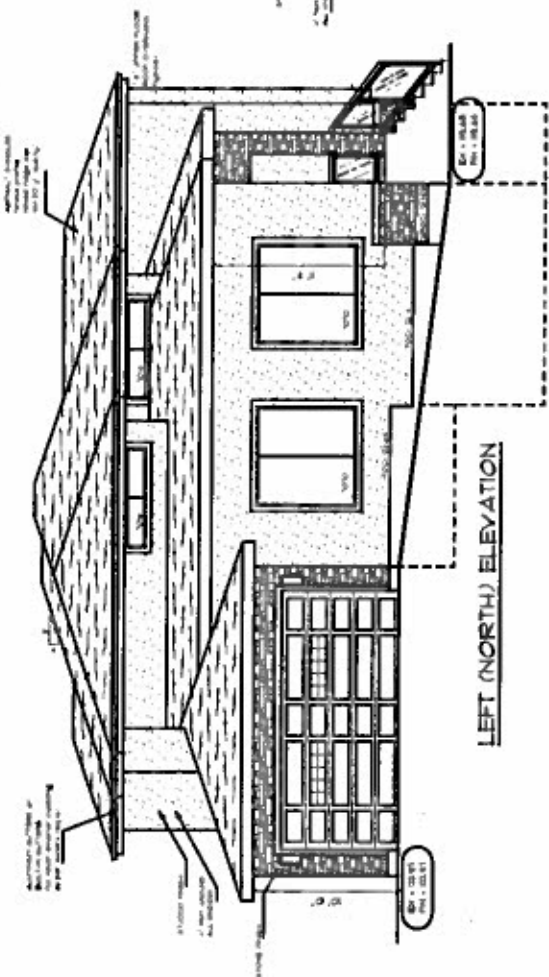
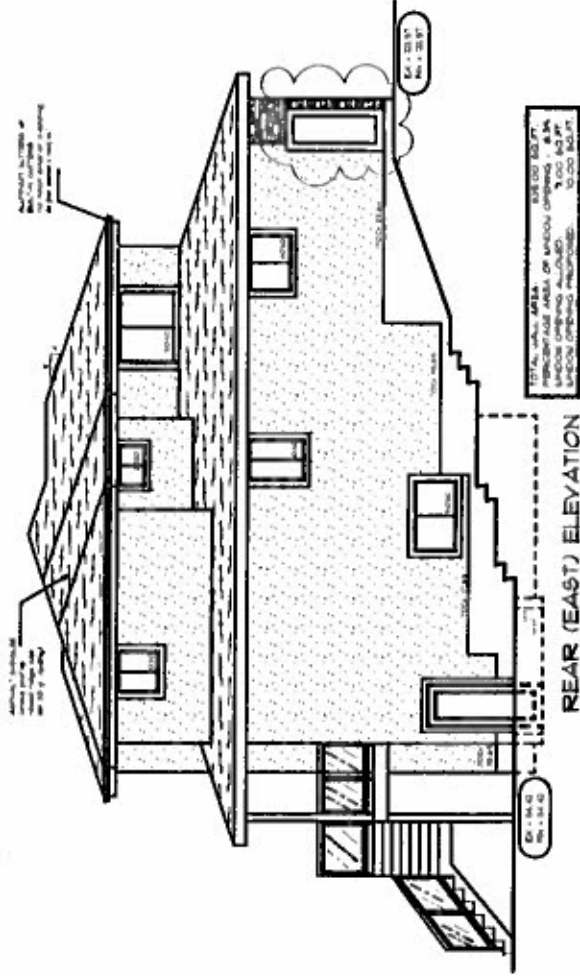
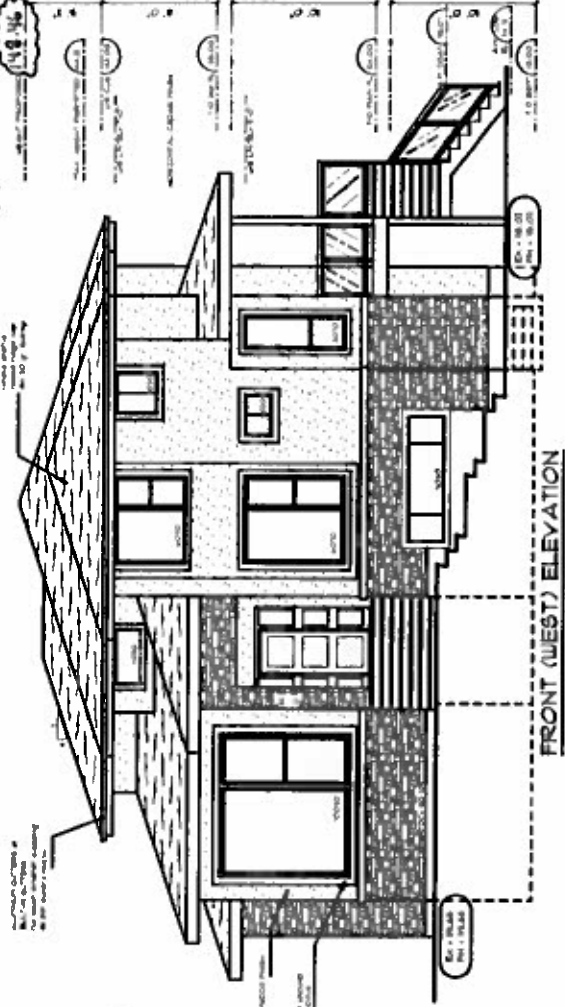
*Note: The applicant recognizes that should the project contain additional characteristics in contravention of the zoning by-law a future appeal(s) may be required.*

MS

Peter Kushnir  
Deputy Chief Building Inspector

B. & V.

REFEAL



TOTAL WALL AREA: 5,100 SQ. FT.  
TOTAL ROOF AREA: 1,000 SQ. FT.  
TOTAL FLOOR AREA: 1,000 SQ. FT.  
TOTAL VOLUME: 10,000 CU. FT.

PROPOSED RESIDENCE for MR. HARB MANN (604-375-1655)  
ON 8462 ROYAL OAK AVENUE, BURNABY, B.C.

4 simple home design

DATE: APR 14, 2014  
REV: 1.001.01.001

SCALE: 1/4" = 1' 0"

DATE: APR 14, 2014  
REV: 1.001.01.001

DATE: APR 14, 2014  
REV: 1.001.01.001

DATE: APR 14, 2014  
REV: 1.001.01.001

DATE: APR 14, 2014  
REV: 1.001.01.001

3.(f)







# Board of Variance Appeal Application Form

## OFFICE OF THE CITY CLERK

Burnaby City Hall, 4949 Canada Way, Burnaby BC, V5G 1M2, Phone: 604-294-7290 Email: clerks@burnaby.ca

### Applicant

Name of Applicant ADRIAN BOTEZ  
 Mailing Address 1501 - 8160 LANSDOWNE RD  
 City/Town RICHMOND Postal Code V6X 3Y9  
 Phone Number(s) (H) \_\_\_\_\_ (C) 778 996 0570  
 Email ADRIAN@OPEN-WINDOWS.CA  
 Preferred method of contact: ☐ email ☒ phone ☐ mail

### Property

Name of Owner ADRIAN BOTEZ  
 Civic Address of Property 4610 MARINE DRIVE

I hereby declare that the information submitted in support of this application is, to the best of my knowledge, true and correct in all aspects, and further that my plans have no conflict with municipal bylaws other than those applied for with in this application.

Nov 8, 2016  
 Date

[Signature]  
 Applicant Signature

### Office Use Only

Appeal Date 2016 December 01 Appeal Number BV# 6257

#### Required Documents:

- ☐ Hardship Letter from Applicant
- ☐ Site Plan of Subject Property
- ☐ Building Department Referral Letter

Any documents submitted in support of this Board of  
 Variance Appeal will be made available to the Public



# Hardship Letter for City of Burnaby Board of Variance

Applicant Name: **Adrian Botez**

Date: October 11<sup>th</sup>, 2016

Project address: 4160 Marine Drive, Burnaby, BC

To whom it may concern,

This letter is to demonstrate and describe the hardship resulting in the request for the relaxation of the Building Height as per the Burnaby Zoning Bylaw as it applies to this property.

The proposed building is in the R5 Residential District Zone and is located on south side of Marine Drive. The shape of the site is a parallelogram which is approximately 50 ft. wide and 200 ft. deep. To the east and west of the subject site there are single family dwellings. There is no back lane so vehicle access is through the front driveway. The property's south boundary is bordered by the parking lot of the Riverway Sports Complex.

The site slopes significantly from north to south, with a difference of 28.88 ft in elevation from the highest elevation at the street property line to the lowest elevation point of the site at the rear property line (39.98 ft. – 11.10 ft.). When applying the height calculation as per the lowest average side the property's steep terrain has a significant impact. The calculation would cause the building to be significantly below the road level and significantly lower than the neighboring homes. The result poses difficulty in dealing with driveway slopes from the street, considering there is no lane access for a detached structures this further complicates the design abilities for the property.

When viewed from Marine Drive the proposed building height measured from the front (north) elevation will be only 17.03 ft. (57.01ft. – 39.98ft.). This will create a pleasant streetscape with the neighboring homes.

In the back the height of the building is 20'10" on the south edge of the house and only 32' towards the middle of the building height increases with 9'6" taking the maximum height to 30'4". At that point, as detailed in LOT PROFILE attached, the height from the grade is only 23'7".

Compared to the other two newer homes on the west side of the property, the top of the roof follows the street line and is lower than other two homes situated west of the property (57'01" for proposed building vs 58'20" the first house and 61'22" second house – all the roof elevations have been surveyed by Richard Fu Land Surveying Inc.).

Seen from back yard or front yard house looks like a 2 story house, a rendering is attached to this letter.

I consider that it is unlikely that the height created by a relaxation in the height calculation would affect the views from the north side neighboring properties as these are much higher in their position on north side of Marine Drive, nor would it affect the parking lot to the south of the property in any negative manner.

The steep slope of the site creates this hardship situation when attempting to meet the bylaw height restrictions. A relaxation in the height would create a considerably more pleasing architectural and streetscape appearance on the block of homes and would address the structural challenge in building on the extensively sloped site. This will all be achieved with only positive impacts to the neighborhood.

Sincerely,

Adrian Botez










**BOARD OF VARIANCE REFERRAL LETTER**

<b>DATE:</b> November 01, 2016		<b>DEADLINE:</b> November 8, 2016 for the December 1, 2016 hearing		<i>This is <u>not</u> an application. Please take letter to Board of Variance. (Clerk's office - Ground Floor)</i>
<b>NAME OF APPLICANT:</b> Adrian Botez				
<b>ADDRESS OF APPLICANT:</b> 4610 Marine Drive, Burnaby, B.C.				
<b>TELEPHONE:</b> 778 996 0570				
<b>PROJECT</b>				
<b>DESCRIPTION:</b> New single family dwelling w/ attached garage				
<b>ADDRESS:</b> 4610 Marine Drive				
<b>LEGAL:</b>	<b>LOT:</b> 110	<b>DL:</b> 157	<b>PLAN:</b> NWP26519	

The above mentioned application, which includes the attached plan of the proposal, has been refused by the Building Department on the basis of contravention of:

**Zone/Section(s) R5 [102.6(1)(b)]**  
of the Burnaby Zoning Bylaw No. 4742

**COMMENTS:**

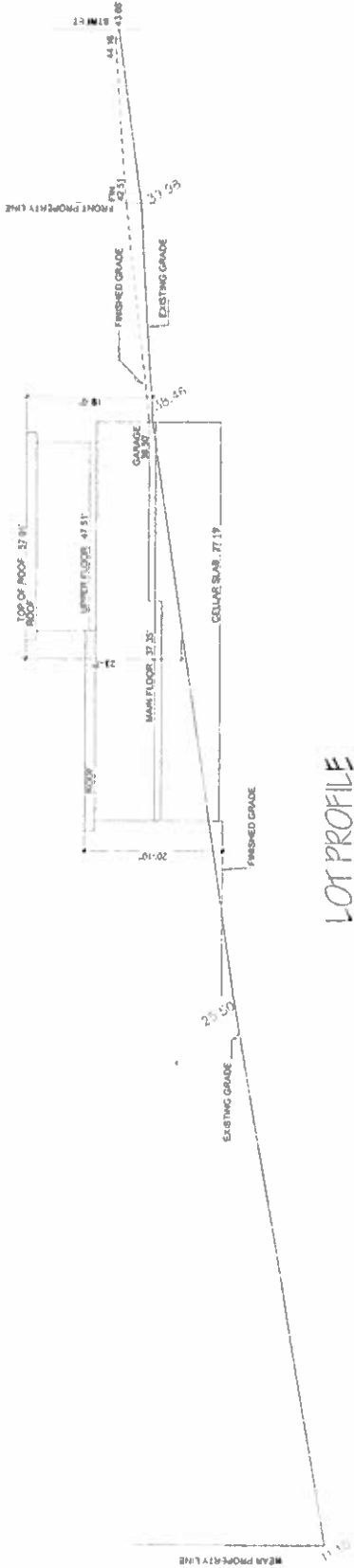
The applicant is proposing to build a new single family dwelling with attached garage. The following relaxation is being requested.

- 1) To vary Section 102.6(1)(b) – “Height of Principal Building” of the Zoning Bylaw from 24.3 feet to 30.32 feet. The purpose of this variance is to allow construction of the proposed single family dwelling with a flat roof to exceed the permitted maximum building height, as measured from the rear average elevation. The building height, as measured from the rear average elevation, is proposed to be 19.0 feet.

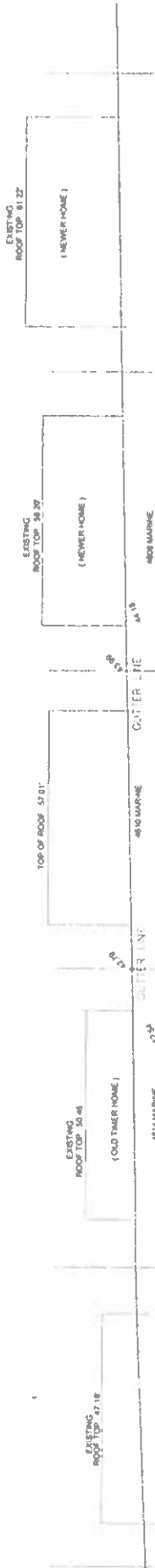
*Note: The applicant recognizes that should the project contain additional characteristics in contravention of the zoning by-law a future appeal(s) may be required.*

JQ

Peter Kushnir  
Deputy Chief Building Inspector, Permits and Customer Service

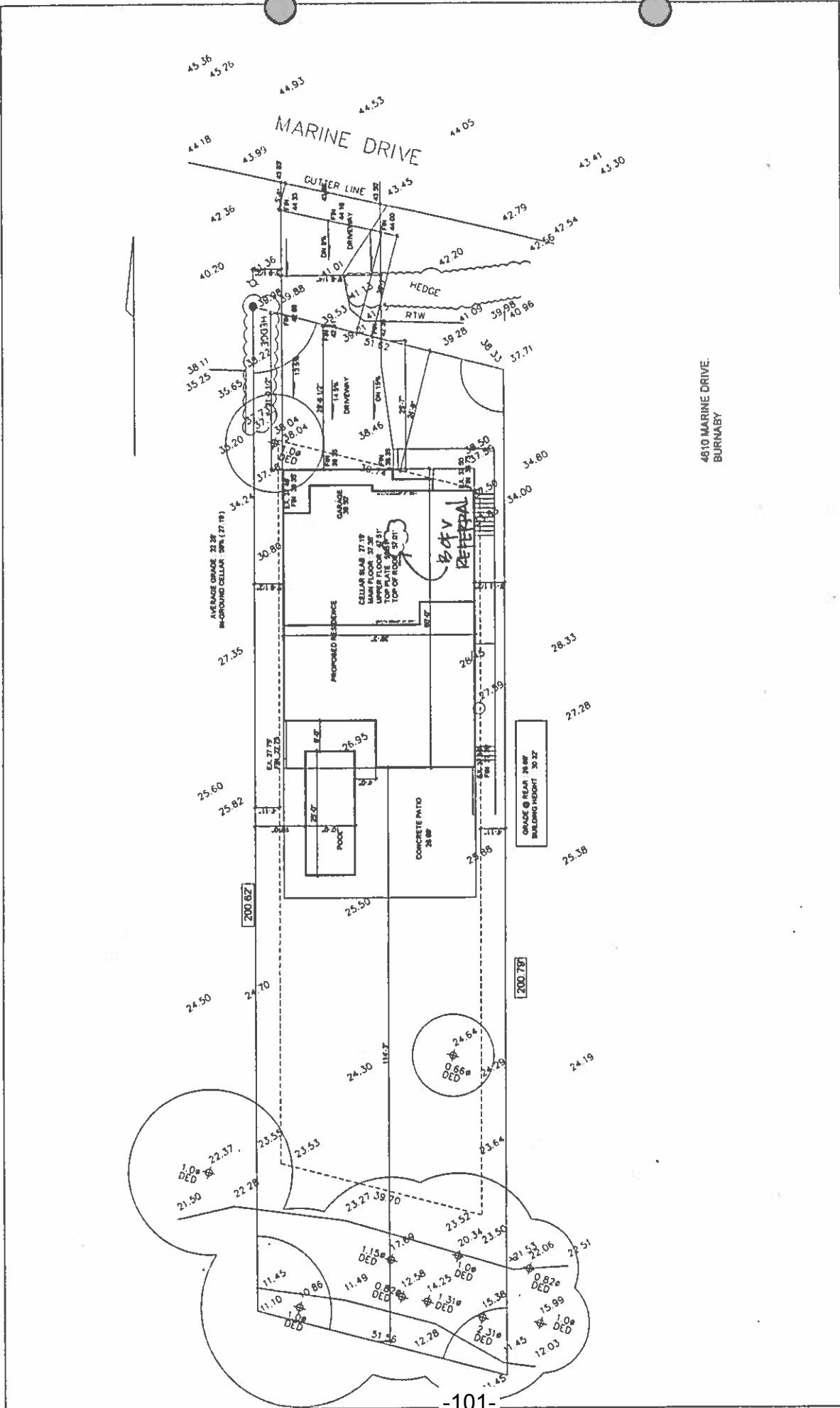


LOT PROFILE



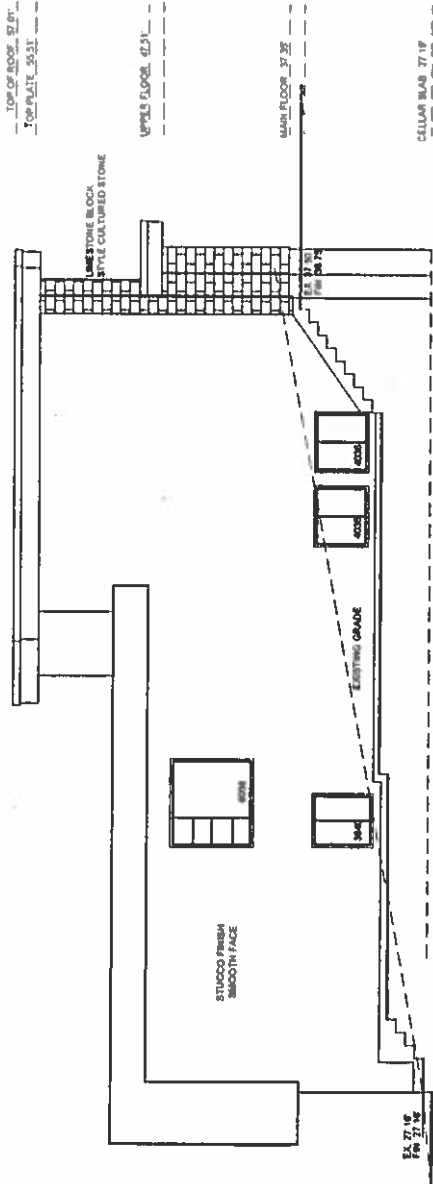
STREET PROFILE

<p>THESE PLANS CONFORM TO THE REQUIREMENTS OF THE BC BUILDING ACT &amp; BCBC 2011 (AMENDMENTS)</p>	<p>EATON HOME DESIGNS LTD. 2948 MARYKIRK PLACE, NORTH VANCOUVER, B.C. PH: 604-990-1107 FAX: 604-990-1108</p>	<p>EFFECTIVE ENERGY REQUIREMENTS AND VALUES USING THE PRESCRIPTIVE METHOD AND VALUES USING THE PERFORMANCE METHOD (FOR ALL NEW RESIDENTIAL BUILDINGS) MUST BE INSTALLED</p>
<p>ARCHITECTURAL DRAWING ONLY</p>	<p>CUSTOM HOME DESIGNS &amp; RENOVATIONS</p>	<p>SCALE 1/8" = 1'-0"</p>
<p>PREPARED BY</p>	<p>ROMANAEATON</p>	<p>REASON</p>
<p>SHEET #</p>	<p>W052 RES-DWG</p>	<p>SITE PLAN</p>
<p>DATE</p>	<p>MAY 2016</p>	<p>LOT PEOPLE</p>



SCALE: 1/8" = 1'-0"	ARCHITECTURAL DRAWING ONLY	CUSTOM HOME DESIGNS & RENOVATIONS	EATON HOME DESIGNS LTD.	THESE PLANS CONFORM TO BCBC 2012 EDITION & BCBC 2014 AMENDMENTS
PREPARED BY: FEIGH	4610 MARINE DR	2948 MARYKIRK PLACE, NORTH VANCOUVER, B.C.	PH: 604-990-1107 FAX: 604-990-1108	THIS HOME IS TO BE BUILT TO COMPLY WITH THE BCBC 2012 EDITION & BCBC 2014 AMENDMENTS FOR CLIMATE ZONE 4 (VANCOUVER LOWER MAINLAND & SOUTHERN INTERIOR ISLAND) AIR SYSTEMS SHALL BE INSTALLED
SHEET #	BORTZ RESIDENCE	eatonhomedesigns.com	romanaeaton@gmail.com	
SHEET #	MAY 2016			





LEFT SIDE ELEVATION  
EAST  
SPATIAL SEPARATION  
WALL AREA 1085 SQ FT.  
LIMITING DISTANCE 1.8m  
OPENINGS 73 SQ FT. (6.7%)

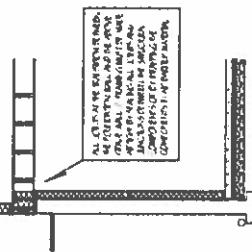
BELOW GRADE HEATED SLAB

DESCRIPTION	EFFECTIVE RSI VALUE
1" TOP SLAB CONCRETE + INSULATION	0.08
2" EPS INSULATION	0.12
4" EPS INSULATION	0.24
1" TOP SLAB CONCRETE	0.08

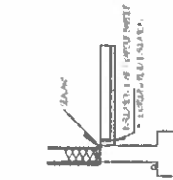


DESCRIPTION	EFFECTIVE RSI VALUE
1" TOP SLAB CONCRETE + INSULATION	0.08
2" EPS INSULATION	0.12
4" EPS INSULATION	0.24
1" TOP SLAB CONCRETE	0.08

DESCRIPTION	EFFECTIVE RSI VALUE
1" TOP SLAB CONCRETE + INSULATION	0.08
2" EPS INSULATION	0.12
4" EPS INSULATION	0.24
1" TOP SLAB CONCRETE	0.08



DESCRIPTION	EFFECTIVE RSI VALUE
1" TOP SLAB CONCRETE + INSULATION	0.08
2" EPS INSULATION	0.12
4" EPS INSULATION	0.24
1" TOP SLAB CONCRETE	0.08



DESCRIPTION	EFFECTIVE RSI VALUE
1" TOP SLAB CONCRETE + INSULATION	0.08
2" EPS INSULATION	0.12
4" EPS INSULATION	0.24
1" TOP SLAB CONCRETE	0.08

EFFECTIVE ENERGY REQUIREMENTS  
AND VALUES LISTED IN THE PRESCRIPTIVE METHOD  
MANUAL AND A SOURCE IN VANCOUVER (B.C.)  
NEW SYSTEM WILL BE INSTALLED

THESE PLANS CONFORM TO  
8 BC2017 ABCE HOME

EATON HOME DESIGNS LTD.

CUSTOM HOME DESIGNS & RENOVATIONS  
2948 MARYKIRK PLACE, NORTH VANCOUVER, B.C.  
PH: 604-990-1107 FAX: 604-990-1108  
eatonhomedesigns.com romaneaton@gmail.com

ARCHITECTURAL DRAWING ONLY  
4610 MARBLE DR  
VICTORIA  
MAY 2010

SCALE 1/4" = 1'-0"  
PREPARED BY PEACOR  
SHEET 2 OF 7



## CEILING & ROOF ASSEMBLIES

## CEILINGS IN CATHEDRAL & FLAT ROOFS

[illegible]

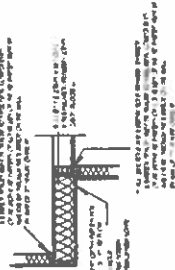
## EXTERIOR WALL ASSEMBLIES

[illegible][illegible]

BEHIND / AROUND PLUMBING STACKS & ELECTRICAL OUTLETS

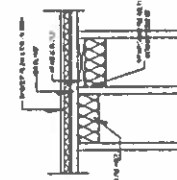
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## FLOOR OVER UNHEATED SPACE

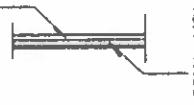
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## RIM JOIST ASSEMBLY

DESCRIPTION	EFFECTIVE SERIAL VALUE
1. 2. 3. 4. 5. 6. 7. 8. 9. 10. 11. 12. 13. 14. 15. 16. 17. 18. 19. 20. 21. 22. 23. 24. 25. 26. 27. 28. 29. 30. 31. 32. 33. 34. 35. 36. 37. 38. 39. 40. 41. 42. 43. 44. 45. 46. 47. 48. 49. 50. 51. 52. 53. 54. 55. 56. 57. 58. 59. 60. 61. 62. 63. 64. 65. 66. 67. 68. 69. 70. 71. 72. 73. 74. 75. 76. 77. 78. 79. 80. 81. 82. 83. 84. 85. 86. 87. 88. 89. 90. 91. 92. 93. 94. 95. 96. 97. 98. 99. 100. 101. 102. 103. 104. 105. 106. 107. 108. 109. 110. 111. 112. 113. 114. 115. 116. 117. 118. 119. 120. 121. 122. 123. 124. 125. 126. 127. 128. 129. 130. 131. 132. 133. 134. 135. 136. 137. 138. 139. 140. 141. 142. 143. 144. 145. 146. 147. 148. 149. 150. 151. 152. 153. 154. 155. 156. 157. 158. 159. 160. 161. 162. 163. 164. 165. 166. 167. 168. 169. 170. 171. 172. 173. 174. 175. 176. 177. 178. 179. 180. 181. 182. 183. 184. 185. 186. 187. 188. 189. 190. 191. 192. 193. 194. 195. 196. 197. 198. 199. 200. 201. 202. 203. 204. 205. 206. 207. 208. 209. 210. 211. 212. 213. 214. 215. 216. 217. 218. 219. 220. 221. 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# Patient Stack

[illegible]

### WALL ASSEMBLY BETWEEN CONDITIONED & UNCONDITIONED SPACE

[illegible]

### FLOOR OVER UNHEATED INTERIOR SPACE

[illegible]

**CUSTOM HOME DESIGNS & RENOVATIONS**  
18 MARYKIRK PLACE, NORTH VANCOUVER, B.C.  
PH: 604-990-1107 FAX: 604-990-1108  
eatonhomedesigns.com romanaeaton@gmail.com

EATON HOME DESIGNS LTD.

EFFECTIVE ENERGY REQUIREMENTS  
THIS HOME IS TO BE BUILT TO COMPLY  
WITH ENERGY EFFICIENCY REQUIREMENTS  
AND VALUES USING THE PRESCRIPTIVE METHOD  
FOR CLIMATE ZONE 6 (VANCOUVER LOWER  
MAINLAND & SOUTHERN VANCOUVER ISLAND)  
JULY 1995-2003 MAY 1, 2006 MAY 1, 2015

ARCHITECTURAL DRAWING ONLY	SCALE 1/4" = 1'-0"
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610 MARIE DR  
PREPARED BY PEASON

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MAY 2016

# TOPOGRAPHIC SURVEY OF LOT 110, DISTRICT LOTS 157 & 63 GROUP 1, N.W.D., PLAN 26519

SCALE 1" = 16 FEET

CIVIC ADDRESS: 4610 MARINE DRIVE,  
BURNABY, BC

PID: 003-077-624

ZONING: R2

BENCHMARK  
ELEVATIONS ARE BASED ON:  
OCM: 368  
ELEVATION = 35.56 FEET GEODETIC  
DATUM = CVD28GVRD

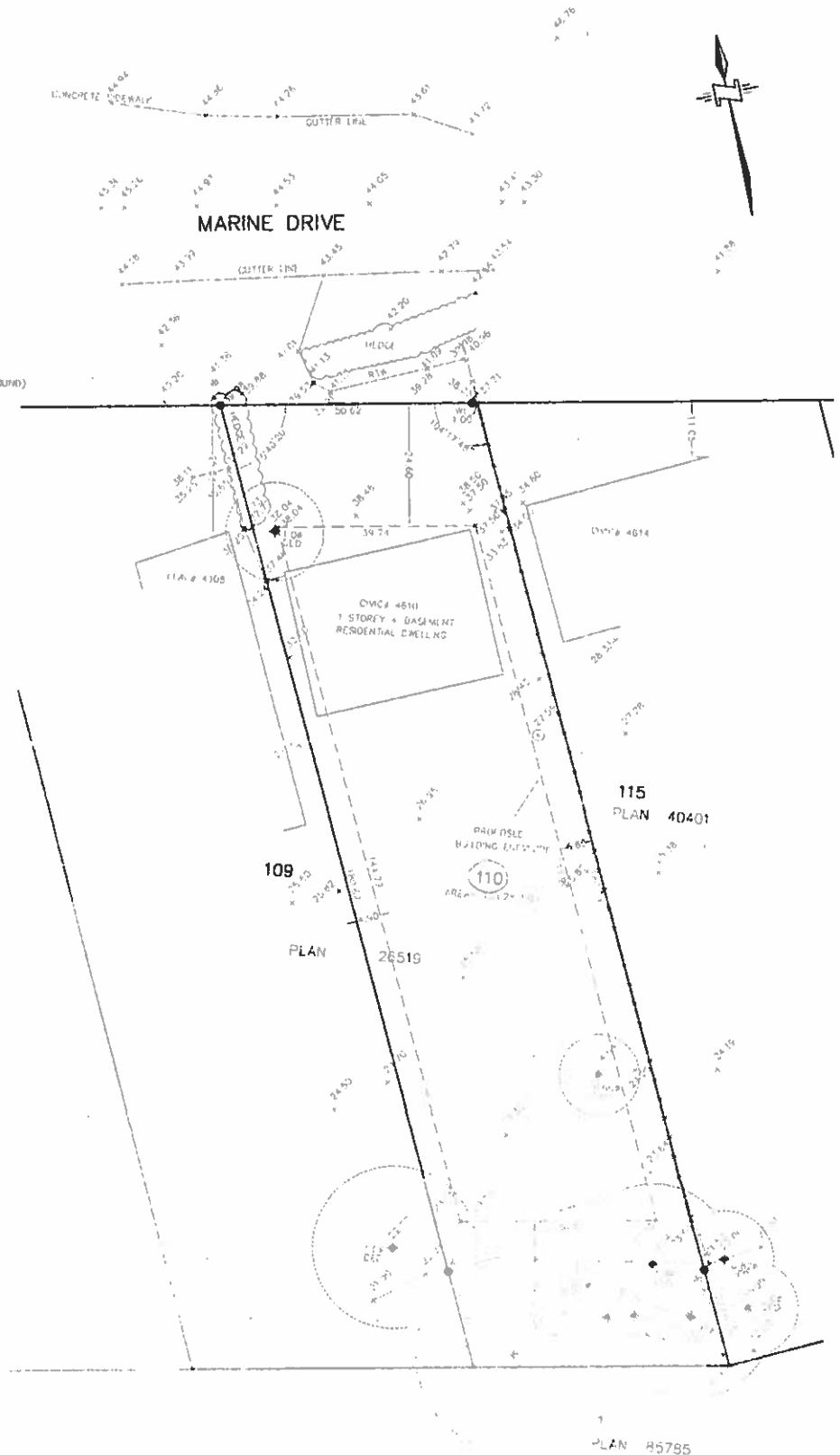
## LEGEND:

- ▲ GROUND ELEVATION
- TREE WITH DRIPLINE (TIED AT POINT OF ENTRY INTO THE GROUND)
- MANHOLE
- LEGAL IRON PIN
- WOOD FENCE
- UTILITY POLE
- WL WITNESS

## NOTE:

PROPERTY LINES ARE BASED ON FIELD SURVEY

FRONTAGE	
CIVIC #	FRONTAGE (FT)
4596	24.34
4608	25.38
4614	11.02
4620	14.99
AVERAGE	18.94



CERTIFIED CORRECT ACCORDING TO FIELD  
SURVEY THIS 27th DAY OF APRIL, 2018.

*Richard S. Fu*  
RICHARD S. FU - B.C.L.S.

THIS PLAN AND THE INFORMATION CONTAINED HEREIN IS FOR THE EXCLUSIVE USE OF OUR CLIENT. THIS DOCUMENT SHOWS THE RELATIVE LOCATION OF THE SURVEYED STRUCTURES AND FEATURES WITH RESPECT TO THE BOUNDARIES OF THE LOT AND THE ADJACENT LOTS. THIS DOCUMENT SHALL NOT BE USED TO DEFINE PROPERTY LINES OR ADJACENT LOTS. THE SURVEYOR ACCEPTS NO RESPONSIBILITY OR LIABILITY FOR ANY DAMAGES THAT MAY BE INCURRED BY A THIRD PARTY AS A RESULT OF ANY DECISIONS MADE OR ACTIONS TAKEN BASED ON THIS DOCUMENT.

**Richard S. Fu**  
Surveyor  
100-1111-1111

3817 BURNABY PLACE  
BURNABY, BC V5C 2X5  
TEL: 604-313-2883  
FAX: 604-313-2883

RECEIVED  
JUN 23 2018  
BURNABY DEPARTMENT





# Board of Variance Appeal Application Form

## OFFICE OF THE CITY CLERK

Burnaby City Hall, 4949 Canada Way, Burnaby BC, V5G 1M2, Phone: 604-294-7290 Email: clerks@burnaby.ca

### Applicant

Name of Applicant Rob Hsu  
 Mailing Address 21588 - 1424 Commercial Dr.  
 City/Town Vancouver Postal Code V5L 5G2  
 Phone Number(s) (H) \_\_\_\_\_ (C) 604 312 9011  
 Email robh@ymail.com  
 Preferred method of contact: ☒ email ☒ phone ☐ mail

### Property

Name of Owner Alice On  
 Civic Address of Property 395 North Glynde Ave.  
Burnaby

I hereby declare that the information submitted in support of this application is, to the best of my knowledge, true and correct in all aspects, and further that my plans have no conflict with municipal bylaws other than those applied for with in this application.

Nov. 02, 2016  
 Date

[Signature]  
 Applicant Signature

### Office Use Only

Appeal Date 2016 December 01 Appeal Number BV# 6258

#### Required Documents:

- ☐ Hardship Letter from Applicant
- ☐ Site Plan of Subject Property
- ☐ Building Department Referral Letter

Any documents submitted in support of this Board of  
 Variance Appeal will be made available to the Public

**Oct 21<sup>st</sup>, 2016**

**Burnaby Board of Variance  
Office of the Secretary  
c/o City Clerk's Office  
Ground Floor, City Hall  
4949 Canada Way  
Burnaby, BC  
V5G-1M2**

**Re: Application to Board of Variance for property 395 N. Glynde Ave, Burnaby**

**PROPERTY SPECIFICS:**

- ☐ Legal Description and Property ID: N66' of Lot 16, Block 39 Plan of District Lot 189, NWP4953 on R2 zoning.
- ☐ Land Size 66' x 130.89' for a total of 8639 sq ft.
- ☐ Current house build in 1948 and is a one story standard house with a basement.
- ☐ Want to build a new single family dwelling two story house with a basement.
- ☐ R2 zoning allows for 4736 sq ft.

**Dear Members of the Board of Variance,**

**My wife Alice On (a primary school teacher) and myself Harry Lim (an engineer) purchased the property at 395 N. Glynde Ave. with the hope of building our dream single dwelling family home for our three children (ages 2, 11, and 13). We hired professionals to design a modern, west-coast influenced home to take advantage of the property's beautiful view.**

**The current house is a sixty-seven year old single level house with a basement and no back lane access. Since the property is zoned for a R2 lot, we felt there would be no issues building a two level home with a basement on this lot. However, in going through the design process we found that some of the Burnaby Zoning Bylaws conflict with the property. The main problem is that the current property is sunken roughly 8.5 feet from city curb to the front building setback line. Like most properties in the Capital Hill region, it is a sloping lot – a factor which further complicates the situation.**

**Due to the lack of back lane access, a fire hydrant in front of the lot and limited parking all around, we need to build a front garage. In order to build a two-level home with an attached**

front garage we need relaxation of Sections 102.6(1)(b) of the Burnaby Zoning Bylaw. The following variances are being requested:

- ☐ Section 102.6(1)(b). Please allow us to build a principal building height of 33.5 feet measured from the rear average elevation and 25.86 feet measured from the front average elevation where the maximum building height of 24.3 feet is permitted.
- ☐ Please note that the proposed dwelling would observe a height of 17.62 feet when viewed from both the N. Glynde Ave. city curb and street level – a height which would be within the maximum height of 24.3 feet allowed by the Zoning Bylaw. The additional height we request will have no street impact.
- ☐ Please note that we would like to emulate the height configuration of an adjacent property (398 N. Glynde Ave.), which is a two level home built in 2010.
- ☐ Please note that the property in front of the proposed dwelling (460 N. Glynde Ave.) resides an additional 4 feet, 2 inches above the front property line, which extends to the garage slab. From the front property line of 395 N. Glynde Ave. there is roughly 19 feet to the main level of 460 N. Glynde Ave. which confirms that the additional height we request will have limited impact on neighbouring properties.

Please approve our application for the following reasons:

**Aesthetics:**

- ☐ The planned home and retaining walls have been professionally designed with care for aesthetic impact. Views from both the road and below will be enhanced while maintaining attractive lines of sight for neighbouring properties.
- ☐ The style of the newly designed house is consistent with some of the recent houses built in the area.
- ☐ We will remove a house built in 1948 and plant a new house on the property.

**Neighbours have been informed:**

- ☐ We have spoken to some of the surrounding neighbours about our plans for this property.

**Hardship:**

- ☐ In order to meet the 24.3ft maximum building height, the main floor has to be 6.35 ft below the natural/existing grade. We are unable to lower the house as it would place the driveway in violation of the 15% slope allowance.

- ☐ There is limited to no street parking available and there is a fire hydrant in front of the property, so a garage would be required.
- ☐ Since there is no back lane access, the garage needs to be from the front and would be attached due to young children in the family.
- ☐ The current property is already sunken compared to the frontage, with fourteen steps to get to the house (8.5 feet). If the proposed property is to meet the current bylaw we would require roughly 24 steps (over 14 feet) to get to the street level, which will be problematic for young children. The 24 steps would also be the only escape route to the street/safety zone if there were to be an emergency.
- ☐ The current property has roughly a 21% slope from the city curb to the property line where it should have been a maximum of 1% to 3%, thus creating the current sunken situation.

Asking for an additional height variance of 9.2 feet may initially seem high, but the fact that the current property is in a sunken lot of 8.5 feet with a downward slope of 21% slope from the city curb to the property line has created a unique situation. Please see photos below on the challenges facing this property.

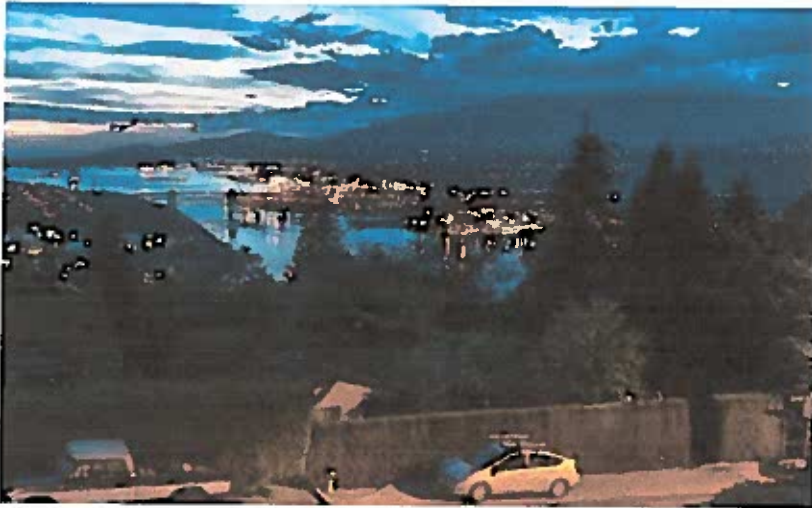


Photo 1: Photo from Neighbor on the East Side in front of the property. View should not be obstructed with increased height.



**Photo 2: Photo from street level in front of the property. Cannot even see the top of the roof with the previous house on the property. From center of lot, the top of the new house will be roughly 10ft over the current hedges.**



**Photo 3: Photo showing the stairs to the house.**





Photo 4: Photo showing stairs to the sunken property.

We thank you for your consideration of our application and look forward to a favourable response.

Regards,



Alice On and Harry Lim



### BOARD OF VARIANCE REFERRAL LETTER

<b>DATE:</b> Oct 21, 2016		<b>DEADLINE:</b> Nov 08, 2016 for the Dec 1, 2016 hearing	<i>This is <u>not</u> an application. Please take letter to Board of Variance. (Clerk's office - Ground Floor)</i>
<b>NAME OF APPLICANT:</b> Rob Hsu			
<b>ADDRESS OF APPLICANT:</b> 21588 – 1424 Commercial Dr. Vancouver			
<b>TELEPHONE:</b> 604.312.9011			
<b>PROJECT</b>			
<b>DESCRIPTION:</b> New Single Family Dwelling w/ Attached Garage			
<b>ADDRESS:</b> 395 North Glynde Avenue			
<b>LEGAL:</b>	<b>LOT:</b> 16	<b>DL:</b> 39 189	<b>PLAN:</b> NWP4953

The above mentioned application, which includes the attached plan of the proposal, has been refused by the Building Department on the basis of contravention of:

**Zone/Section(s) R2 [102.6(1)(b)]**  
of the Burnaby Zoning Bylaw No. 4742

**COMMENTS:**

The applicant is proposing to build a new single family dwelling. The following relaxation is being requested.

1. To vary Section 102.6(1)(b) – “Height of Principal Building” of the Zoning Bylaw from 24.3 ft. to 33.5 ft. The purpose of this variance is to allow construction of the proposed single family dwelling with a flat roof to exceed the permitted maximum building height, as measured from the rear average elevation
2. To vary Section 102.6(1)(b) – “Height of Principal Building” of the Zoning Bylaw from 24.3 ft. to 25.86 ft. The purpose of this variance is to allow construction of the proposed single family dwelling with a flat roof to exceed the permitted maximum building height, as measured from the front average elevation.

*Note: The applicant recognizes that should the project contain additional characteristics in contravention of the zoning by-law a future appeal(s) may be required.*

LM

*Kushnir*

Peter Kushnir  
Deputy Chief Building Inspector

**Scope of Work:**

Proposed New Single Family Dwelling, Secondary Suite & Attached Two Car Garage

**Legal:**

North 66 Feet of Lot 16, Block 39 of District Lot 189, Group 1, New Westminster District, Plan 4953

**Civic Address:**

395 North Glynde Ave, Burnaby, BC.

**Zoning:** R-2

**Lot size:**

Frontage: 66.00 Ft

Depth: 130.89 Ft

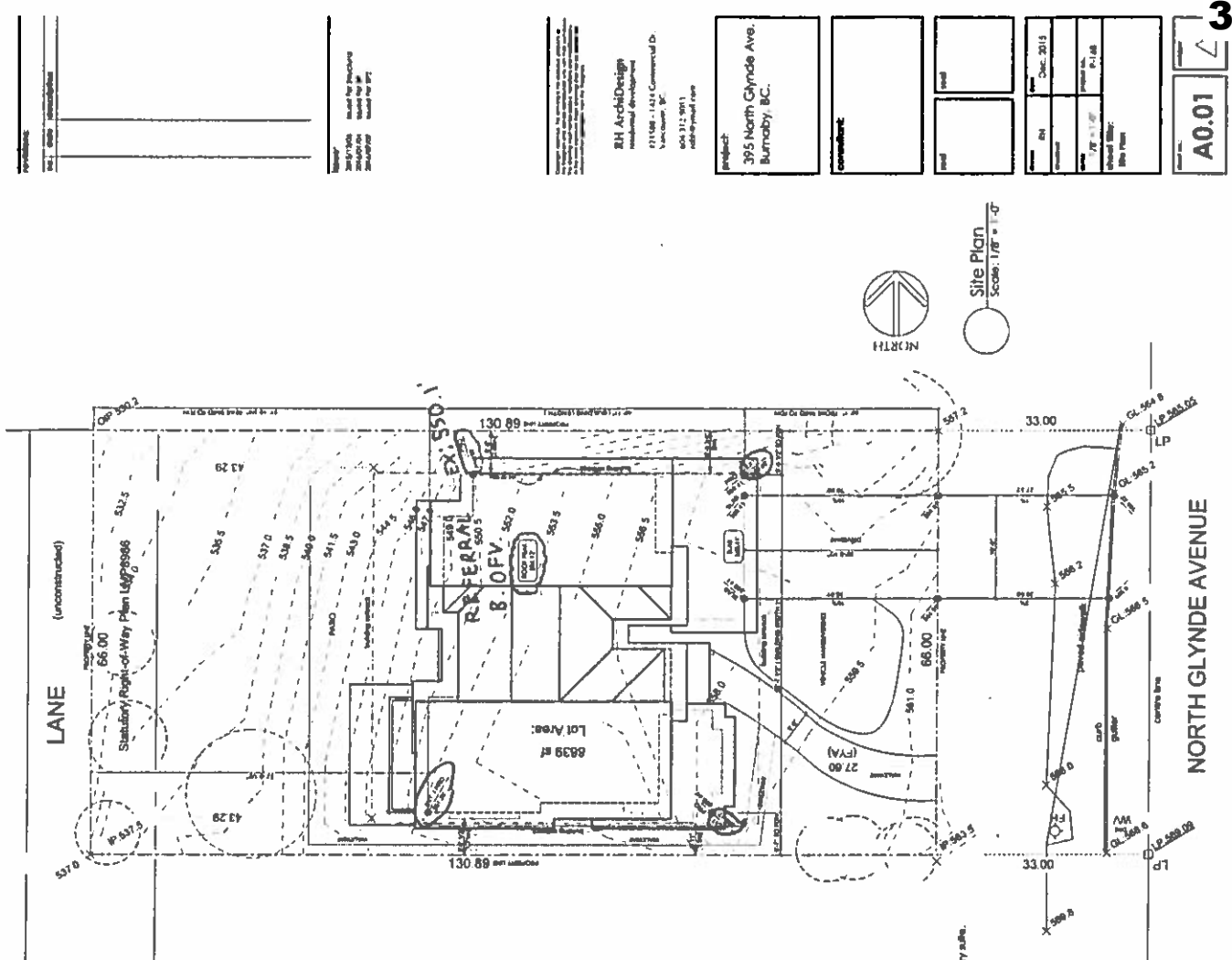
Site Area: 8,639.00 Sq Ft

**FSR Calculations:**

Site Area:	8,639.00 Sq Ft
Gross Floor Area Permitted @ 4.736.3 Sq Ft	4,736.30 Sq Ft
Gross Floor Area Proposed [Include Garage Overlap]	4,681.60 Sq Ft
Above Grade Floor Area Permitted @ 0.40	3,455.60 Sq Ft
Above Grade Floor Area Proposed [Include Garage Overlap]	3,454.83 Sq Ft
Lot Coverage Permitted @ 40%	3,455.60 Sq Ft
Lot Coverage Proposed @ 27%	2,479.68 Sq Ft
Balkony, Covered Decks @ 8% of Permitted Gross Floor Area	378.90 Sq Ft
Balkony, Covered Decks Proposed [Include Covered Patch Overlap]	298.03 Sq Ft
Covered Porch Permitted @ 39.8 Sq Ft	39.80 Sq Ft
Covered Porch Proposed	47.50 Sq Ft
Covered Porch Overlap [To Be Included As Deck Area]	7.70 Sq Ft
Proposed Bay Windows [Excluded From Gross Floor Area]	15.00 Sq Ft
Garage Floor Area Exempt	452.10 Sq Ft
Garage Floor Area Proposed	461.25 Sq Ft
Garage Floor Overlap [To Be Included As Above Grade Floor Area]	9.15 Sq Ft
Secondary Suite Floor Area Permitted	970.00 Sq Ft
Secondary Suite Floor Area Proposed	761.44 Sq Ft

<b>Proposed Gross Floor Area:</b>	
Lower Level:	1,226.76 Sq Ft
Main Floor:	1,733.23 Sq Ft
Upper Floor:	1,712.45 Sq Ft
Garage Floor Overlap:	9.15 Sq Ft
<b>Total Proposed Floor Area:</b>	<b>4,681.60 Sq Ft</b>

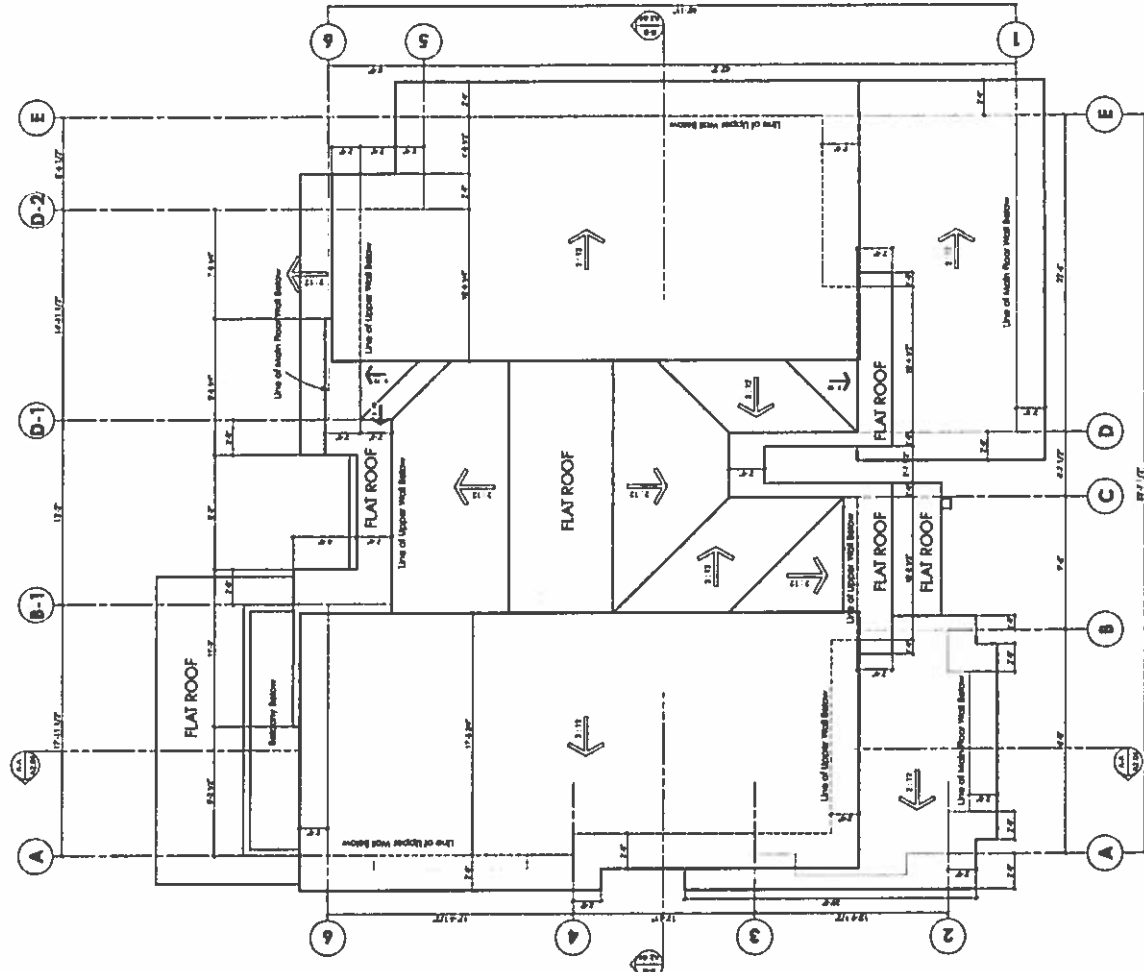
- \* Notes:
1. Site plan dimensions are in feet unless otherwise noted.
  2. All work shall comply with the current code (BCBC 2012)
  3. Refer to structural drawings for framing and structural requirements
  4. Type of flooring:
  5. Radiant floor heating/ Electric baseboard heating for the secondary suite.
  6. Windows, doors & skylights shall comply with CSA A440:
  - Performance class II
  - Performance grade RC140 [Hdqq]



3.(h)



date	Dec. 2015
author	1/2" x 1" 0"
subject no.	9-148
sheet 557: Resonance Plot	



Roof Plan  
Scale: 1/4" = 1'-0"

Project:  
395 North Clyde Ave.  
Burnaby, BC.

Client:  
[Redacted]

Architect:  
[Redacted]

Scale:  
1/4" = 1'-0"

Sheet:  
A1.05

Issue:  
2017/1/20  
Issue for Structure  
2017/1/20  
Issue for MEP  
2017/1/20  
Issue for Civil

Issue:  
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Issue for Structure  
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Issue for Civil

Project:  
395 North Clyde Ave.  
Burnaby, BC.

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[Redacted]

Architect:  
[Redacted]

Scale:  
1/4" = 1'-0"

Sheet:  
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Issue:  
2017/1/20  
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2017/1/20  
Issue for Civil

Issue:  
2017/1/20  
Issue for Structure  
2017/1/20  
Issue for MEP  
2017/1/20  
Issue for Civil

NO.	DATE	DESCRIPTION
1	2017.05.01	Initial Design
2	2017.05.01	Revised Design
3	2017.05.01	Final Design

2017.05.01  
 2017.05.01  
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 2017.05.01

2017.05.01  
 2017.05.01  
 2017.05.01  
 2017.05.01

BH Architects  
 411508 - 1024 Commercial Dr  
 Vancouver, BC  
 604 312 9711  
 info@bh.ca

project  
 395 North Glynde Ave.  
 Burnaby, BC

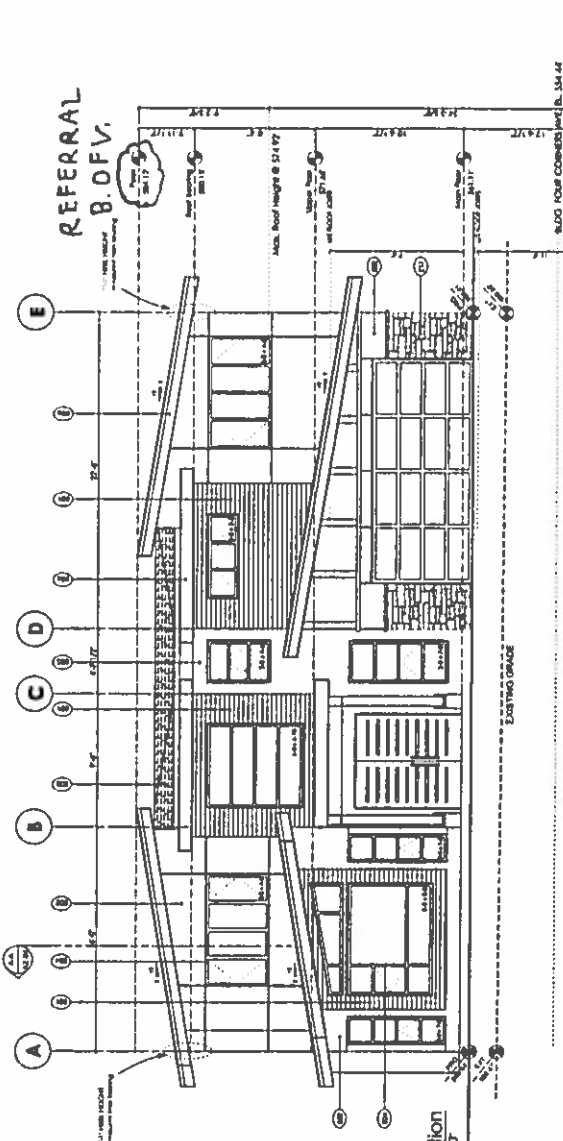
Consultant

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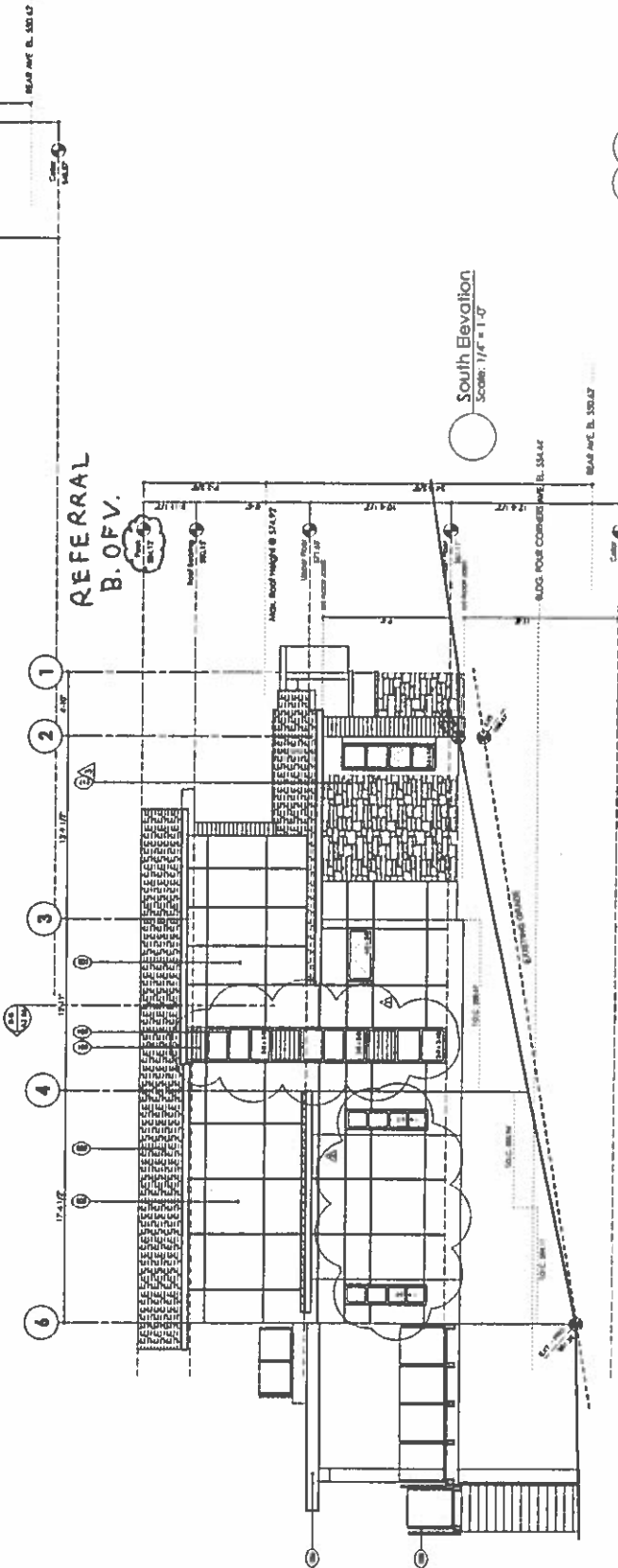
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3.(h)



EXTERIOR MATERIAL / COLOUR SCHEDULE	COLOUR
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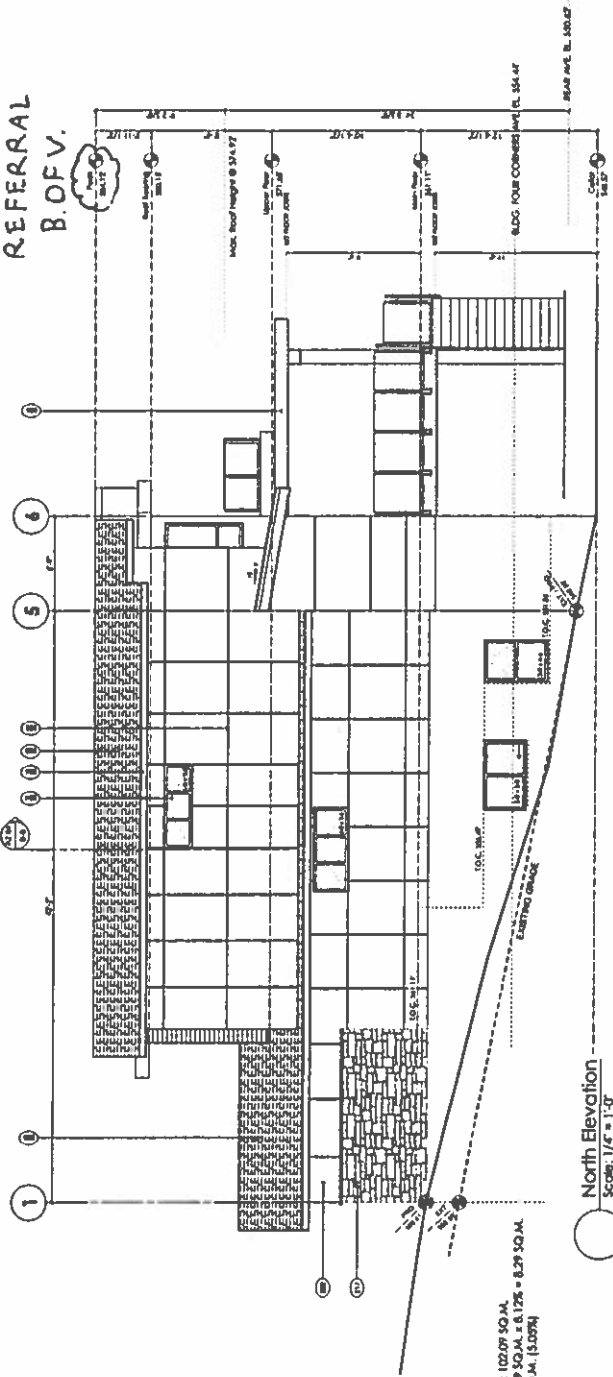
SPATIAL SEPARATION CALCULATION:  
 UNBUILT DISTANCE: 1.71 M. EXPOSED BUILDING FACE: 94.49 SQ.M.  
 ALLOWED AREA OF UNPROTECTED OPENINGS: 7.22 SQ.M. (77.7 SF)  
 ACTUAL AREA OF UNPROTECTED OPENINGS: 7.19 SQ.M. (77.39 SF)

PROJECT	395 North Gayde Ave. Burnaby, BC.
CONSULTANT	RM ArchiDesign Architectural Development 21188 - 102 Commercial Dr. Vancouver, BC 604.212.9911 info@rmdesign.com
DATE	2014/05/06
BY	RM
CHECKED	RM
APPROVED	RM

EXTERIOR MATERIALS / COLORS SCHEDULE	COLORS
1. BRICK - EXTERIOR WALLS	BRICK
2. BRICK - ROOF	BRICK
3. BRICK - ROOF	BRICK
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West Elevation  
Scale: 1/4" = 1'-0"

REFERRAL  
B.O.F.V.

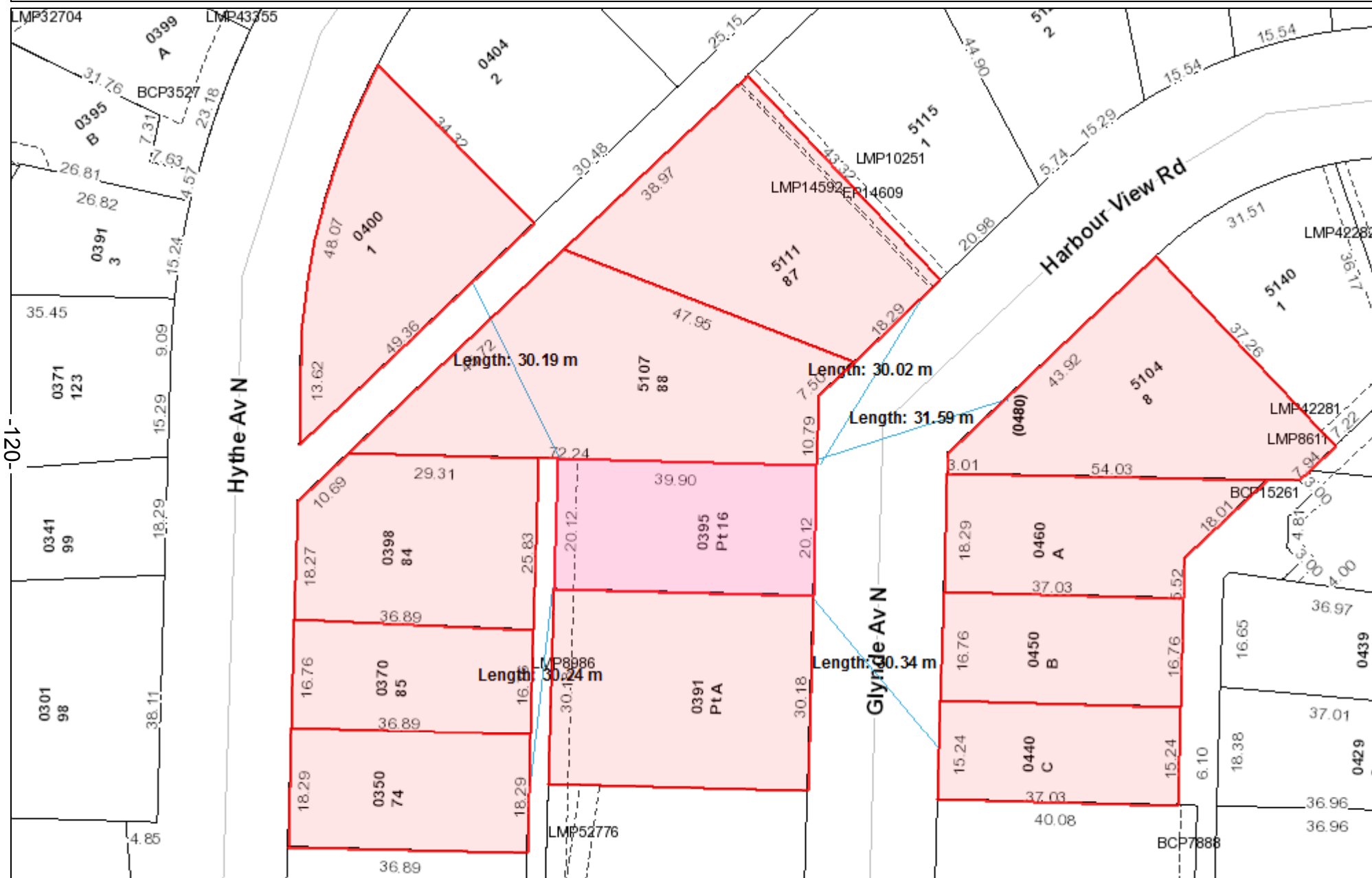


Spatial Separation Calculations

Limiting Distance: 20.4 m, Exposed Building Face: 102.09 sq.m,  
Allowed Area of Unprotected Openings: 102.09 sq.m x 0.126 = 12.87 sq.m,  
Actual Area of Unprotected Openings: 3.16 sq.m (5.09%)









# Board of Variance Appeal Application Form

## OFFICE OF THE CITY CLERK

Burnaby City Hall, 4949 Canada Way, Burnaby BC, V5G 1M2, Phone: 604-294-7290 Email: clerks@burnaby.ca

### Applicant

Name of Applicant RAFFAELE and ASSOCIATES  
 Mailing Address 2642 E HASTINGS ST  
 City/Town VANCOUVER Postal Code V5K1Z6  
 Phone Number(s) (H) 604 251 4610 (C) \_\_\_\_\_  
 Email office.raffaele@gmail.com  
 Preferred method of contact: ☒ email ☐ phone ☐ mail

### Property

Name of Owner SUNNY GUJRAL (MECA PROPERTIES)  
 Civic Address of Property 7774 GOVERNMENT RD

I hereby declare that the information submitted in support of this application is, to the best of my knowledge, true and correct in all aspects, and further that my plans have no conflict with municipal bylaws other than those applied for with in this application.

Nov 8 2016  
 Date

[Signature]  
 Applicant Signature

### Office Use Only

Appeal Date 2016 December 01 Appeal Number BV# 6259

#### Required Documents:

- ☐ Hardship Letter from Applicant
- ☐ Site Plan of Subject Property
- ☐ Building Department Referral Letter

Any documents submitted in support of this Board of  
Variance Appeal will be made available to the Public

## **Raffaele & Associates Design and Planning Consultants**

2642 East Hastings Street, Vancouver, BC V5K 1Z6 p. 604-251-4610 e. [office.raffaele@gmail.com](mailto:office.raffaele@gmail.com)

---

**Attn: Burnaby Board of Variance**

**Re: 7774 Government St., Burnaby**

Dear Honourable Board Members,

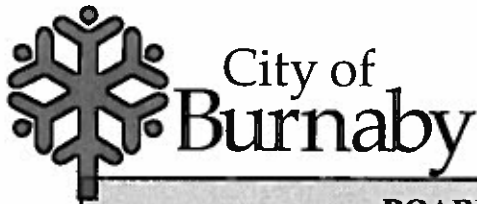
Our site at 7774 Government Street is subject to two site conditions that makes it impossible for a house to be designed under the current zoning bylaw. We are writing this letter to request a variance to allow for the use of a front yard setback of 47.89 feet to the door instead of the average front yard setback or 114.5 feet, calculated by the neighbouring properties. We feel this better reflects the neighbouring properties and is a compromise between the two extremes of the minimum front yard setback and the average front yard setback.

There are two factors that will put undue hardship when designing a house on our site. The first factor is that our lot depth is much less than the neighbours; therefore, their houses can be set back much farther than ours and the resulting front yard average that this creates takes over most of our lot at 114.5 feet. The second is that there is a water course behind our property which has been reviewed by the Environmental Review Committee (ERC) and they have asked for a minimum rear yard setback of 55.77 feet. Due to these two factors, there is no resulting building envelope since these numbers overlap.

We respectfully request a variance for using a front yard setback of 47.89 feet to the door instead of the average front yard setback. Without this variance, the site conditions will incur undue hardship on the buildable area and make it impossible for any house to be designed on this lot. We hope that you understand our situation and we thank you for your time and consideration.

Regards,

Raffaele & Associates



# BOARD OF VARIANCE REFERRAL LETTER

<b>DATE:</b> November 8, 2016		<b>DEADLINE:</b> November 8, 2016 for the December 1, 2016 hearing		<i>This is <u>not</u> an application. Please take letter to Board of Variance. (Clerk's office - Ground Floor)</i>
<b>NAME OF APPLICANT:</b> Raffaele and Associates				
<b>ADDRESS OF APPLICANT:</b> 2642 E. Hastings, Vancouver, V5K 1Z6				
<b>TELEPHONE:</b> 604.251.4610				
<b>PROJECT</b>				
<b>DESCRIPTION:</b> New single family dwelling				
<b>ADDRESS:</b> 7774 Government Road				
<b>LEGAL:</b>	<b>LOT:</b> 54	<b>DL:</b> 42	<b>PLAN:</b> 26832	

The above mentioned application, which includes the attached plan of the proposal, has been refused by the Building Department on the basis of contravention of:

**Zone/Section(s) R1 [101.8]**  
of the Burnaby Zoning Bylaw No. 4742

## COMMENTS:

The applicant is proposing to build a new single family dwelling. The following relaxation is being requested.

- 1) Under Section 101.8 of the Burnaby Zoning Bylaw the depth of the front yard is required to be 114.5 feet (based on front yard averaging). A front yard depth of 43.81 feet is proposed.

All projections into the proposed front yard will conform to the requirements of Section 6.12.

This variance is being requested in order to allow construction of the single family dwelling and its front porch within the required front yard.

*Note: A previous Board of Variance appeal (B.V.6246, October <sup>6</sup>~~7~~, 2016) seeking relaxation of the front yard setback requirement was denied.*

*Note: A previous Board of Variance appeal (B.V.6250, November <sup>3</sup>~~4~~, 2016) seeking relaxation of the front yard setback requirement was denied.*

*Note: The applicant recognizes that should the project contain additional characteristics in contravention of the zoning by-law a future appeal(s) may be required.*

CN

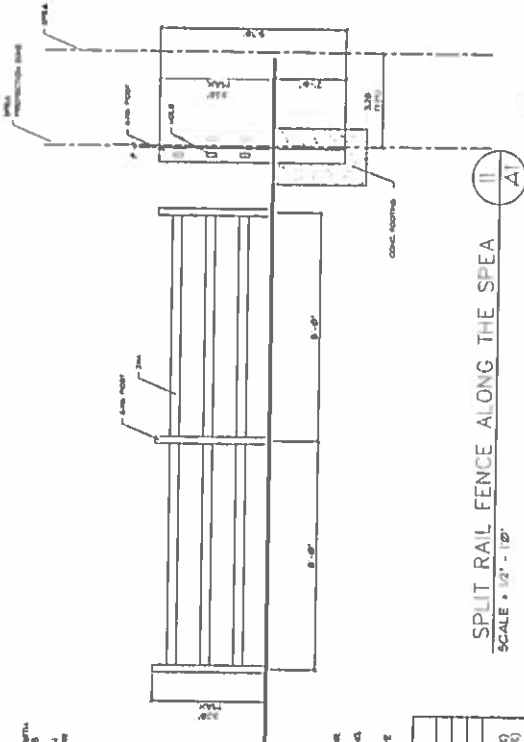
Peter Kushnir  
Deputy Chief Building Inspector

RECEIVED

NOV 08 2016

BUILDING DEPARTMENT

AS PER THE SUBMITTAL, THE FOLLOWING ARE THE NOTES FOR THE LOT NOT TO BE COVERED BY THE EXISTING DRIVEWAY INCLUDING BUILDINGS & STRUCTURES:  
ALL SITE DRAINAGE INCLUDING GARAGE AND PORCH MUST BE DIRECTED TO ON-SITE DRAINAGE SYSTEM.  
WATER CONSERVATION REGULATION: ALL NEW INSTALLATIONS MUST BE 6 LITER TOILETS  
RECYCLING BINS NOT PERMITTED  
ALL CONSTRUCTION TO CONFORM TO BRITISH COLUMBIA BUILDING CODE 360 AND SUBSEQUENT ZONING BYLAW  
ALL WORK ON THE CITY ROAD RIGHT OF WAY INCLUDING SURFACING AND CURB AND GUTTER REPAIRS MUST BE REQUESTED PRIOR APPROVAL BY THE DIRECTOR OF ENGINEERING.



SPLIT RAIL FENCE ALONG THE SPEA II  
SCALE: 1/8" = 1'-0"

IMPERVIOUS SITE COVERAGE	
LOT AREA	IMPERVIOUS SITE COVERAGE
13,510.00	13,510.00
PROPOSED	6,350.00 (47%)
HOUSE	3,240.00 (23.9%)
DRIVEWAY	1,827.82 (13.5%)
DRIVEWAY	227.83 (1.7%)
TOTAL	6,350.00 (47%)

PROJECT / ZONING DATA :	
LEGAL DESCRIPTION :	PLAN OF SURVEY OF LOT 54, DISTRICT LOT 42, GROUP 1, NEW WESTMINSTER DISTRICT, PLAN 26832
OWNER ADDRESS :	7774 Government Road, Burnaby, BC
ZONING :	R-1
LOT AREA:	13,510.00
SITE COVERAGE 40%	5,404.00
ABOVE GRADE FLOOR AREA 20% x 1400.0 OR 40%	2,800.00
GROSS FLOOR AREA 60% OF 6,350.0	3,810.00
DECK AREA 8% OF G.F.A.	508.07
ACTUAL SITE COVERAGE:	
HOUSE	3,240.00
PORCH	1,827.82
SURROUNDING DRIVE	127.18
TOTAL :	5,195.00
ACTUAL A.C.F.A. :	
MAIN FLOOR	2,800.00
SECOND FLOOR	1,400.00
TOTAL :	4,200.00
ACTUAL G.F.A. :	
CELLAR	1,400.00
TOTAL :	5,600.00
ACTUAL PORCH :	1,827.82
ACTUAL DECK/BALCONY BE :	508.07
ACTUAL GARAGE :	699.93
TOTAL :	3,935.82

GENERAL NOTES

1. THE DRAWINGS ARE THE PROPERTY OF RAFAELE & ASSOCIATES BUILDING DESIGN CONSULTANTS. NO PART OF THESE DRAWINGS ARE TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RAFAELE & ASSOCIATES BUILDING DESIGN CONSULTANTS.
2. THE DRAWINGS HAVE BEEN PREPARED TO CONFORM TO THE BUILDING CODE OF THE LOCAL GOVERNMENT.
3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE BUILDING CODE OF THE LOCAL GOVERNMENT.
4. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT.
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MISCELLANEOUS

1. FURNISH GRADES ON SITE TO DIRECT ANY SURFACE WATER FLOW RIGHT TO THE STREET OR TO A DRAINAGE SYSTEM.
2. WHERE A DRAINAGE SYSTEM IS REQUIRED, THE OPERATOR OF THE SYSTEM SHALL NOT REDUCE THE CLEARANCE IN A MANNER THAT WOULD BE DANGEROUS TO THE PUBLIC OR TO THE STRUCTURE.
3. THE OPERATOR SHALL BE RESPONSIBLE FOR MAINTAINING THE DRAINAGE SYSTEM AND FOR REPLACING ANY DAMAGED OR MISSING PARTS.



RECEIVED

NOV 08 2016

BUILDING DEPARTMENT

Bay REFERRAL

STRUCTURAL ENGINEER

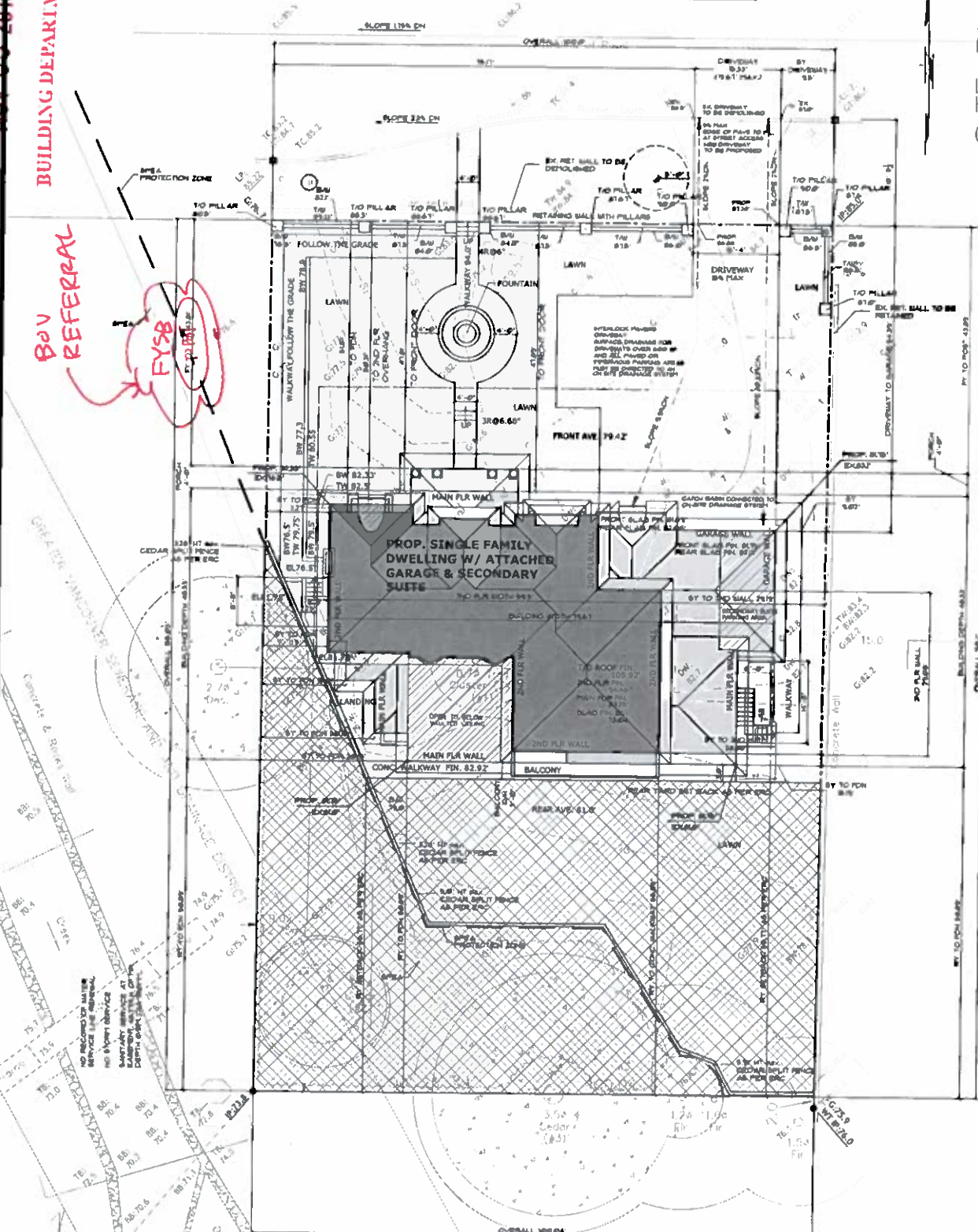
RAFFAELLE & ASSOCIATES  
CORPORATE RESIDENCE BY:  
RESIDENTIAL COMMERCIAL  
INTERIOR DESIGN  
2842 EAST HASTINGS STREET, VANCOUVER BC V6K 1Z6  
TEL: (604) 251-8810 EMAIL: office@raffaellengroup.com

RESIDENTIAL PROJECT  
PROJECT NAME:  
FROM PRE-SUBMIT CONSULT  
DRAWING NO. 126

GENERAL NOTES  
1. SITE PLAN  
2. FLOOR PLAN  
3. SECTION  
4. ELEVATION  
5. EXTERIOR ELEVATION  
6. EXTERIOR FINISH  
7. EXTERIOR MATERIALS  
8. EXTERIOR LIGHTING  
9. EXTERIOR FURNITURE  
10. EXTERIOR PLANTING  
11. EXTERIOR WALLS  
12. EXTERIOR ROOF  
13. EXTERIOR STAIRS  
14. EXTERIOR PATIO  
15. EXTERIOR DRIVEWAY  
16. EXTERIOR LAWN  
17. EXTERIOR FENCE  
18. EXTERIOR GATE  
19. EXTERIOR SIGNAGE  
20. EXTERIOR SECURITY

STEEL PLAN  
SCALE: 1/8" = 1'-0"

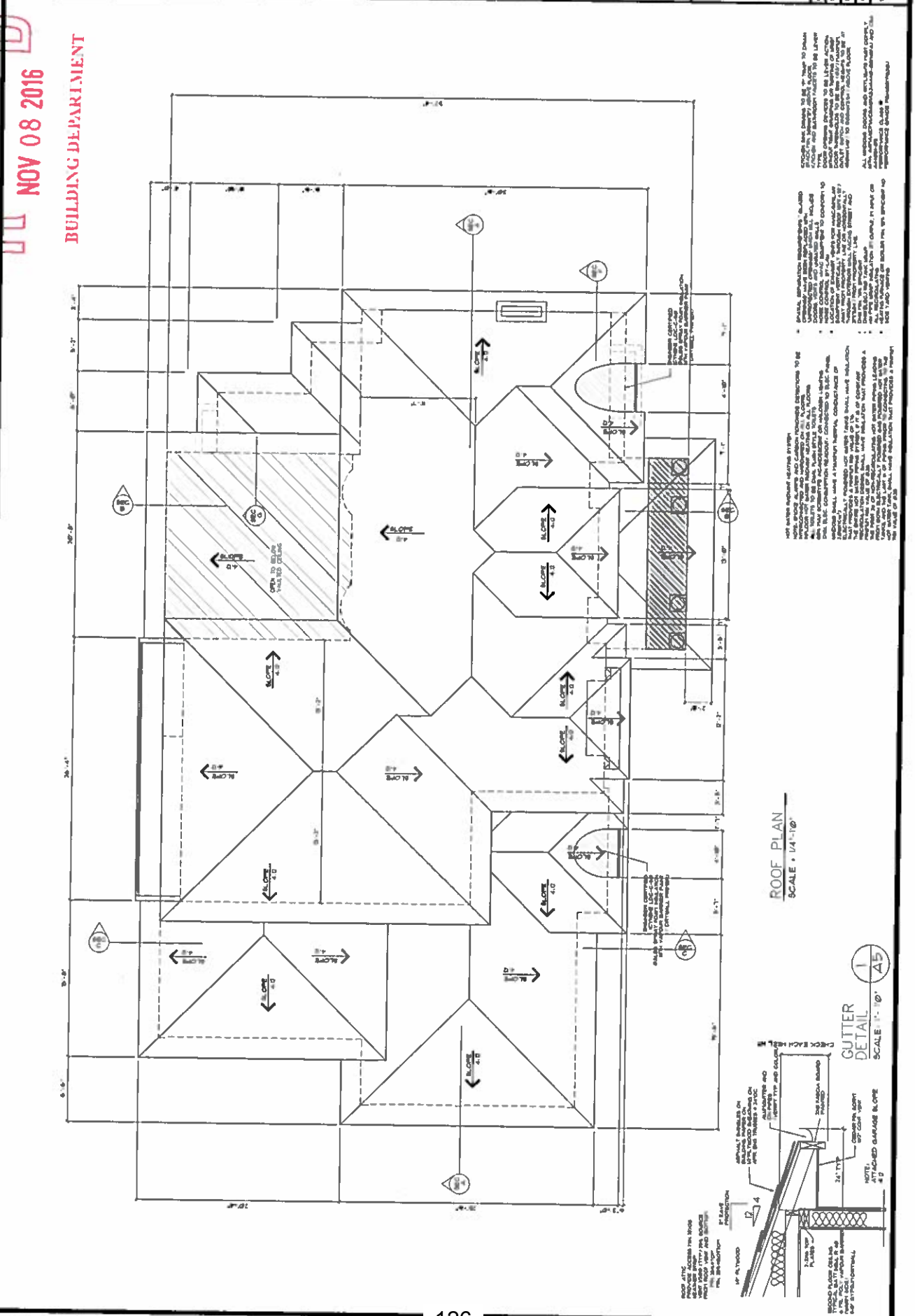
#7774 GOVERNMENT ROAD



NO BUILT ZONE  
STREAM SIDE  
PROTECTION AND  
ENHANCEMENT AREA

RECEIVED  
NOV 08 2016  
BUILDING DEPARTMENT

PROJECT NO.		1000
DATE		10/1/16
BY		RA
SCALE		1/4" = 1'-0"
REVISIONS		
NO.	DATE	DESCRIPTION
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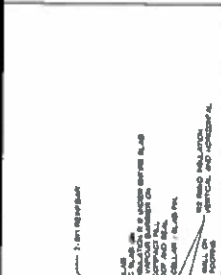




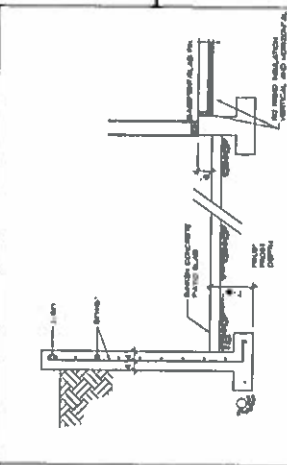
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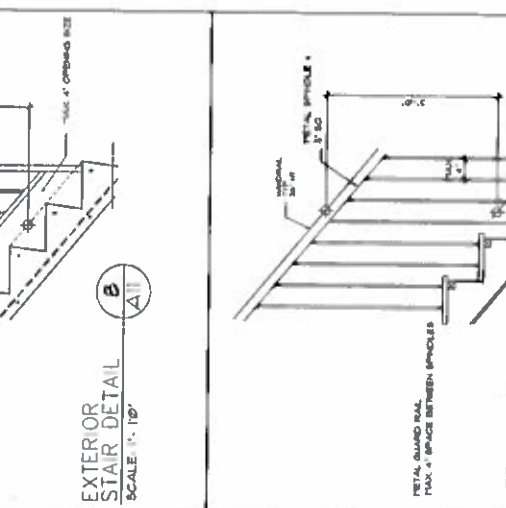
CRAWL SPACE  
VENT 14000 BTU



SUNKEN PATIO DETAIL  
SCALE = 1/2" = 1'-0"



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5.4



STONE TILE VENEER OVER  
STONE ADHESIVE SYSTEM ON  
DAC STONE SHEET ON  
STRENGTHENING SUBSTRATE

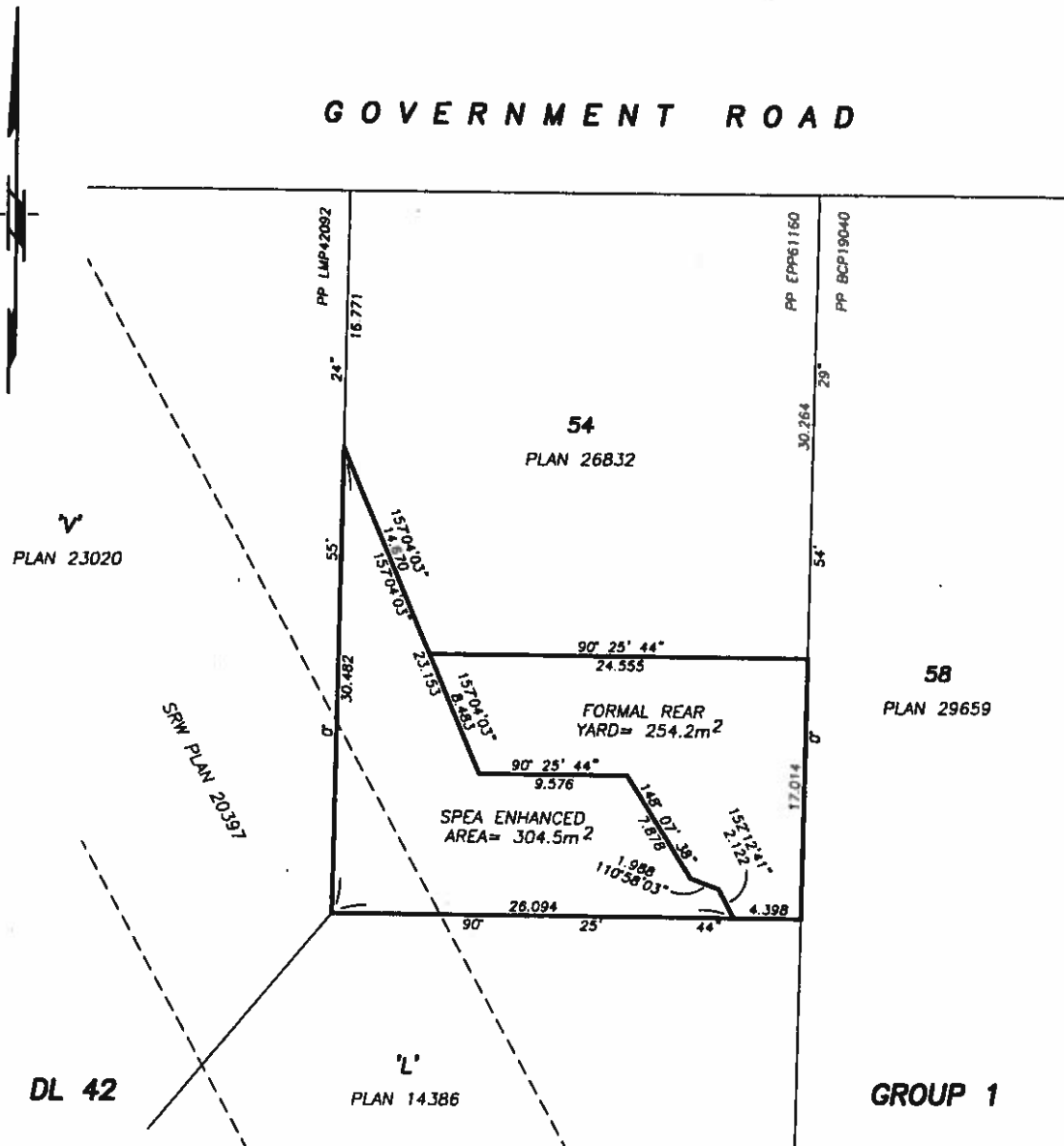
[illegible]

**EXPLANATORY PLAN OF COVENANTS OVER A PORTION  
OF LOT 54, DISTRICT LOT 42, GROUP 1,  
NEW WESTMINSTER DISTRICT, PLAN 26832  
PURSUANT TO SECTION 99(1)(e), LAND TITLE ACT  
B.C.G.S. 92G.026**

**PLAN EPP62522**



All distances are in metres and decimals  
thereof unless otherwise indicated.  
The intended plot size of this plan is  
280mm in width by 432mm in height  
(sheet size B) when plotted at a scale of 1:300.



Ken K. Wang and Associates  
Canada and B.C. Land Surveyors  
5624 E. Hastings Street  
Burnaby, B.C. V5B 1R4  
Telephone: (604) 294-8881  
Fax: (604) 294-0625  
160408 FB928 P88-90 SU-2832  
TG-2287 R-1212 R-9645  
Drawn by: MD

**LEGEND:**

m<sup>2</sup> - denotes square metres  
SPEA - denotes Streamside Protection  
and Enhancement Area

Bearings are grid derived  
from Plan EPP61160.

This plan is based on the following  
Land Title and Survey Authority  
of BC records:

Plan EPP61160

Steven E. Wang, BCLS #942  
8th day of June, 2016

**FILE: SI-4660**

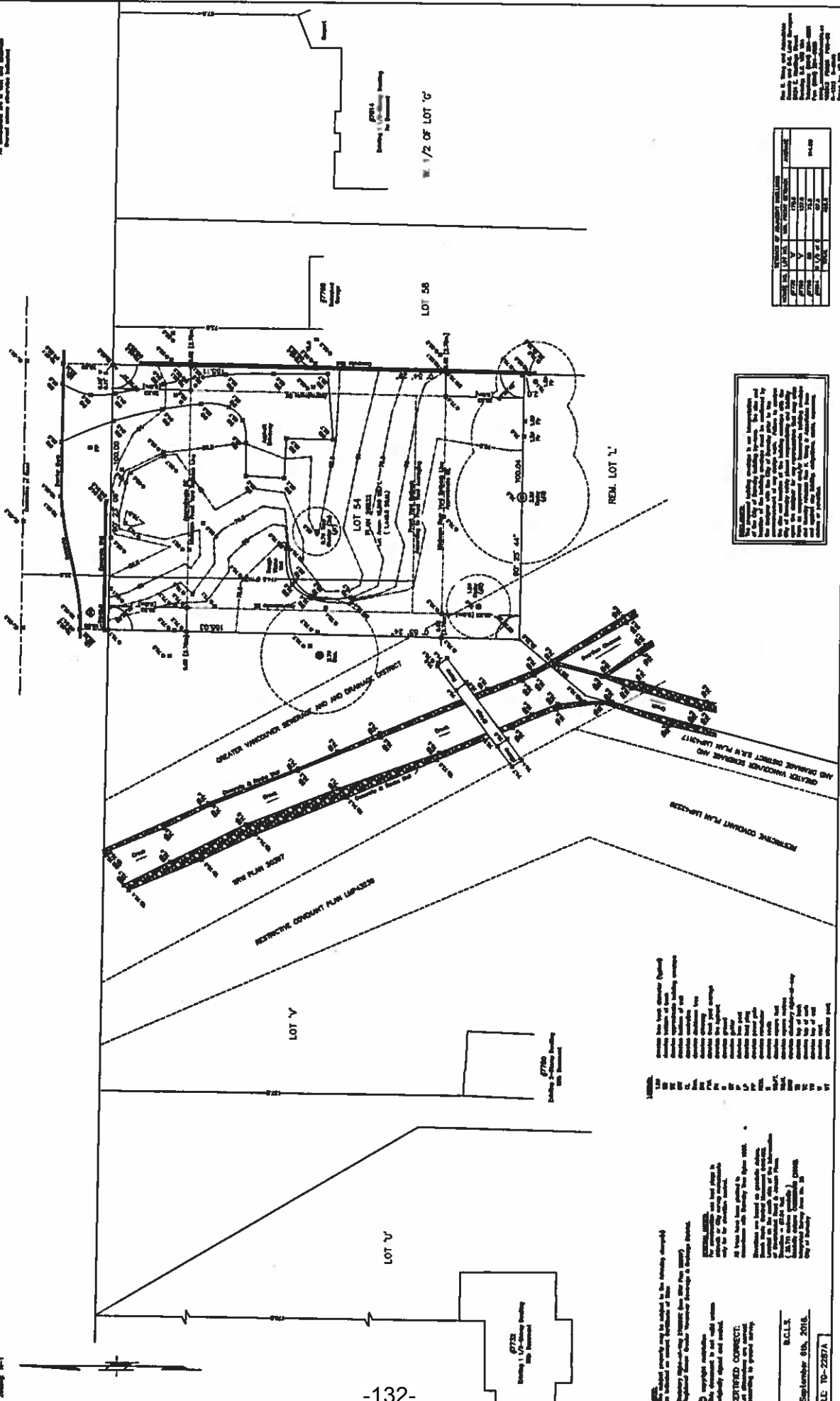
This plan lies within the Greater Vancouver Regional District.

PLAN OF SURVEY OF LOT 54, DISTRICT LOT 42,  
GROUP 1, NEW WESTMINSTER DISTRICT, PLAN 26832.

7704 New Westminster Road  
New Westminster, BC  
V3M 2G1

SCALE: 1 INCH = 50 FEET  
As shown on the map and subject  
to the provisions of the Survey Act

GOVERNMENT ROAD



Lot	Area (Acres)	Area (Sq. Feet)
LOT 54	1.00	136,000
LOT 56	1.00	136,000
LOT 58	1.00	136,000
LOT 59	1.00	136,000
LOT 60	1.00	136,000
LOT 61	1.00	136,000
LOT 62	1.00	136,000
LOT 63	1.00	136,000
LOT 64	1.00	136,000
LOT 65	1.00	136,000
LOT 66	1.00	136,000
LOT 67	1.00	136,000
LOT 68	1.00	136,000
LOT 69	1.00	136,000
LOT 70	1.00	136,000
LOT 71	1.00	136,000
LOT 72	1.00	136,000
LOT 73	1.00	136,000
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LOT 75	1.00	136,000
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LOT 96	1.00	136,000
LOT 97	1.00	136,000
LOT 98	1.00	136,000
LOT 99	1.00	136,000
LOT 100	1.00	136,000

NOTES:  
1. The survey was made by the Surveyor General of British Columbia, and the results are published in the Survey Act.  
2. The survey was made by the Surveyor General of British Columbia, and the results are published in the Survey Act.  
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