BOARD OF VARIANCE

NOTICE OF OPEN MEETING

DATE: **THURSDAY, 2018 MARCH 01**

TIME: **6:00 PM**

PLACE: **COUNCIL CHAMBER, MAIN FLOOR, CITY HALL**

A G E N D A

1. CALL TO ORDER

2. ELECTIONS

(a) Election of Chair

3. MINUTES

(b) Minutes of the Board of Variance Hearing held on 2018 February 01

4. APPEAL APPLICATIONS

(a) APPEAL NUMBER: B.V. 6320 6:00 p.m.

APPELLANT: Tony Zaurrini

REGISTERED OWNER OF PROPERTY: William Bradley

CIVIC ADDRESS OF PROPERTY: 208 Ellesmere Avenue North

LEGAL DESCRIPTION OF PROPERTY: Lot 2; DL 189; Plan 4953

APPEAL: An appeal for the relaxation of Section 6.14(5)(a)(b) of the Burnaby Zoning Bylaw which, if permitted, would allow for the construction of a new single family dwelling with a detached garage at 208 Ellesmere Avenue North. The following variances are requested:

a) Construction of a fence from the original grade up to 10.17 feet in the required front yard, where a maximum fence height of 3.51 feet is permitted;

b) Construction of a retaining wall up to 6.6 feet in the required front yard, where a maximum retaining wall height of 3.51 feet is permitted; and,

c) Construction of a retaining wall up to 17.25 feet located in the rear of the required front yard, where a maximum retaining wall height of 5.91 feet is permitted. Zone R2

(b) APPEAL NUMBER: B.V. 6321 6:00 p.m.

APPELLANT: Tohmm Cobban Architect

REGISTERED OWNER OF PROPERTY: Albert and Susan Tremblett

CIVIC ADDRESS OF PROPERTY: 4256 Venables Street

LEGAL DESCRIPTION OF PROPERTY: Lot 6; DL 121; Plan 41318

APPEAL: An appeal for the relaxation of Section 105.10(3) of the Burnaby Zoning Bylaw to allow for conversion of an attached carport to garage, with sundeck above, to an existing single family dwelling at 4256 Venables Street. The applicant requests a variance to allow a side yard setback of 3.79 feet, where a minimum set back of 4.0 feet is required. Zone R5

(c) APPEAL NUMBER: B.V. 6322 6:15 p.m.

APPELLANT: Chris Williams, Basil Restoration Ltd.

REGISTERED OWNER OF PROPERTY: James Fitzgerald and Cori Gabana

CIVIC ADDRESS OF PROPERTY: 7853 Goodlad Street

LEGAL DESCRIPTION OF PROPERTY: Lot 4; DL 90; Plan 21440

APPEAL: An appeal for the relaxation of Section 6.12(3)(a) of the Burnaby Zoning Bylaw to allow for addition to the main floor and interior alteration to an existing single family dwelling at 7853 Goodlad Street. The applicant requests a variance to allow a side yard setback of 4.36 feet, where a minimum set back of 5.20 feet is required. Zone R2

(d) APPEAL NUMBER: B.V. 6323 6:15 p.m.

APPELLANT: Daryl Berden, Ridgewater Homes

REGISTERED OWNER OF PROPERTY: Anthony and Roxanne Perry

CIVIC ADDRESS OF PROPERTY: 6555 Denbigh Avenue

LEGAL DESCRIPTION OF PROPERTY: Lot 1; DL 94; Plan NWP11070

APPEAL: An appeal for the relaxation of Sections 105.8(1), 105.9, and 105.10(1) of the Burnaby Zoning Bylaw which, if permitted, would allow for the construction of a new secondary suite, interior and exterior alterations, and a rear addition to an existing single family dwelling at 6555 Denbigh Avenue. The following variances are requested:

a) A principal building depth of 52.25 feet where the maximum building depth of 47.24 feet is permitted;

b) A front yard setback of 16.28 feet, where a minimum set back of 25.40 feet is required, based on front yard averaging; and,

c) A side yard setback of 3.06 feet, where a minimum side yard setback of 4.90 feet is required. Zone R5

(e) APPEAL NUMBER: B.V. 6324 6:30 p.m.

APPELLANT: Parkat Lehal

REGISTERED OWNER OF PROPERTY: Adeep and Nimrit Lehal

CIVIC ADDRESS OF PROPERTY: 3819 Marine Drive

LEGAL DESCRIPTION OF PROPERTY: Lot 133; DL 175; Plan 11579

APPEAL: An appeal for the relaxation of Sections 102.7(b) and 6.2(2) of the Burnaby Zoning Bylaw which, if permitted, would allow for construction of a new single family dwelling with secondary suite and detached garage at 3819 Marine Drive. The following variances are requested:

a) A principal building depth of 74.50 feet where the maximum depth of 60.0 feet is permitted; and,

b) Construction of an accessory building in a required front yard, where no accessory building can be located in a required front yard. The proposed accessory building is 85.5 feet from the front (Marine Drive) property line and 8.0 feet from the north (Maple Tree Lane) property line.

Note: The property is a through lot with two front yards. Zone R2.

(f) APPEAL NUMBER: B.V. 6325 6:30 p.m.

APPELLANT: Khim Chan

REGISTERED OWNER OF PROPERTY: Anthony Yiu

CIVIC ADDRESS OF PROPERTY: 398 Hythe Avenue North

LEGAL DESCRIPTION OF PROPERTY: Lot 84; DL 189; Plan NWP27933

APPEAL: An appeal for the relaxation of Section 6.14(5)(a) of the Burnaby Zoning Bylaw which, if permitted, would allow for the repair and replacement of an over height retaining wall to an existing single family dwelling at 398 Hythe Avenue North. The applicant is requesting a variance to allow construction of a retaining wall up to 10.3 feet in the front yard, where a maximum height of 3.51 feet for any structure is permitted anywhere on a lot. Zone R2

A previous Board of Variance (BOV 5640 2008 June 05) decision allowed: a) a building height of 35.25 feet, where a maximum building height of 29.5 feet was permitted; b) a three storey height where a maximum 2 ½ storey height was permitted; c) a front yard setback of 40.2 feet where front yard averaging required a setback of 56.2 feet; d) a side yard setback of 4.7 feet where a minimum side yard setback of 4.9 feet was required; e) a distance of 8.42 feet from the detached accessory building where a minimum distance of 14.8 feet was required between the two structures and with the detached accessory building in a required front yard observing f) a setback from front property line of 21.0 feet where front yard averaging required a minimum setback of 56.2 feet.

5. NEW BUSINESS

6. ADJOURNMENT

BOARD OF VARIANCE

M I N U T E S

A Hearing of the Board of Variance was held in the Council Chamber, Burnaby City Hall, 4949 Canada Way, Burnaby, B.C., on Thursday, **2018 February 01** at 6:00 p.m.

1. CALL TO ORDER

PRESENT: Mr. Stephen Nemeth, Chair
Mr. Rana Dhatt, Citizen Representative
Mr. Wayne Peppard, Citizen Representative
Mr. Brian Pound, Citizen Representative

ABSENT: Ms. Brenda Felker, Citizen Representative *(due to illness)*

STAFF: Ms. Sharon Knapp, Development Plan Technician
Ms. Monica Macdonald, Administrative Officer

The Administrative Officer called the meeting to order at 6:05 p.m.

2. ELECTION

(a) Election of Chair

MOVED BY MR. POUND
SECONDED BY MR. PEPPARD

THAT Mr. S. Nemeth be appointed as Chair of the Burnaby Board of Variance for the 2018 February 01 Hearing.

CARRIED UNANIMOUSLY

The election of the Chair for the balance of 2018 was postponed to the 2018 March 01 hearing.

DRAFT

3. MINUTES

(a) Minutes of the Board of Variance Hearing held on 2018 January 04

MOVED BY MR. PEPPARD
SECONDED BY MR. POUND

THAT the minutes of the Burnaby Board of Variance Hearing held on 2018 January 04 be adopted.

CARRIED UNANIMOUSLY

4. APPEAL APPLICATIONS

The following persons filed application forms requesting that they be permitted to appear before the Board of Variance for the purpose of appealing for the relaxation of specific requirements as defined in the Burnaby Zoning Bylaw 1965, Bylaw No. 4742.

(a) APPEAL NUMBER: B.V. 6317

APPELLANT: Chanh Ngoc Bui

REGISTERED OWNER OF PROPERTY: Chung T. Nguyen

CIVIC ADDRESS OF PROPERTY: 7867 10th Avenue

LEGAL DESCRIPTION OF PROPERTY: Lot 30; DL 28; Plan 2105

APPEAL: An appeal for the relaxation of Section 105.9 of the Burnaby Zoning Bylaw which, if permitted, would allow for construction of a new single family dwelling with a secondary suite and detached garage at 7867 10th Avenue, with a front yard setback of 30.70 feet, where a minimum set back of 53.51 feet is required based on front yard averaging. Zone R5

APPELLANT'S SUBMISSION:

Mr. Kevin Bui, designer, submitted an application for relaxation of the front yard setback for construction of his client's new home.

Mr. Bui and Mr. Nguyen, home owner, appeared before members of the Board of Variance.

DRAFT

BURNABY PLANNING AND BUILDING DEPARTMENT COMMENTS:

The subject site, which is zoned R5, is located in the Hillcrest District, where the age and conditions of single and two family dwellings varies. This interior lot is approximately 49.50 ft. wide along its Tenth Avenue frontage to the southeast and 141.17 ft. deep. Single family dwellings abut the site to the west, and the rear of a C2 zoned commercial property (which is addressed off Sixth Street) lies to the east. Vehicular access to the subject site is provided from the lane at the rear. The subject site is relatively flat, with a downward slope of approximately 3.25 ft. over the 141.17 ft. from the Tenth Avenue property line to the lane.

The subject lot is proposed to be redeveloped with a new single family dwelling with a secondary suite and a detached garage.

The appeal proposes the relaxation of Section 105.9 of the Zoning Bylaw requirement for the minimum front yard depth from 53.51 ft. (based on front yard averaging) to 30.70 ft.

In 1991, Council responded to the public concerns with respect to the bulk and massing of the newer and larger homes that were built in established neighbourhoods. Several text amendments to the Zoning Bylaw were made to address these concerns, including the requirement of a larger front yard where the average front yard depth of the two dwellings on either side of the subject site exceeds the required front yard applicable to the zone. Then, the front yard requirement must be calculated through "front yard averaging." The intent of the amendment was to improve the consistency and harmony of the new construction with the existing neighbourhood.

In this case, the front yard averaging calculations are based on the two neighbouring properties to the west, 7859 and 7853 Tenth Avenue. These front yards are 40.26 ft. and 66.75 ft. respectively. The commercial property to the east at 7885 Sixth Street is not included in the calculation. The property at 7853 Tenth Avenue, which was constructed in 1975, significantly affects the calculation.

The proposed front yard setback is measured to the foundation of front façade of the new house. With respect to the neighbouring residences to the west, little impact is expected, as these residences would remain set further backward from the proposed dwelling by 9.56 ft. and 36.05 ft. respectively. (The existing dwelling on the subject site observes a front yard setback of approximately 22.52 ft., which is less than the 30.70 setback of this requested variance.) Placing the house at the proposed location is a compromise and provides a greater setback than the current dwelling observes. The proposal will allow the new dwelling to fit in with the dwelling immediately to the west at 7859 Tenth Avenue, while still meeting all the Zoning requirements for the required distance between the house and the detached garage, and the required setback of the garage from the lane. This Department also notes that the proposed 30.70 ft. setback is significantly deeper than the minimum front yard depth in the R5 district which is 6 m. (19.67 ft.).

With reference to the broader neighbourhood context, with the exception of 7853 Tenth Avenue (66.75 ft.) and 7811 Tenth Avenue (approximately 16.25 ft.), the proposed siting of the new dwelling would be consistent with the majority of the dwellings within the subject block.

In summary, since the proposed front yard variance would not create negative impacts on the neighbouring properties and the existing streetscape, this Department does not object to the granting of this variance.

ADJACENT OWNER'S COMMENTS:

No submissions were received regarding this appeal.

MOVED BY MR. PEPPARD
SECONDED BY MR. POUND

THAT based on the plans submitted, this appeal be ALLOWED.

CARRIED UNANIMOUSLY

(b) APPEAL NUMBER: B.V. 6318

APPELLANT: Veerpal Kaur Gill

REGISTERED OWNER OF PROPERTY: Ajaib and Balvir Gill; Naginder and Veerpal Gill

CIVIC ADDRESS OF PROPERTY: 4880 Portland Street

LEGAL DESCRIPTION OF PROPERTY: Lot 6; DL 157; Plan 1828

APPEAL: An appeal for the relaxation of Section 102.6(1)(a) of the Burnaby Zoning Bylaw to allow for construction of a new single family dwelling with a secondary suite and detached garage at 4880 Portland Street, with a principal building height of 30.97 feet (sloped roof) measured from the rear average grade, where the maximum height of 29.50 feet is permitted. The principal building height measured from the front average grade will be 27.77 feet. Zone R2

APPELLANT'S SUBMISSION:

Ms. Veerpal Gill submitted an application for relaxation of the principal building height for construction of her new home.

Homeowners Ms. Veerpal Gill and Mr. Ajaib Gill, and their designer appeared before members of the Board of Variance.

BURNABY PLANNING AND BUILDING DEPARTMENT COMMENTS:

The subject site is zoned R2 and is located in the South Slope district where the ages and conditions of the single family dwellings vary. This rectangular corner lot is approximately 66.00 ft. wide by 144.00 ft. deep. It fronts Nelson Avenue to the east and is flanked by Portland Street to the north. The subject site abuts a single family lot to the south (7925 Nelson Avenue) and single family dwellings are located across the lane on Portland Street to the west, across Portland Street to the north and across Nelson Avenue to the east. Vehicular access to the site is provided via the lane at the rear. The site observes a lengthwise downward slope of approximately 6.00 ft. from Nelson Avenue to the lane, and approximately 8.90 ft. across the width of the property.

The intent of the height requirements of the Zoning Bylaw is to mitigate the massing and other impacts of the new buildings and structures on neighbouring properties.

The height calculation is based on the average grade at the rear of the dwelling, which is the elevation that faces the lane to the west. A slight grade difference from the front to the rear of the subject site, and across the width of the lot contributes slightly to the excess height of the rear elevation. The proposed height encroachment of 1.25 ft. extends 21.50 ft. across the central portion of the roof. The roof eaves will be 62.48 ft. from the rear property line at the lane, and views of this house from 7864 Portland Street are screened by landscaping on their property, so little impact is predicted on this property.

When viewed from the South (side) property line shared with 7925 Nelson Avenue, a section of roof 27.00 ft. long would exceed the permitted height by 1.25 ft. This overheight section of the roof will further emphasize the difference in height between the new dwelling and the bungalow to the south. The new house is located to the north of the bungalow, so it will not cast shade directly on their deck or back yard. However, the additional bulk and massing of the roof will be perceived by persons on the large sundeck at the rear of 7925 Nelson Avenue.

In terms of fitting in with the existing streetscape, the new house is prominently located on a corner, where it is the first new house to be constructed at the intersection of Portland Street and Nelson Avenue. It is also the first new house to be built on this side of the 7900 block of Nelson Avenue. All efforts should be made to comply with the Bylaw in order to establish the correct precedent for future development.

The applicant notes that the overheight roof is the result of a contractor's error. In this case, the cost to redress the matter would be borne by the contractor and not by the applicant. Compliance with the Bylaw can be achieved on this site, as the original Building Permit plans demonstrate. This proposal defeats the intent of the Bylaw to regulate building height. In addition, the proposed variance negatively impacts the neighbouring property to the south and sets an undesirable precedent for the future streetscape.

DRAFT

ADJACENT OWNER'S COMMENTS:

Petition letters were received from 4877 and 4891 Portland Street, and 7925 Nelson Avenue in support of the appeal. The petition read as follows:

"This is to say that we/I the owners of the following property address…have no objection to the construction of a new house at 4880 Portland Street, with the height of 30.97' where the bylaw requires a height of 29.5' because of an unintentional error caused by the framing crew."

MOVED BY MR. DHATT
SECONDED BY MR. POUND

THAT based on the plans submitted, this appeal be ALLOWED.

FOR: MR. DHATT

OPPOSED: MR. NEMETH
MR. PEPPARD
MR. POUND

MOTION LOST

This appeal was DENIED.

(c) APPEAL NUMBER: B.V. 6319 WITHDRAWN

APPELLANT: Tony Zaurrini

REGISTERED OWNER OF PROPERTY: William Bradley

CIVIC ADDRESS OF PROPERTY: 208 Ellesmere Avenue North

This appeal was **WITHDRAWN** prior to the Hearing.

5. NEW BUSINESS

No items of new business were brought forward at this time.

DRAFT

6. ADJOURNMENT

MOVED BY MR. DHATT
SECONDED BY MR. PEPPARD

THAT this Hearing do now adjourn.

CARRIED UNANIMOUSLY

The Hearing adjourned at 6:30 p.m.

_____
Mr. S. Nemeth, CHAIR

_____
Mr. R. Dhatt

_____
Mr. W. Peppard

_____
Ms. M. Macdonald
ADMINISTRATIVE OFFICER

_____
Mr. B. Pound

DRAFT

City of Burnaby

2017 Board of Variance Notice of Appeal Form

OFFICE OF THE CITY CLERK

Burnaby City Hall, 4949 Canada Way, Burnaby BC, V5G 1M2, Phone: 604-294-7290 Email: clerks@burnaby.ca

Applicant

Name of Applicant: WILLIAM H BRADLEY

Mailing Address: 208 ELLESMERE AVE N.

City/Town: N. BURNABY Postal Code: _____

Phone Number(s): (H) 604-937-3232 (C) 604-328-8835

Email: _____

Property

Name of Owner: WILLIAM H BRADLEY

Civic Address of Property: 208 ELLESMERE AVE NORTH N. BURNABY

I hereby declare that the information submitted in support of this application is, to the best of my knowledge, true and correct in all aspects, and further that my plans have no conflict with municipal bylaws other than those applied for with in this application.

JAN 26 2018
Date

William H Bradley
Applicant Signature

Office Use Only

Appeal Date 2018 MARCH 01 Appeal Number BV# 6320.

Required Documents:

- ☐ Fee Application Receipt
- ☐ Building Department Referral Letter
- ☐ Hardship Letter from Applicant
- ☐ Site Plan of Subject Property

Any documents submitted in support of this Board of Variance Appeal will be made available to the Public

JAN 26/18 WMB
~~DEC 22 2017~~

City of Burnaby
Board of Variance
4545 Canada Way
Burnaby, BC V5G 1M2

Re: 208 Ellesmere Avenue – Hardship letter

To the Board of Variance,

I revised the retaining walls at the southeast corner of my property, in order to avoid having a lengthy continuous flight of stairs (approximately 30 risers) leading up to the home from the back of the property.

I also moved the garage further north to create a parking pad. The elevation of the property to the south required that I build a higher wall which was terraced, but did not meet 6' regulation.

I made revisions to the plan and had them approved by plan checking, but building inspector David Herrington did not approve at the time of the framing inspection.

The front retaining walls were done according to the 6' high by-law, suggested by Craig Skinner (inspector). Since the plan did not show the retaining walls properly. NOTED

Sincerely,

Bill Bradley JAN 26/18

Bill Bradley
Owner, 208 Ellesmere Avenue

City of Burnaby

BOARD OF VARIANCE REFERRAL LETTER

DATE: February 06, 2018	*This is **not** an application. Please submit this letter to the Clerk's office (ground floor) when you make your Board of Variance application.*
DEADLINE: February 06, 2018 for the March 01, 2018 hearing.	
APPLICANT NAME: Tony Zaurrini	
APPLICANT ADDRESS: 618 Foster Avenue, Coquitlam, V3J 2L7	
TELEPHONE: 604-328-9788	

PROJECT			
DESCRIPTION: New single family dwelling with detached garage			
ADDRESS: 208 North Ellesmere Avenue			
LEGAL DESCRIPTION:	**LOT: 2**	**DL: 189**	**PLAN: 4953**

Building Permit BLD14-01058 was issued. However the design is not in compliance with Burnaby Zoning Bylaw No. 4742:

Zone R2 / Section 6.14(5)(a)(b)

COMMENTS:

The Building Permit was issued for the construction of a new single family dwelling with a detached garage. In order to allow the Building Permit to proceed, the applicant requests that the following variance be granted:

1) To vary Section 6.14(5)(a) – "Fences" of the Zoning Bylaw from 3.51 feet to a maximum of 10.17 feet for heights of constructed fences located in the required front yard

2) To vary Section 6.14(5)(a) – "Fences" of the Zoning Bylaw from 3.51 feet to a maximum of 6.6 feet for heights of constructed retaining walls located in the required front yard.

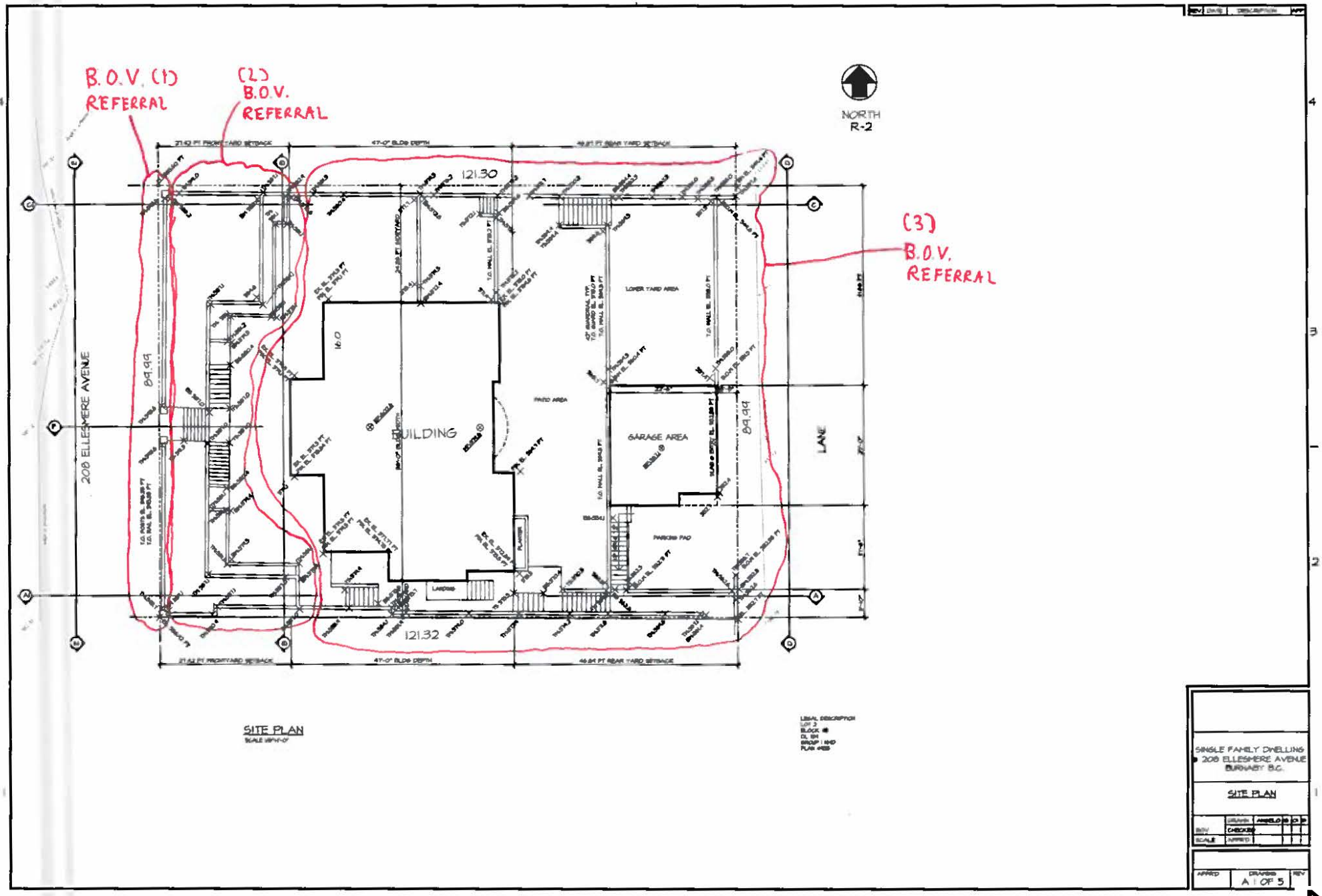
3) To vary Section 6.14(5)(b) – "Fences" of the Zoning Bylaw from 5.91 feet to a maximum of 17.25 feet for heights of constructed retaining walls located to the rear of the required front yard.

Note: *The applicant recognizes that should the project contain additional characteristics in contravention of the Zoning By-law, a future appeal(s) may be required.*

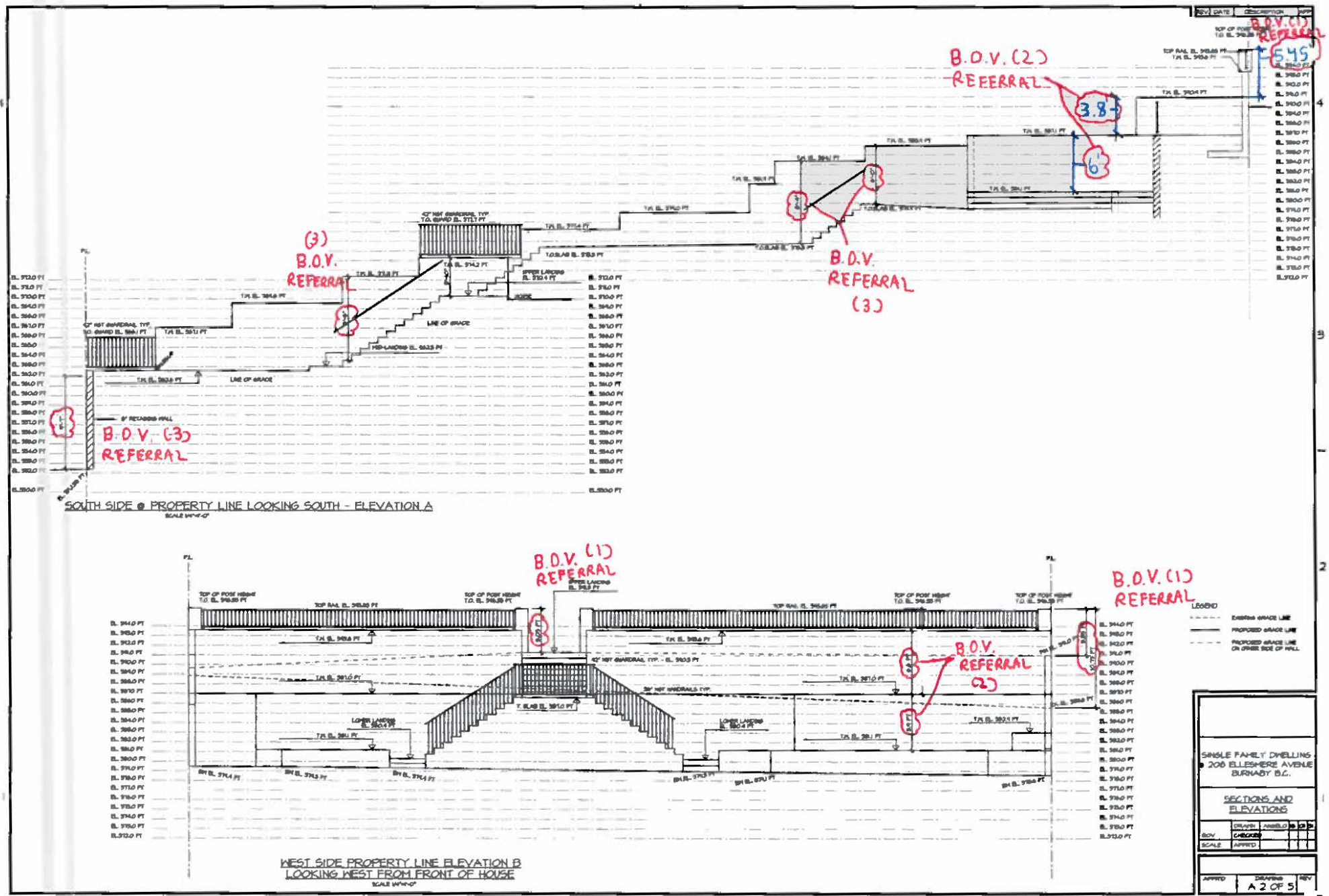
The applicability of these variances, if granted, is limited to the scope of the proposal shown on the attached plans.

LM

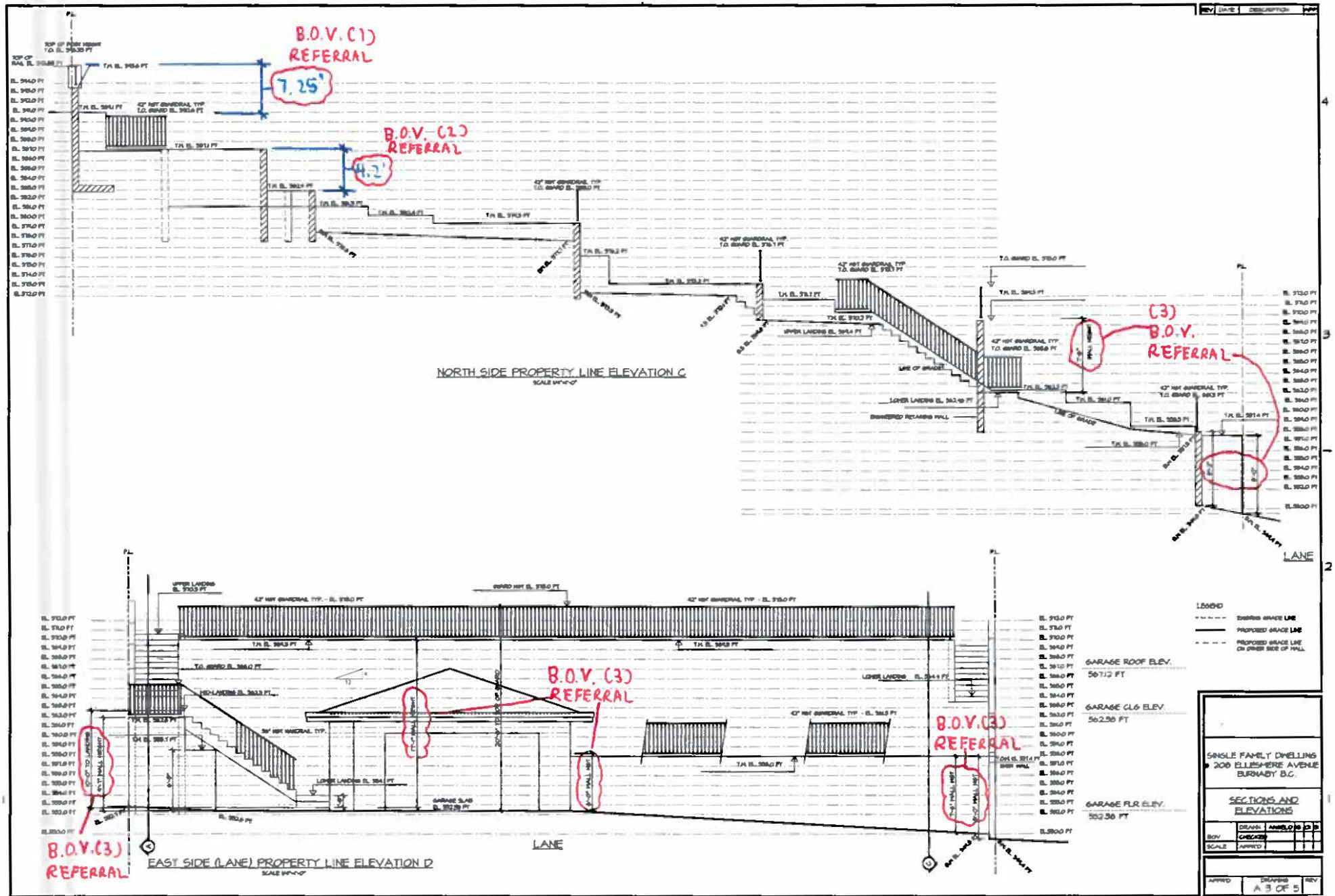
Peter Kushnir
Deputy Chief Building Inspector


B.O.V. (1)
REFERRAL
(2)
B.O.V.
REFERRAL
(3)
B.O.V.
REFERRAL
NORTH
R-2
208 ELLESMERE AVENUE
LANE
BUILDING
GARAGE AREA
LOWER YARD AREA
PATIO AREA
PARKING PAD
121.30
121.32
89.99
89.99
16.0
SITE PLAN
SINGLE FAMILY DWELLING
208 ELLESMERE AVENUE
BURNABY B.C.
SITE PLAN
A 1 OF 5

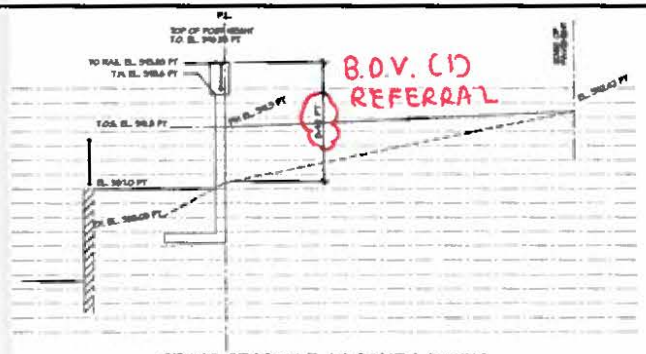
4.(a)


B.O.V. (2) REFERRAL
3.8'
6'
5.45'
B.O.V. (1) REFERRAL
(3) B.O.V. REFERRAL
B.O.V. REFERRAL (3)
B.O.V. (3) REFERRAL
SOUTH SIDE @ PROPERTY LINE LOOKING SOUTH - ELEVATION A
B.O.V. (1) REFERRAL
B.O.V. (1) REFERRAL
B.O.V. REFERRAL (2)
LEGEND
WEST SIDE PROPERTY LINE ELEVATION B
LOOKING WEST FROM FRONT OF HOUSE
SINGLE FAMILY DWELLING
208 ELLESMERE AVENUE
BURNABY B.C.
SECTIONS AND ELEVATIONS
A 2 OF 5

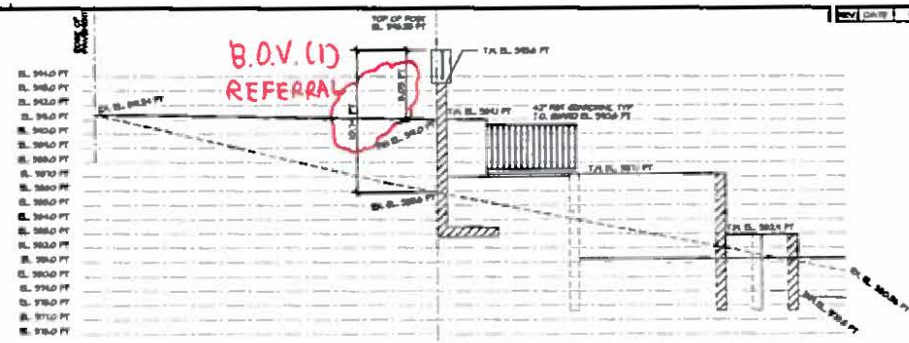
4.(a)


B.O.V. (1) REFERRAL
7.25'
B.O.V. (2) REFERRAL
4.2'
NORTH SIDE PROPERTY LINE ELEVATION C
(3) B.O.V. REFERRAL
LANE
B.O.V. (3) REFERRAL
B.O.V. (3) REFERRAL
B.O.V. (3) REFERRAL
EAST SIDE (LANE) PROPERTY LINE ELEVATION D
LANE
GARAGE ROOF ELEV.
GARAGE CLG ELEV.
GARAGE FLR ELEV.
LEGEND
SINGLE FAMILY DWELLING
200 ELLESMERE AVENUE
BURNABY B.C.
SECTIONS AND ELEVATIONS
A 3 OF 5

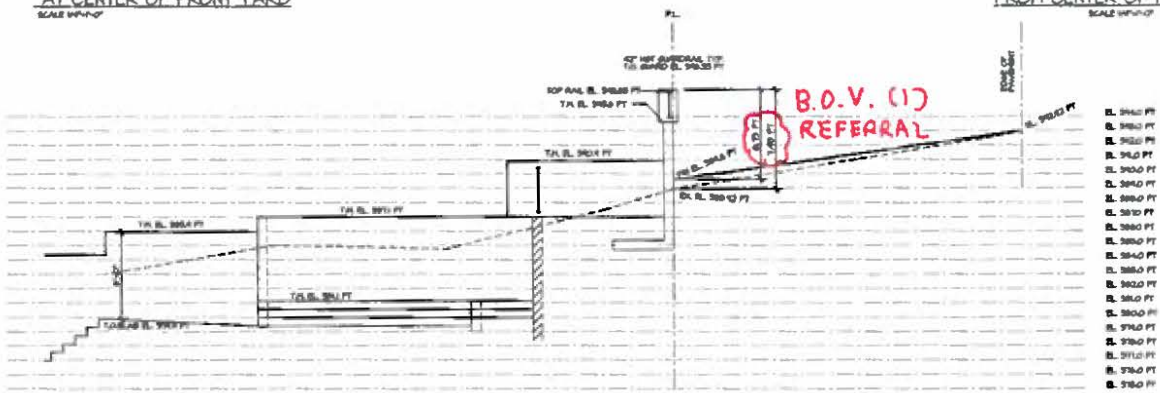
4.(a)



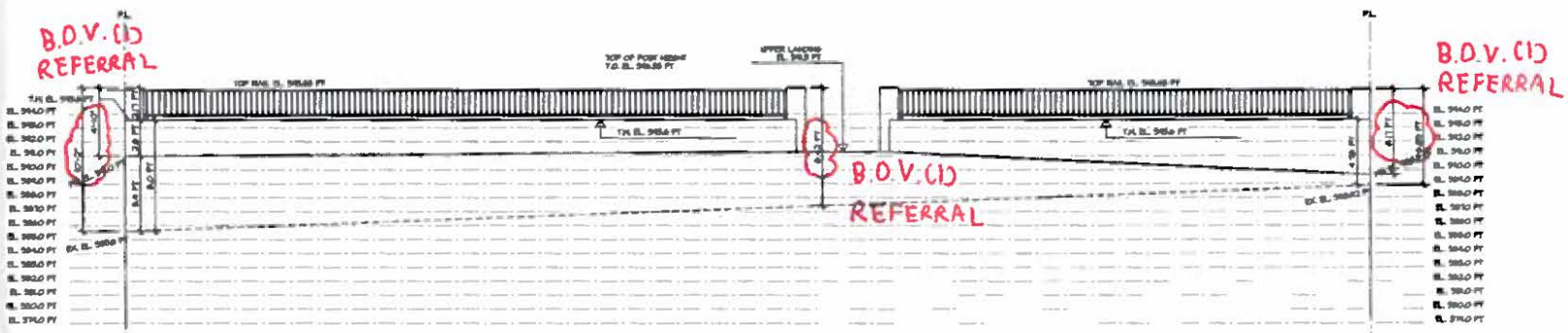
CROSS SECTION F AT STAIR LANDING
AT CENTER OF FRONT YARD
SCALE 1/4"=1'-0"



LOOKING NORTH @ NORTH PROPERTY LINE ELEVBATION C1
FROM CENTER OF FRONT YARD
SCALE 1/4"=1'-0"



SOUTH SIDE PROPERTY LINE ELEVATION A1
LOOKING SOUTH FROM CENTER OF FRONT YARD
SCALE 1/4"=1'-0"



WEST SIDE PROPERTY LINE ELEVATION E
LOOKING EAST FROM STREET
SCALE 1/4"=1'-0"

LEGEND
- EXISTING GRADE LINE
- PROPOSED GRADE LINE
- PROPOSED GRADE LINE ON OPPOSITE SIDE OF WALL

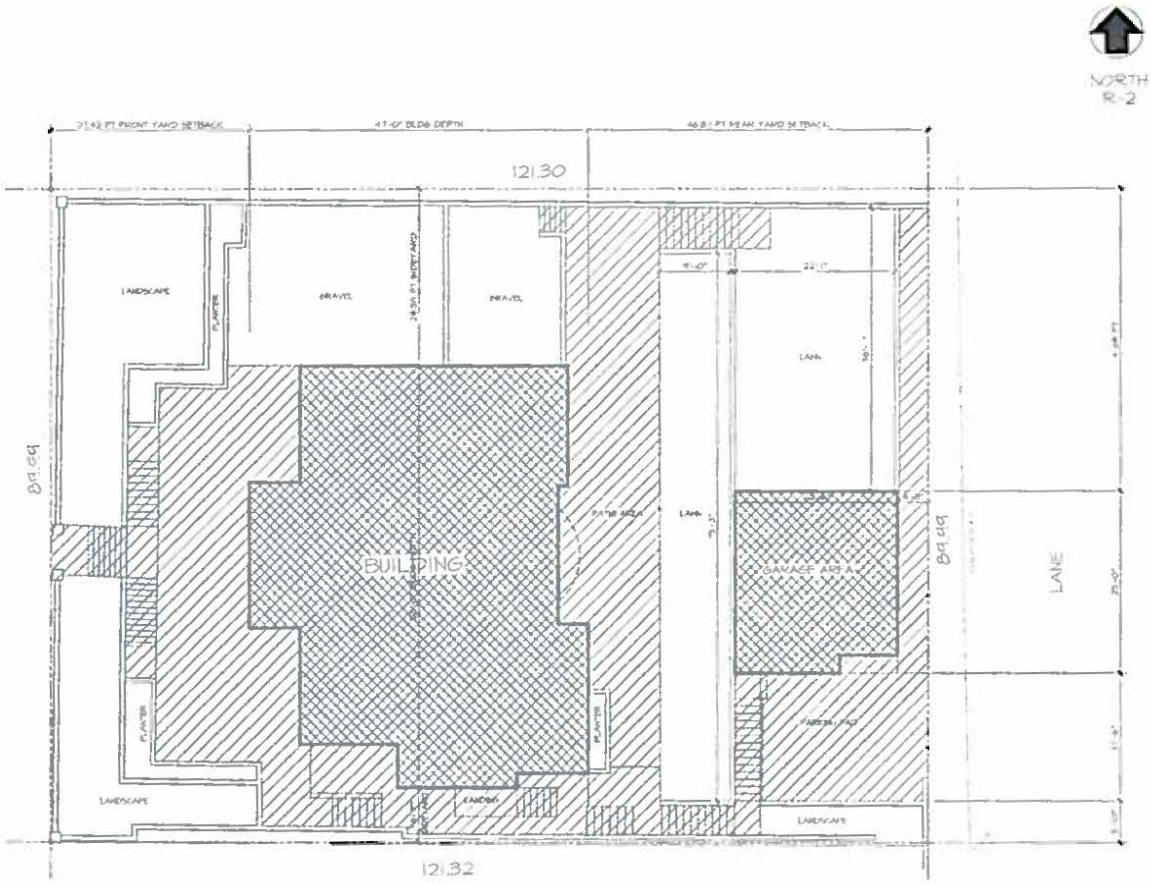
SINGLE FAMILY DWELLING
208 ELLESMERE AVENUE
BURNABY B.C.

SECTIONS AND ELEVATIONS

	DRAWN	ANGELO	
BOV	CHECKED		
SCALE	APPRVD		

APPRVD	DRAWING	REV
	A 4 OF 5	

4.(a)



SITE PLAN
SCALE 1/8"=1'-0"

SITE COVERAGE

SITE AREA = 10,490.0 SF			100.0 %
BUILDING COVERAGE		3820.6 SF	32.2 %
SOFT LANDSCAPE		3440.0 SF	32.8 %
HARD LANDSCAPE		3426.4 SF	32.5 %

RECEIVED
SEP 26 2011
BUILDING DEPARTMENT

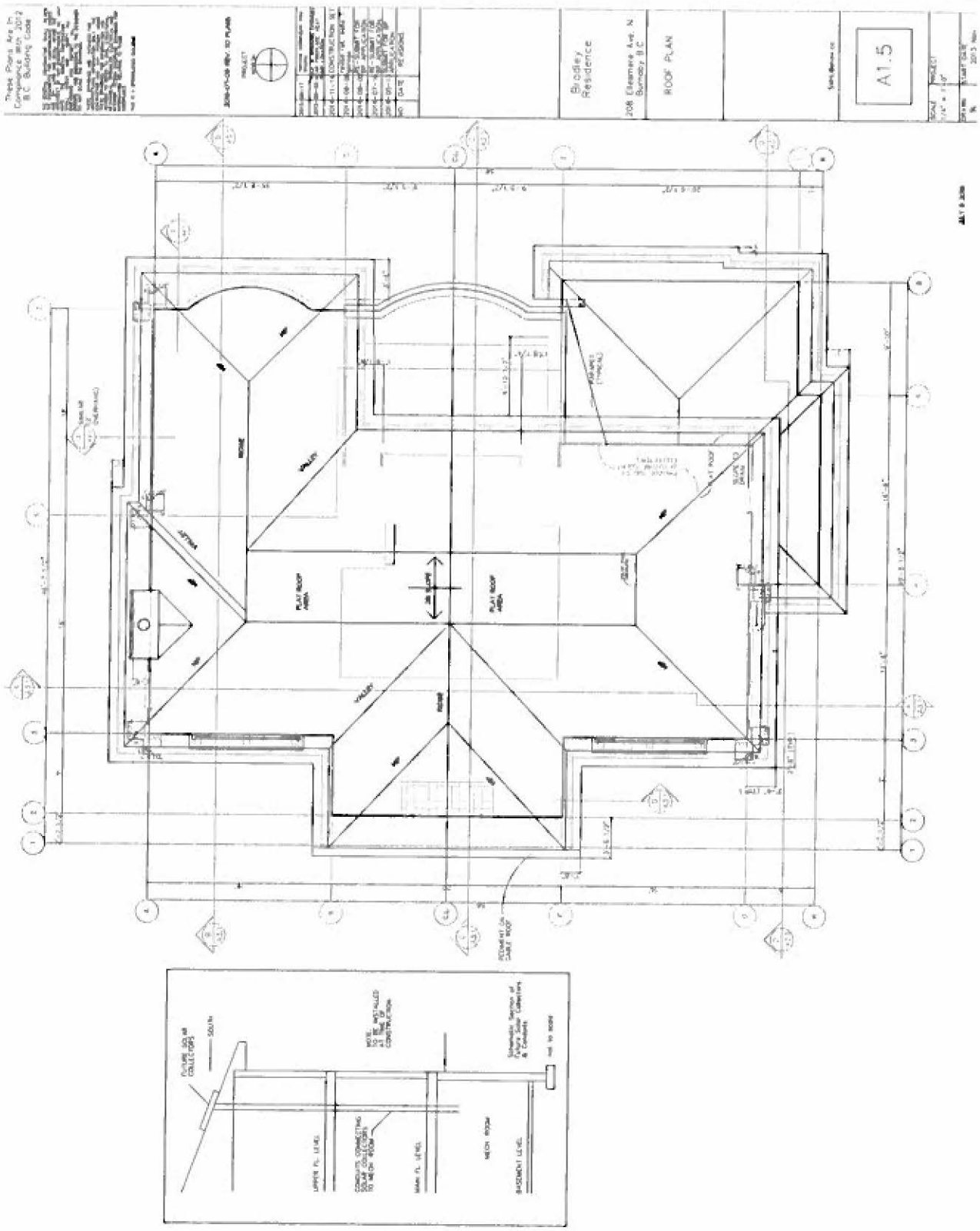
SINGLE FAMILY DWELLING
208 ELLESMERE AVENUE
BURNABY B.C.

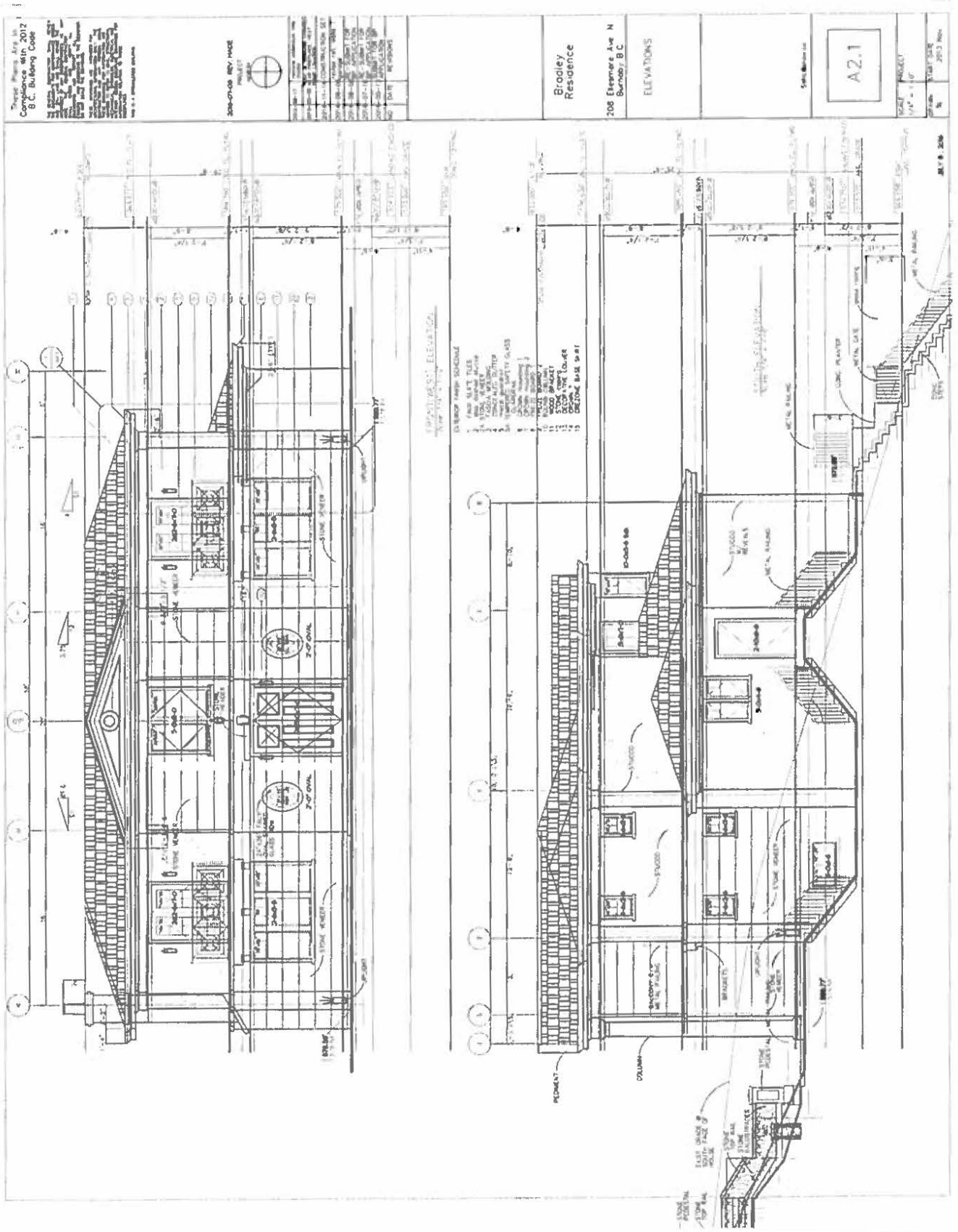
SITE PLAN
ELEVATIONS

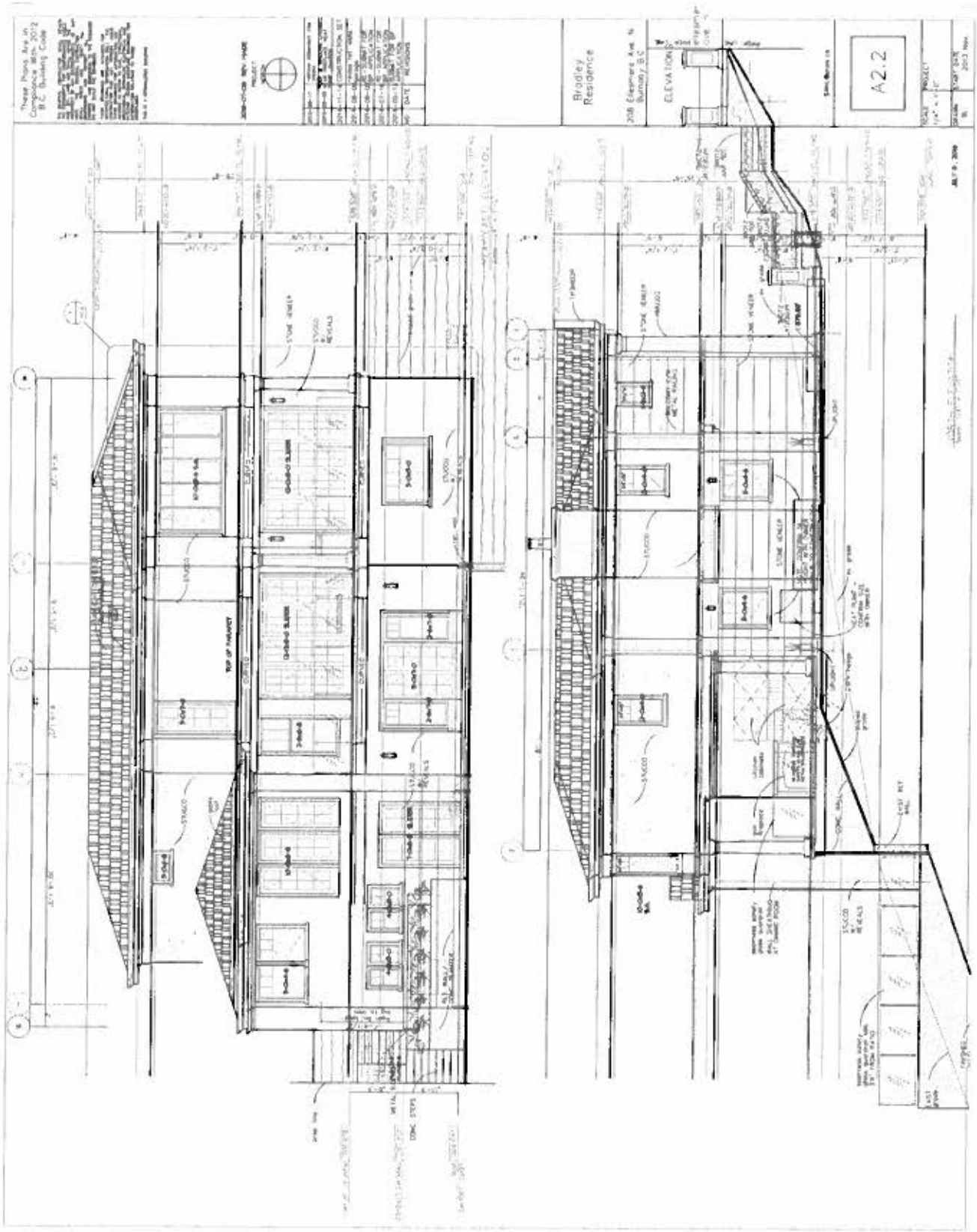
	DRAWN	ANGELO		
REV	CHECKED			
SCALE	APPROVED			

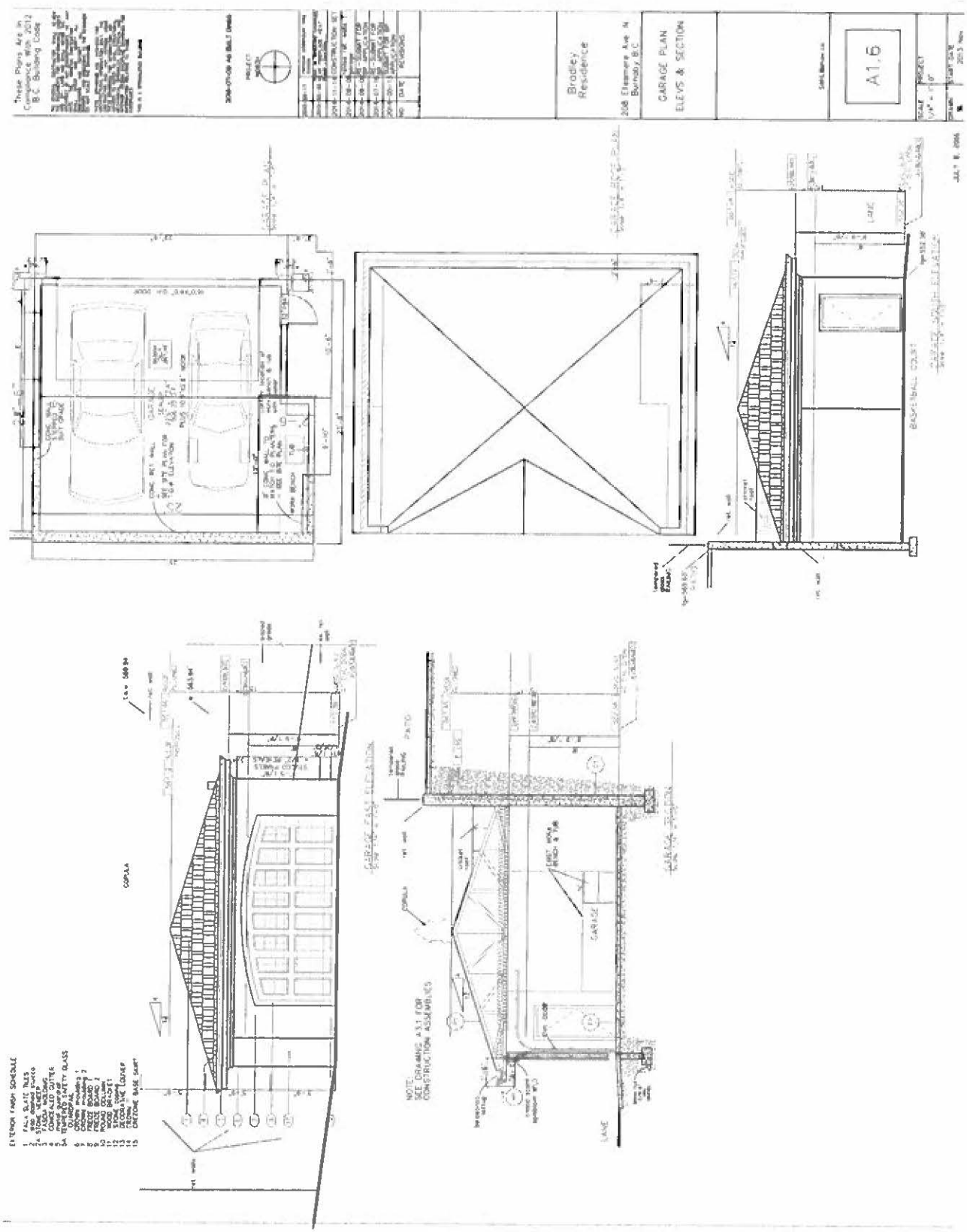
APPROVED	DRAWING A 4 OF 4	REV

4.(a)


Bradley Residence
208 Eastmere Ave. N
Burnaby B.C.
ROOF PLAN
A1.5
RIDGE
VALLEY
HIP
FLAT ROOF AREA
FLAT ROOF AREA
CONCRETE ON FLAT ROOF
SOLAR HOT WATER COLLECTORS
SOUTH
NOTE: TO BE INSTALLED AT TIME OF CONSTRUCTION
Schematic Section of Solar Hot Water Collectors & Conduit
UPPER FL. LEVEL
CONDUIT TO CONNECT SOLAR HOT WATER COLLECTORS TO MECH. ROOM
MAIN FL. LEVEL
MECH. ROOM
BASEMENT LEVEL


Brodley Residence
208 Eleanore Ave N
Burnaby, BC
ELEVATIONS
A2.1
STONE VENEER
STUCCO
METAL RAILING
COLUMN
PEDIMENT


Brodey Residence
ELEVATIONS
A2.2


Brodley Residence
GARAGE PLAN ELEVS & SECTION
A1.6
CUPOLA
GARAGE
LANE
BASKETBALL COURT
NOTE: SEE DRAWING A3.1 FOR CONSTRUCTION ASSEMBLIES

PLAN OF SURVEY OF LOT 2, BLOC[illegible] DISTRICT LOT 189, GROUP 1, NEW WESTMINSTER DISTRICT, PLAN 4953

208 North Ellesmere Avenue
Burnaby, B.C.

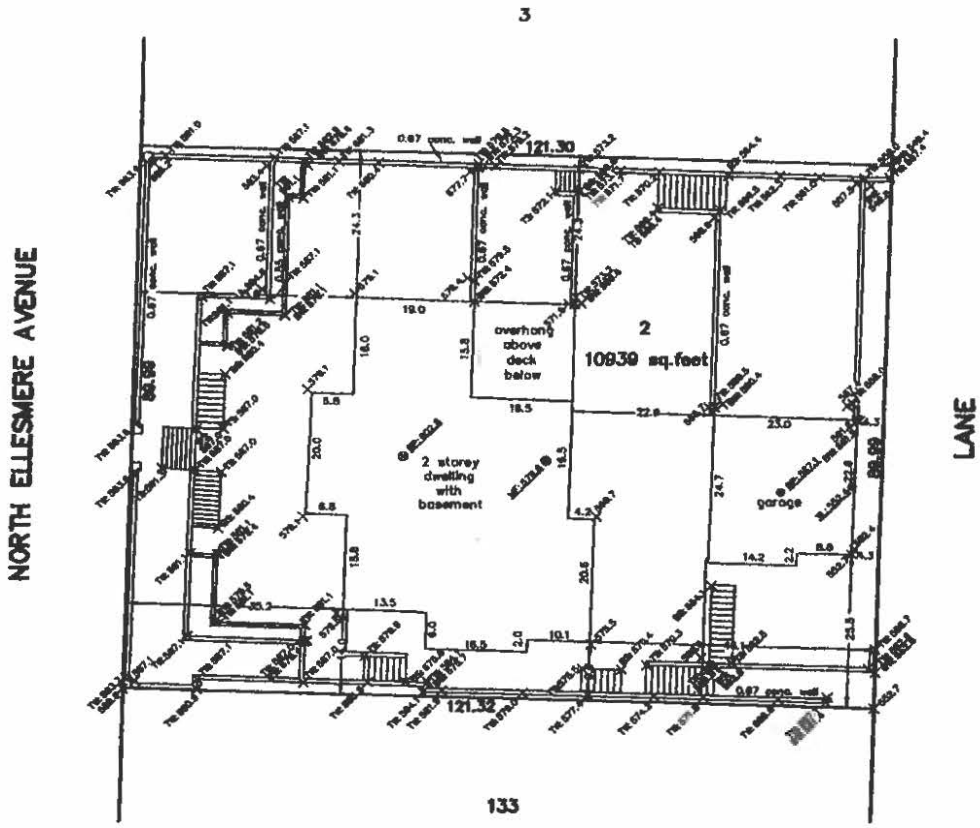
SCALE: 1 INCH = 16 FEET

0 5 10 20 30 50

All distances are in feet and decimals thereof unless otherwise indicated

RECEIVE
SEP 28 2017
BUILDING DEPARTMEN

ZONING: R2



Lot dimensions are derived from Land Title Office records and are subject to change upon completion of ground survey.

CERTIFIED CORRECT:

B.C.L.S.

July 7th, 2017

LEGEND:
- SL denotes slab
- RP denotes roof peak
- MF denotes main floor
- BS denotes bottom of steps
- BW denotes bottom of wall
- conc. denotes concrete
- TS denotes top of steps
- TW denotes top of wall

NOTE:
Elevations are based on geodetic datum.
Bench Mark: Monument 77H5798 located at the intersection of Holdom Avenue and Beaborough Drive.
B.M. Elevation = 507.58 feet
(154.710 metres)

NOTE:
For construction, use lead plugs in sidewalk or City survey monument only, for elevation control.

© copyright restriction
Ken K. Wong and Associates
Canada and B.C. Land Surv
5624 E. Hastings Street
Burnaby, B.C. V5B 1R4
Telephone: (604) 294-6881
Fax: (604) 294-0825
170436 FB950 P65
R-7852
Drawn by: JL

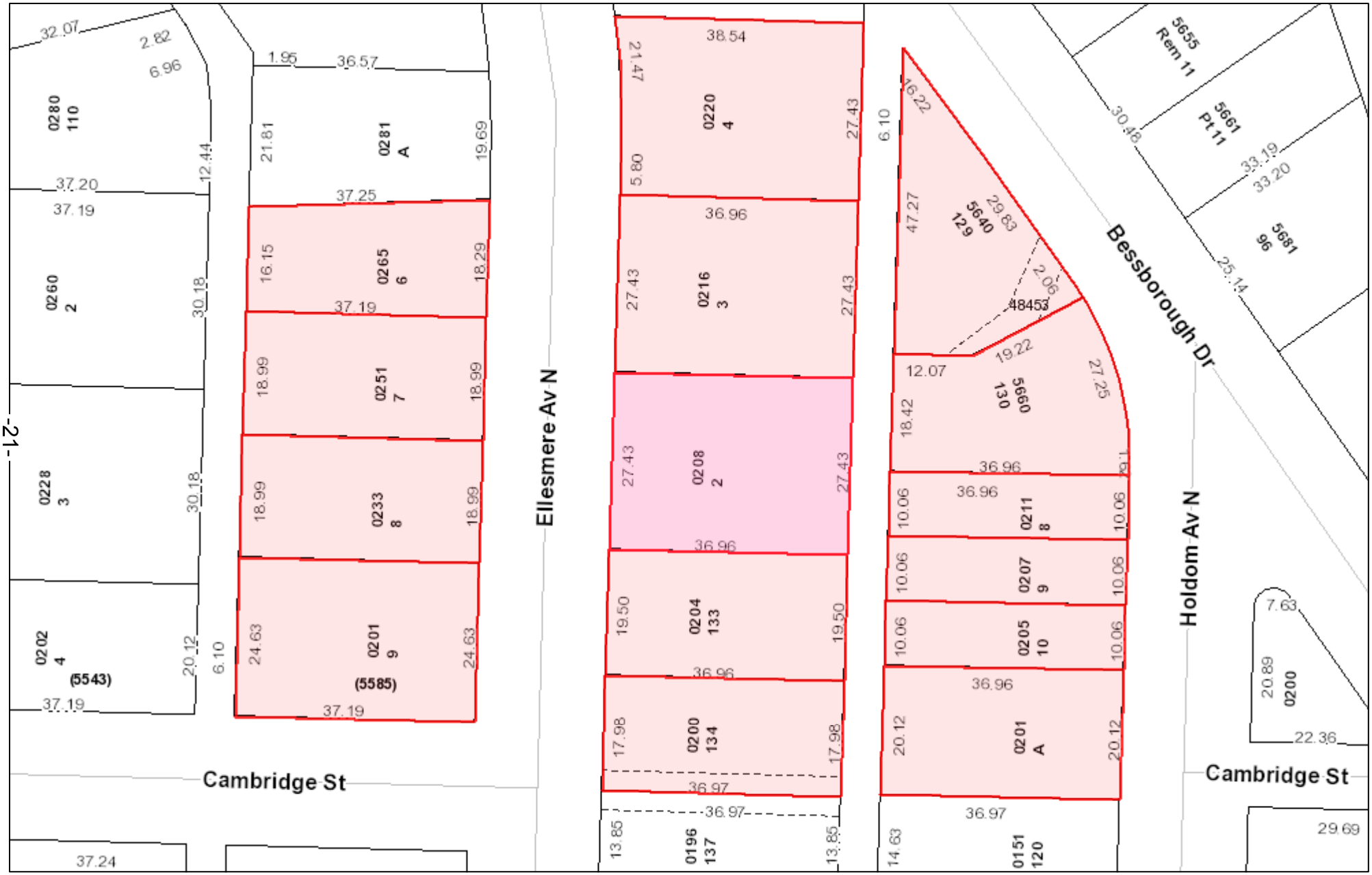
FILE: TF-5235

PID: 007-474-938

208 Ellesmere Ave N

February 8, 2018

1:800



The information has been gathered and assembled on the City of Burnaby's computer systems. Data provided herein is derived from a a number of sources with varying levels of accuracy. The City of Burnaby disclaims all responsibility for the accuracy or completeness of information contained herein.

BOV 6320

City of Burnaby

2017 Board of Variance Notice of Appeal Form

OFFICE OF THE CITY CLERK

Burnaby City Hall, 4949 Canada Way, Burnaby BC, V5G 1M2, Phone: 604-294-7290 Email: clerks@burnaby.ca

Applicant

Name of Applicant: Tohmm Cobban

Mailing Address: #201- 309 W. Cordova Street

City/Town: Vancouver Postal Code: V6B 1E5

Phone Number(s) (H) 604-685-6210 (C) 604-817-5875 (offic)

Email: Tohmm@telus.net

Property

Name of Owner:

Civic Address of Property: 4256 Venables Street
Burnaby B.C.

I hereby declare that the information submitted in support of this application is, to the best of my knowledge, true and correct in all aspects, and further that my plans have no conflict with municipal bylaws other than those applied for with in this application.

FEBRUARY 5th, 2018
Date

Applicant Signature

Office Use Only

Appeal Date 2018 March 01 Appeal Number BV# 6321

Required Documents:

- ☐ Fee Application Receipt
- ☐ Building Department Referral Letter
- ☐ Hardship Letter from Applicant
- ☐ Site Plan of Subject Property

Any documents submitted in support of this Board of Variance Appeal will be made available to the Public

Tohmm Cobban ARCHITECT

February 04, 2018

City of Burnaby
Board of Variance
4949 Canada Way
Burnaby BC V5G-1M2

Attention: Board of Variance Members

Re: Rationale for Proposed Enclosed Garage Addition to
4256 Venables Street, Burnaby BC

To The Board of Variance Members:

The applicant requests a relaxation in the City of Burnaby Zoning Bylaw to permit an existing carport and roof deck in the R5 zone to be enlarged and converted into an enclosed garage.

The existing two-storey dwelling is currently located such that the building projects 3" into the west side setback. This is an existing non-conforming condition which can remain as is provided no new work is undertaken on that portion of the building.

The existing carport, however, needs to be enlarged in length by 2'2" in order to conform with the current City of Burnaby zoning and parking bylaws. The roof deck above will also therefore be enlarged.

The proposed floor area in question for the garage would be 0.54 sf; for the roof deck it would be 1.94 sf. The latter in any event would be excluded from floor space calculations.

In the process, the sliver of area for the proposed garage and roof deck which projects into the west side setback has been considered non-conforming by the City of Burnaby Planning Department, and therefore not approvable.

The applicant is requesting a variance in the Burnaby Zoning Bylaw to allow the minimum side yard setback to be reduced from the required 4.0 feet (1.22m) to 3.75 feet (1.14m) on that west side of the property to allow construction of the new enclosed garage and roof deck to proceed.

The existing side setback 3" encroachment, a condition inherited by the Owners and not of their making, would otherwise prove to be a very restrictive factor in what should be a fairly straight-forward garage project.

/2.

4256 Venables Street (cont'd.) 2.

The extension of the garage and roof deck above will not affect either of the adjacent neighbor's views in any significant way.

Thank-you for your time and interest in considering this matter.

Sincerely,

Tohmm Cobban MAIBC
For
Susan and Albert Tremblett, Owners

#201-309 West Cordova Street, Vancouver BC V6B-1E5 (604) 685-6210
Tohmm@telus.net

City of Burnaby

BOARD OF VARIANCE REFERRAL LETTER

DATE: January 31, 2018	*This is **not** an application. Please submit this letter to the Clerk's office (ground floor) when you make your Board of Variance application.*
DEADLINE: February 6, 2018 for the March 1, 2018 hearing.	
APPLICANT NAME: Tohmm Cobban	
APPLICANT ADDRESS: #201 – 309 West Cordova Street	
TELEPHONE: 604-685-6210	

PROJECT			
DESCRIPTION: Convert attached carport to garage with sundeck above to an existing single family dwelling			
ADDRESS: 4256 Venables Street			
LEGAL DESCRIPTION:	**LOT: 46**	**DL: 121**	**PLAN: 41318**

Building Permit application BLD117-10132 will be denied by the Building Department because the design is not in compliance with Burnaby Zoning Bylaw No. 4742:

Zone R5 / Sections 105.10(3)

COMMENTS:

The applicant proposes to convert an existing attached carport into a garage with a sundeck above it to an existing single family dwelling. In order to allow the Building Permit application to proceed, the applicant requests that the following variance be granted:

1) To vary Section 105.10(3) – "Side Yard" of the Zoning Bylaw requirement for the minimum side yard width from of 4.0 feet to 3.79 feet.

Notes: *1. The applicant recognizes that should the project contain additional characteristics in contravention of the Zoning By-law, a future appeal(s) may be required.*
2. The applicability of this variance, if granted, is limited to the scope of the proposal shown on the attached plans.
3. All new principal building projections into the resulting required yards will conform to the requirements of Section 6.12.
4. Fences and retaining walls will conform to the requirements of Section 6.14.

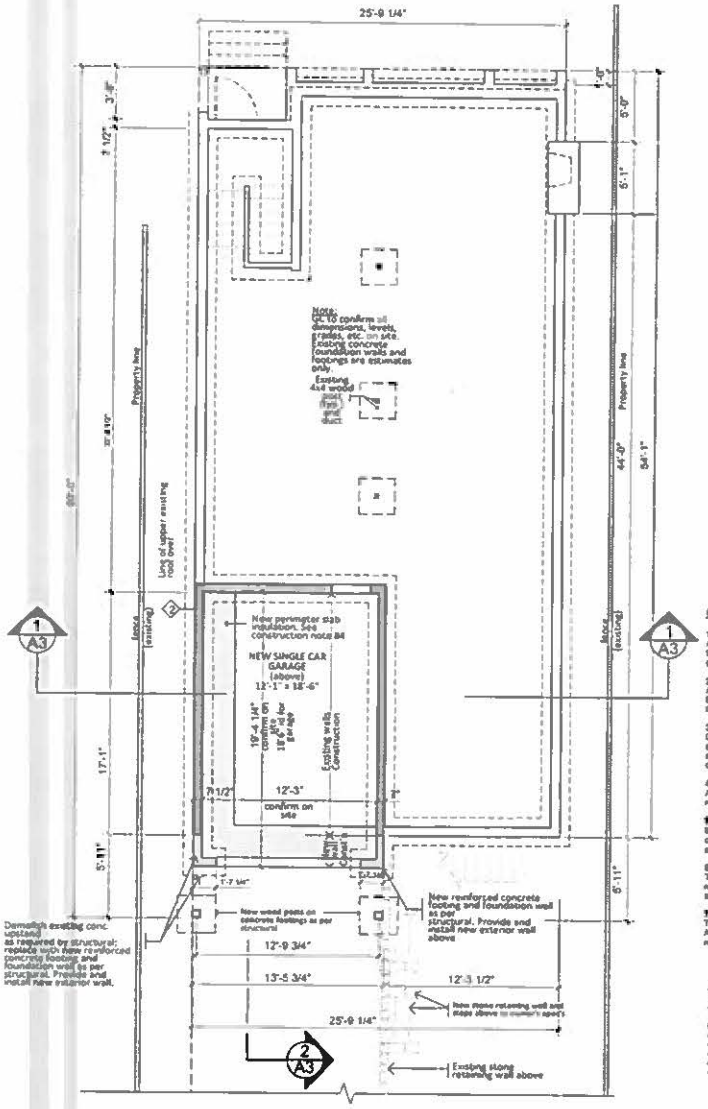
AB

Kushnir

Peter Kushnir
Deputy Chief Building Inspector

NEW GARAGE ADDITION / ROOF DECK

4256 Venables Street, Burnaby BC



1 FOUNDATION PLAN - New Enclosed Garage
SC 1/4" = 1'-0"

Note: 18'-6" x 18'-6" Minimum Inside Dim's for a Single Car garage/Carport

PROJECT DATA

1. ZONING - R5
2. SITE AREA - (32.99' x 121.98') - 4020.20 sf (373.48 m2)
3. GFA
   - Permitted (.60 x 4020.2 sf) - 2412.10 sf
   - Existing - 2485.55 sf
   - Proposed - 2485.55 sf
4. AGFA
   - Permitted (.2 + 1369.4 sf) - 2203.40 sf
   - Existing - 2485.55 sf
   - Proposed - 2485.55 sf
5. Lot Coverage
   - Permitted (40) - 1608.72 sf
   - Proposed (.377) - 1569.88 sf
6. Decks
   - Permitted - 183.00 sf
   - Existing - 180.14 sf
7. Garage
   - Permitted - 452.10 sf
   - Existing - 234.70 sf
   - Proposed - 202.83 sf
8. Covered Porch
   - Permitted - 39.80 sf
   - Existing - 22.60 sf
9. 1st Storey (Basement)
   - 1392.12 sf - 232.22 = 1159.90 sf
10. 2nd Storey
   - 1516.40 sf - 190.14 = 1325.94 sf
   - Total = 2485.55 sf
11. Decks
   - 181.37 - 77.97 = 180.14 sf
12. Covered Porch
   - (3.67 x 6.17) = 22.60 sf
13. Garage
   - (see plans) = 202.83 sf
14. BUILDING SETBACKS
   - FRONT SETBACK
     - Max. Allowable - 19.70' - Existing to remain (per survey) - 23.52'
   - REAR SETBACK
     - Required - 24.6' - Proposed - 34.35'
   - SIDE SETBACK (west)
     - Minimum Req'd - 4.00' (1.22 m) - Existing to Remain - 3.75' (1.14m)
   - SIDE SETBACK (east)
     - Minimum Req'd - 4.00' (1.22m) - Existing to Remain - 3.50' (1.07m)
15. BUILDING HEIGHT
   - Max. Allowable - 29.50' - Proposed (existing to Remain)

GENERAL PROJECT NOTES

1. Work Included
All work shown in these drawings shall be included unless shown as "Not in Contract" (N.I.C.). In the event of conflict within these drawings, details take precedence over general arrangement drawings, and specifications and/or written notes take precedence over all drawings

2. Code Conformance
All architectural, structural, mechanical and electrical work to be in strict conformance with the current edition of the BC Building Bylaw (BCBC) 2012, and all other applicable bylaws and regulations of Authorities Having Jurisdiction in the place of the project

3. Verification of Existing Conditions
General Contractor to verify all grades, lines, levels, dimensions, clearances, size of manufactured components, and existing service sizes and locations before work begins, and shall notify the Architect of discrepancies discovered. Start of work shall signify contractors acceptance of the information shown in the contract documents. Contractor shall not scale drawings for dimensions

4. Instructions and Change Orders
All project instructions, change orders, and claims shall be submitted to the Architect for review and processing. Only items so reviewed and signed, when required, by both parties to contract for construction shall be in force and effect.

5. Owner as Contractor
If owner acts as General Contractor, the design consultants assume no responsibility for consequences of failure by owner/contractor to build in strict conformance with the approved contract documents. use of these signifies owner's agreement and obligation for conformance

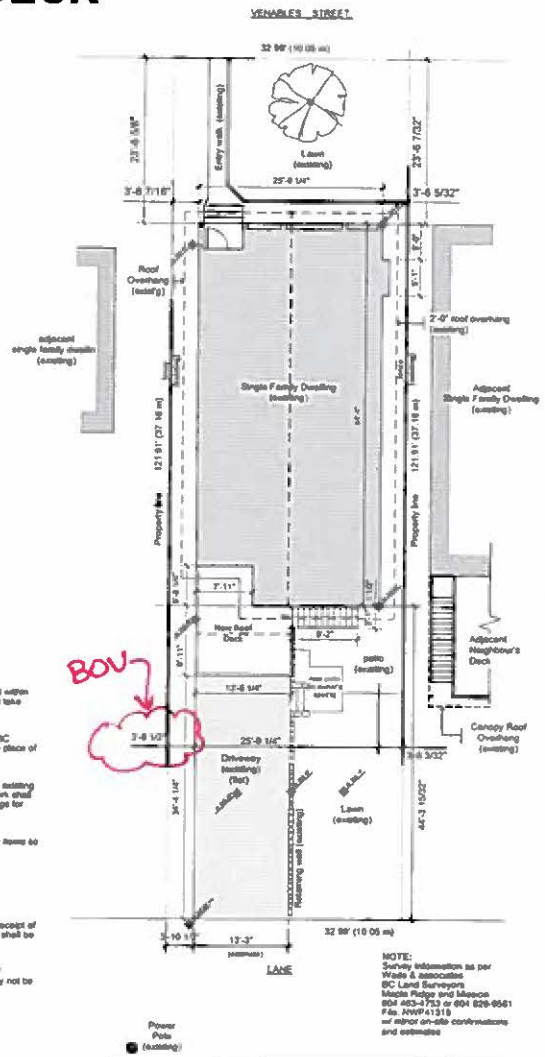
6. Latest Revision Governs
The contractor shall ensure that only the latest revision of the approved contract documents is used for building. On receipt of revised drawings, contractor shall remove from the jobsite all copies of previous versions of the drawings. Contractor shall be solely responsible for any extra costs resulting from the use of obsolete versions of contract documents.

7. Licence for Use
The contract documents are an instrument of service and remain at all times the property of the Architect. The client / Architect agreement forms a licence for their use on the specific project for which they have been prepared. They may not be reproduced or used for other purposes except by written agreement between the client and the Architect.

LIST OF DRAWINGS

ARCHITECTURAL

A.1 Site Plan, Foundation Plan, Zoning Data, General Notes
A.2 Existing Floor Plans
A.2.1 Proposed Plans / Basement and Main Floor Levels
A.3 Cross Section, Partial Longitudinal Section
A.4 Building Elevations
A.5 Floor Area Overlays



NOTE:
Survey information as per Wade & associates
BC Land Surveyors
Maple Ridge and Mission
604 463-4753 or 604 826-9561
File. NWP41318
ref sheet on-site confirmations and estimates

1 SITE PLAN
SC 1/4" = 1'-0"

CIVIC ADDRESS
4256 VENABLES STREET
BURNABY, B.C.

LEGAL DESCRIPTION
LOT 46 DISTRICT LOT 121 GP 1 N W D PLAN 41318 PID 002-604-064

TOHMM COBBAN
Architect
201-388 West Cordova Street
Vancouver B.C. V6B 1Z3 - 604/685-6216

NEW GARAGE ADDITION and ROOF DECK
FOR
4256 VENABLES STREET
BURNABY BC

Notes:

Project No.	2017-02
Date	jan 2017
Scale	as noted

A1

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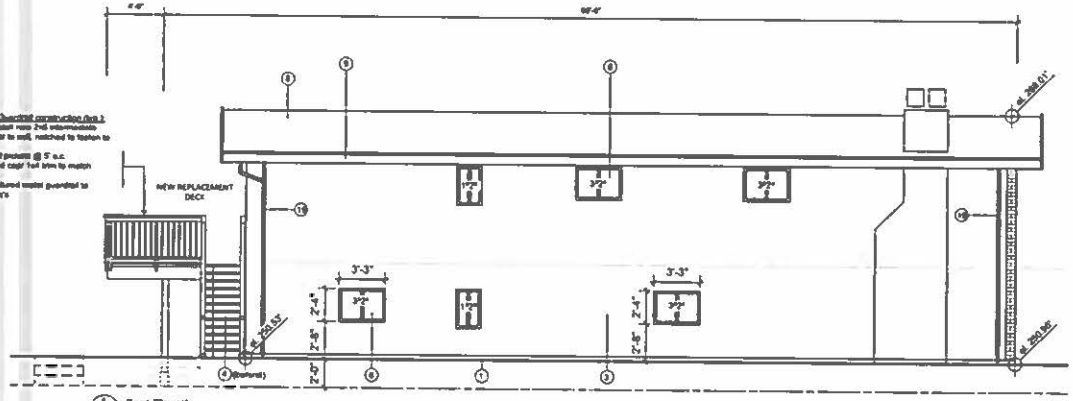
Tohmm Cobban Architect is responsible for the professional interpretation only of these drawings, all shop drawings information to be as per a Professional Engineer registered in the Province of British Columbia

TOHMM COBBAN
Architect

201-389 West Cordova Street
Vancouver B.C. V6B 1E3 : 604-685-6218

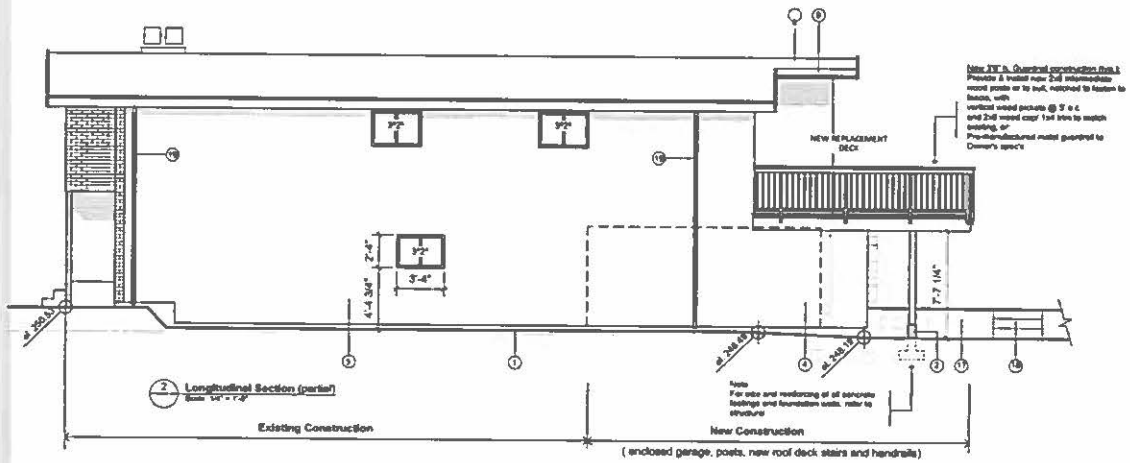


1 East Elevation (existing to remain)
Scale: 1/4" = 1'-0"

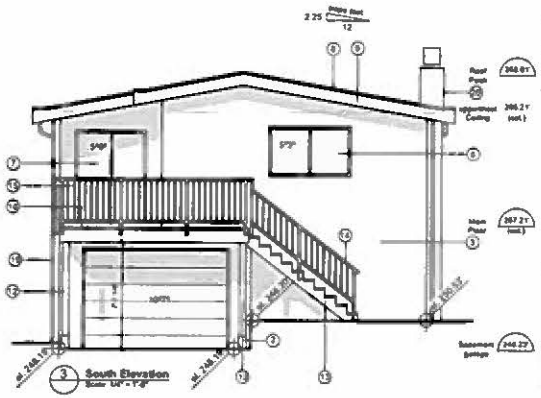
2 North Elevation (existing to remain)
Scale: 1/4" = 1'-0"

LEGEND

1. Existing Concrete Foundation Wall
2. Concrete Pier /Footing as required - See structural
3. Existing stucco finish
4. New stucco finish to match existing
5. Existing brick facing to remain
6. Double glazed thermally broken window in aluminum or vinyl frames (typ.)
7. Double glazed thermally broken replacement sliding doors in aluminum frames or as per Owner
8. Existing roofing to remain
9. Existing prefinished metal flashing over wood fascia (typ.)
10. Wood post (typ.) See structural
11. Wood stringers from 2 x 12 or as per structural
12. 3'-0" h wood handrail or metal handrail as per canopy manufacturer and Owner specs
13. New vertical pickets to Owner's specs
14. New Dumotech waterproof membrane on exterior ply sheathing on 2 x 12's @ 16" o.c. or as per structural
17. Existing stone retaining wall w/ concrete pier work and footing to suit
18. Existing stone steps. Relocate if required by Owner
19. Existing downspout. Tie gutter from new canopy roof into existing downspout
20. Existing chimney - brick



2 Longitudinal Section (partial)
Scale: 1/4" = 1'-0"



3 South Elevation
Scale: 1/4" = 1'-0"

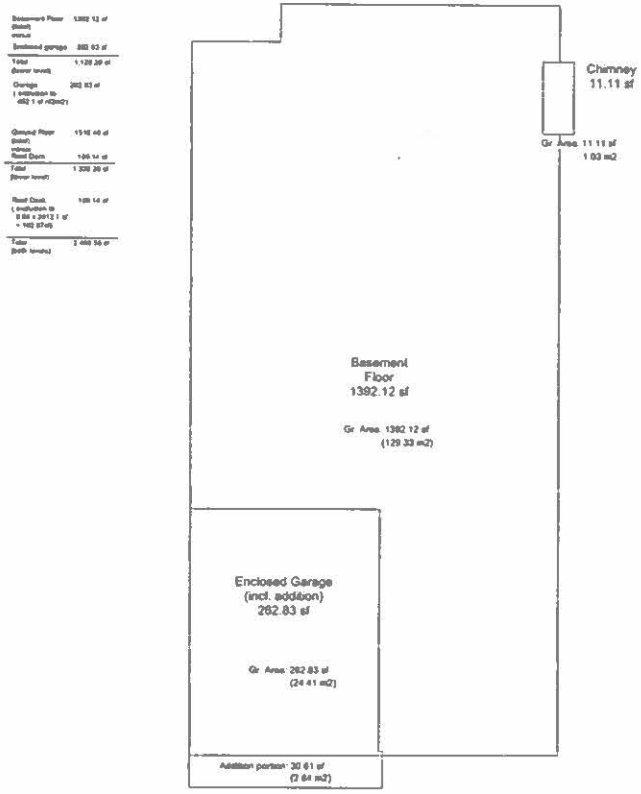
NEW GARAGE ADDITION and ROOF DECK
FOR
4258 VENABLES STREET
BURNABY BC

Notes:

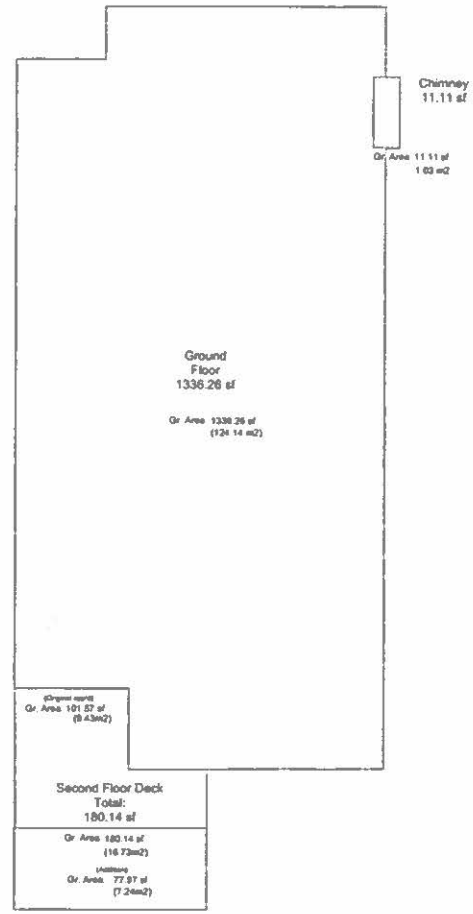
Project No.	2017-02
Date	Jan.2017
Scale	as noted

A4

3 SITE PLAN AREAS
SC: 1/8" = 1'-0"



2 LOWER LEVEL FLOOR PLAN
SC: 1/4" = 1'-0"



1 MAIN FLOOR PLAN
SC: 1/4" = 1'-0"

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Tohmm Cobban Architect is responsible for the mechanical installation only on these drawings, all structural information to be as per a Professional Structural Engineer registered in the Province of British Columbia.

TOHMM COBBAN
Architect
201-300 West Cordova Street
Vancouver B.C. V6B 1E5 • 604/685-6210

NEW GARAGE ADDITION and ROOF DECK
FOR
4256 VENABLES STREET
BURNABY BC

4	Oct 16 '17	Re-issued for submittal to the City of Burnaby for a Building Permit
3	Oct 12 '17	Roof'd walkway, elevations. Re-issued for coordination and submittal to the City of Burnaby for a Building Permit
2	Oct 10 '17	Roof'd garage length. Re-issued for coordination w/ structural consultant
1	Aug 28 '17	Roof'd as per mechanical/structural consultant, re-issued for submittal to the City of Burnaby for a minor amendment to the existing building permit
A	Aug 09 '17	Issued for submittal to the City of Burnaby for a minor amendment to the existing building permit
A	Mar 21 '17	Issued to the City of Burnaby for a tree preservation building permit
A	Jan 26 '17	Re-issued issued for review by the City of Burnaby

Notes:

Project No.	2017-02
Date	jan.2017
Scale	as noted

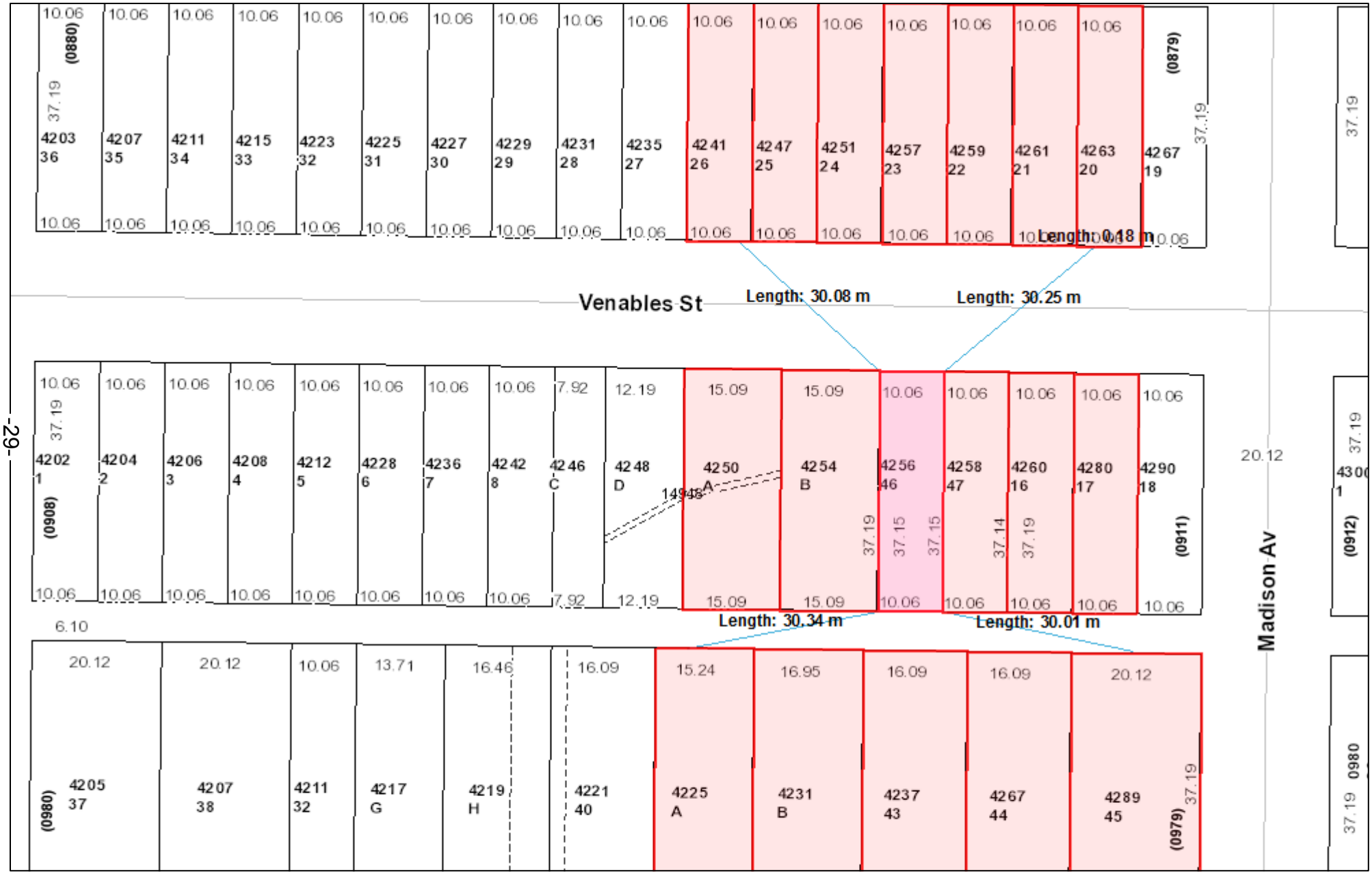
A5

4.(b)

4256 Venables St

February 8, 2018

1:800



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BOV 6321

4-(b)

City of Burnaby

2017 Board of Variance Notice of Appeal Form

OFFICE OF THE CITY CLERK

Burnaby City Hall, 4949 Canada Way, Burnaby BC, V5G 1M2, Phone: 604-294-7290 Email: clerks@burnaby.ca

Applicant

Name of Applicant: Chris Williams (Basil Restoration Ltd)

Mailing Address: 100 – 1089 East Kent Ave N.

City/Town: Vancouver Postal Code: V5X 4W9

Phone Number(s): (H) 604 324 9364 (C) 604 726 4169

Email: Chris@BasilRestorationLTD.ca

Property

Name of Owner: Cori Gabana Junie Fitzgerald.

Civic Address of Property: 7853 Goodlad St, Burnaby

I hereby declare that the information submitted in support of this application is, to the best of my knowledge, true and correct in all aspects, and further that my plans have no conflict with municipal bylaws other than those applied for with in this application.

06-Feb-2018
Date

Applicant Signature

Office Use Only

Appeal Date: 2018 March 01 Appeal Number BV#: 6322

Required Documents:

- ☐ Fee Application Receipt
- ☐ Building Department Referral Letter
- ☐ Hardship Letter from Applicant
- ☐ Site Plan of Subject Property

Any documents submitted in support of this Board of Variance Appeal will be made available to the Public

January 7, 2018

City of Burnaby – Building Department

Project Address: 7853 Goodlad Street, Burnaby, BC

To whom it may concern:

Thank you for your time and consideration in reviewing our application for a variance to our building permit. We are hoping to extend our current deck 3 feet beyond its current depth and enlarge the fireplace "bump out" in our family room.

This letter outlines our reasons for these requests. As well, we have discussed these changes with our neighbors and have attached letters from both of our neighbors (7845 and 7863 Goodlad Street) stating that they have no opposition or concerns with either variance request.

A) DECK EXTENSION (Section 102.7b, Burnaby Building Bylaw):
Our current deck is 8 feet deep and we are hoping to enlarge it to 11 feet in depth. Our lot is 207 feet deep and this small extension will not have a significant impact on lot coverage. Our current deck is insufficient in size to allow for a table and chairs to be placed safely on the deck and allow for an outdoor eating space. The deck extends off of the kitchen and thus is an ideal location for our family to sit together. We want to allow the chairs to be placed a reasonable distance from the railing to ensure the safety of our children. It is not feasible to locate the outdoor eating space on the ground level, as transporting hot food and knives up and the down the stairs would be dangerous.

We did consider the option of a full rebuild rather than a renovation, but we enjoy our current family home and feel it would be very wasteful and have a negative impact on the environment. We thus hope that you will allow this small 3 foot extension to our deck depth.

B) FAMILY ROOM FIREPLACE "BUMP OUT" EXTENSION (Section 102.9, Burnaby Building Bylaw):
Our family room currently has a gas fireplace "bump out" that is not centered in the room. Our renovated family room will have a relocated fireplace to center the fireplace which complies with the building setback requirements. We would like to extend the "bump out" as per the attached drawings to allow for a small amount of shelving adjacent to the fireplace. This "bump out" will not be any closer to the property line than our current or renovated fireplace. This will greatly improve the aesthetics of our family room living space and improve the functionality of this small room.

Sincerely,

Cori Gabana (Property Owner)

Jamie Fitzgerald (Property Owner)

Attachments: Letter from neighbor 7845 Goodlad Street
Letter from neighbor 7863 Goodlad Street

January 4, 2018

Re: Variance Request for 7853 Goodlad Street

Dear City of Burnaby Building Department:

Our neighbours, Cori Gabana and Jamie Fitzgerald of 7853 Goodlad Street, have discussed their proposed renovation with us. This includes their variance request for a larger deck, which would be 3 feet deeper than the existing deck, and the extended "bump out" in the exterior wall next to the fireplace "bump out" adjacent to our property (7845 Goodlad Street). The details of the proposed renovation are included on the drawings submitted to the City for their building permit and variance request.

We do not have any objections to this variance request.

Please contact us if you have any questions.

Name: Craig Law

Address: 7845 Goodlad Street, Burnaby, BC

Signature:

Date: January 4, 2018

Phone Number: 604-553-7845

January 4, 2018

Re: Variance Request for 7853 Goodlad Street

Dear City of Burnaby Building Department:

Our neighbours, Cori Gabana and Jamie Fitzgerald of 7853 Goodlad Street, have discussed their proposed renovation with us. This includes their variance request for a larger deck, which would be 3 feet deeper than the existing deck. The details of the proposed renovation are included on the drawings submitted to the City for their building permit and variance request.

We do not have any objections to this variance request.

Please contact us if you have any questions.

Name: Baljit Chelma

Address: 7863 Goodlad Street, Burnaby, BC

Signature:

Date: January 5, 2018

Phone Number: 604-537-3405

City of Burnaby

BOARD OF VARIANCE REFERRAL LETTER

DATE: January 31, 2018	*This is **not** an application. Please submit this letter to the Clerk's office (ground floor) when you make your Board of Variance application.*
DEADLINE: February 6, 2018 for the March 1, 2018 hearing.	
APPLICANT NAME: Chris Williams	
APPLICANT ADDRESS: 106-1089 East Kent North, Vancouver, BC V5X4V9	
TELEPHONE: 604-726-4169	

PROJECT			
DESCRIPTION: Addition to main floor only and interior alteration to an existing single family dwelling			
ADDRESS: 7853 Goodlad Street			
LEGAL DESCRIPTION:	**LOT: 4**	**DL: 90**	**PLAN: 21440**

Building Permit application BLD17-10017 will be denied by the Building Department because the design is not in compliance with Burnaby Zoning Bylaw No. 4742:

Zone R2 / Sections 6.12(3)(a)

COMMENTS:

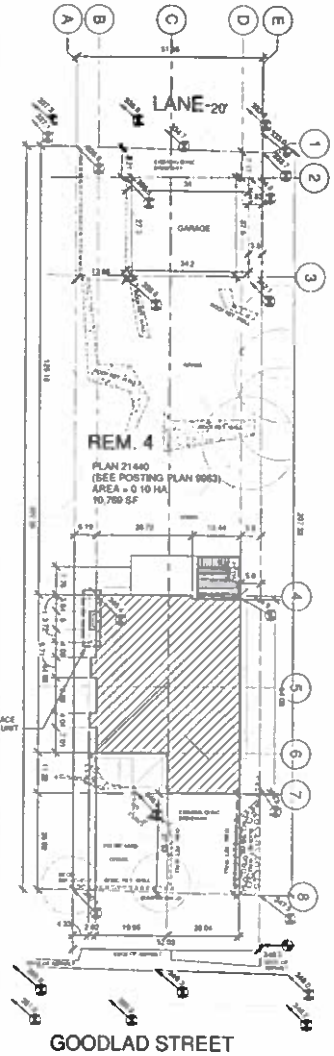
The applicant proposes to build an addition to main floor only and interior alteration to existing single family dwelling. In order to allow the Building Permit application to proceed, the applicant requests that the following variances be granted:

1) To vary Section 6.12(3)(a) – "Exception to Side Yard Requirements" of the Zoning Bylaw requirement for the minimum side yard width from of 5.20 feet to 4.36 feet.

Notes: *1. The applicant recognizes that should the project contain additional characteristics in contravention of the Zoning By-law, a future appeal(s) may be required.*
2. The applicability of this variance, if granted, is limited to the scope of the proposal shown on the attached plans.
3. All new principal building projections into the resulting required yards will conform to the requirements of Section 6.12.
4. Fences and retaining walls will conform to the requirements of Section 6.14.

AB

Peter Kushnir
Deputy Chief Building Inspector



ONLY EXTERIOR CHANGE
REMOVE EXISTING FIRPLACE AND REPLACE WITH LONGER OPENING FOR NEW SIZE UNIT

PROJECT SPECIFIC - SCOPE OF WORK

Landscaping
No work to be done
No new retaining walls

Exterior Building Envelope
Float window Changes

Interior Design
New Kitchen design
New bathroom design
New Main floor fireplace design
Proposes non-load bearing interior walls

Accessory Structures
No work to be done

Project Information

Property Owner	Cory Gaborne & James Fitzgerald
Site Address	7853 Goodlad Street, Burnaby
Project Type	Interior & Deck Renovations
Jurisdiction Authority	City of Burnaby
Legal Description	District Lot 68, Group 1, New Westminster District, Plan 21440
Zone	R-2
Subdivision	N/A
Design Consultant Completed	Kristen Sutton
Builder	Chris Williams - Soul Construction LTD

Zoning Analysis

	EXISTING & UNCHANGED
Lot Size	10,769 SF
Lot Depth	EAST 207.03', WEST - 207.03'
Lot Width	SOUTH 52.04', NORTH 51.00'
Site Coverage	10,769 SF

	Existing	Allowed	Proposed
MAIN LVL. FSR	2697 SF	N/A	Unchanged
UPPER LVL. FSR	1082 SF	N/A	1057 SF
TOTAL FSR	3779 SF	4739.3 SF	3754 SF
	Required/Allowed		
Deck and porch	651.92 SF 6%		289 SF - 2.6%
Covered Deck			
	EXISTING & UNCHANGED		
Site Setbacks			
Front	27.53 FT		
Rear	125.00 FT		
Right Side	5.48 FT		
Left Side	5.00 FT		
Avg Grade =	(3.45 x 347.4+345.3x344.8) / A = 346.075 FT		
Building Mid-Height	32'		
Roof Peak	27.4'		
Garage Height	10'-3.6"		

Geodetic Elevations

	Required/Allowed	Proposed
Roof Peak Elevation	30.0	373.39 FT
Roof Mid Point Elevation	25.0	367.99 FT
Upper Floor Ceiling Elev		360.54 FT
Upper Floor T.O.F Elev		359.54 FT
Upper Deck Elev		356.37 FT
Main Floor T.O.F Elev		348.67 FT
Main Step Down Elev		348.67 FT
Garage Slab		346.48 FT
Average Grade		373.3 FT
Driveway Slope		2.9% Slope
Temporary Benchmark Elevation		

Elevations are based on geodetic datum Benchmark: Control Monument 64H1418
Located on District Lot 68, Group 1, New Westminster District, Plan 21440
Elevation = 367.776 ft (0.110 metres geodetic) BCGS 92G.088
City of Burnaby, B.C.

The subject property may be subject to the following charges as indicated on current Certificate of Title
(NE) 686-776-669
B.F.L.R. Property Protection
DATE March 24, 2017
FILE 2016151 DWG.

GENERAL NOTES

These drawings have been prepared by D3 Dimension Drafting and Design Inc. to conform to the current residential standards of the BCBC (2012).

The Builder is responsible for ensuring that all construction conforms to provincial and local codes and bylaws.

Dimensions take precedence to scale drawings.

Dimensions to be taken from outside face of sheathing for exterior walls and face of studs for interior walls on drawings.

Floor footings to undisturbed, sound bearing soil below frostline (2' below grade)

Structural lumber to be No.2 SPF or better

Between all exterior top plates and double plates, require 6 MIL poly

6 MIL poly is required at all connection points between exterior and exterior walls

Floor assembly to be constructed with non-combustible I-joist

Lumber in contact with concrete to be distinguished soil gasket and anchored with 1/2" anchor bolts at 16" O.C. max

Joists to be 40-2x10 U.N.O

Double posts or parallel perimeter joist. 2x10 blocking at 24" O.C.)

Dwelling must meet current B.C. ventilation code

All operable windows to be standard sliding glazing, U.N.O

Waterproof membrane required on bathroom walls

Provide a bond-breaking material between foundation or slab and stucco

Exterior dimensions to be measured from outside of sheathing

All interior dimensions to be measured to the centre of stud, except where otherwise noted

Site Requirements

No retaining wall shall be constructed on any lot having an exposed height greater than 4 ft
-Any exposed retaining wall 2 ft in height shall be architecturally treated

Exterior Design

No exposed concrete block is permitted
-Exposed concrete foundation walls are not to exceed 1.04 ft in height
-In Charcoal, the main materials used on the front of the house should be used on all other facades
-All gable faces shall be a minimum double frame of a 1"x4" with an 8"x10" UNO

Roof & Building Materials

Any fascia gutter must be properly integrated with wood fascia boards to resist building adhesion
-Exterior vertical walls are to be non-combustible 38mm rated

Driveways & Garages
-The garage shall have sliding doors with raised panels or desired architectural detailing
-Garage should be painted to match proposed building design and colour scheme
-Garage driveways are taken from the outside of sheathing
-Driveways shall be constructed of asphalt, exposed aggregate, stamped concrete, brick or combination
-No gravel driveways or parking areas UNO

No buildings or driveways shall be constructed on the lot unless necessary to reduce storm water run-off form from buildings and driveways (also made by the run-off from buildings, driveways and any other impervious surfaces constructed on the lot being re-charged back to the ground through multiple infiltration storm water management systems such as rock pits or infiltration chambers and run-off from driveways which pipe to the public road or contour properly being intercepted at the property line by the installation of suitably designed and constructed absorbent strip such as grass-crete or permeable interlocking concrete pavers

All Construction and installation of materials and equipment shall be done in accordance with good building practices, following manufacturers instructions and conforming to the BCBC (2012).

All Structural specifications to be designed and certified by a structural engineer. Any discrepancies shall be brought to D3 Dimension Drafting and Design Inc. attention

It is the responsibility of the contractor or builder to check and verify all dimensions and to ensure at work conforms to all local bylaws or regulations, and to the latest edition of the BCBC (2012)

D3 Dimension Drafting and Design Inc. accepts no liability for error or omissions.

These plans conform to the B.C. Building Code 2012 (B)

PLAN

These drawing copies or any copies thereof
-May only be opened be issued by D3 Dimension Drafting Design Ltd
-May only be used for the designated purpose indicated
-Are issued with the understanding that D3 Dimension Drafting Design Ltd will be responsible for their work only to the extent of viewing corrected copies, in the event of an error or omission of the same
-All work done by D3 Dimension Drafting Design Ltd., is and will remain solely the property of the same
-All funds paid are non-refundable

D3 Dimension Drafting Design Inc

www.d3design.ca

No.	Description	Date

Cori Gaborne and James Fitzgerald

7853 Goodlad Street Burnaby

SITE PLAN

Project number	1647
Date	January 3rd 2018
Drawn by	Jordan Van Brabant
Checked by	KIRSTEN SUTTON
	A101
Scale	As indicated

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BUILDING DEPARTMENT

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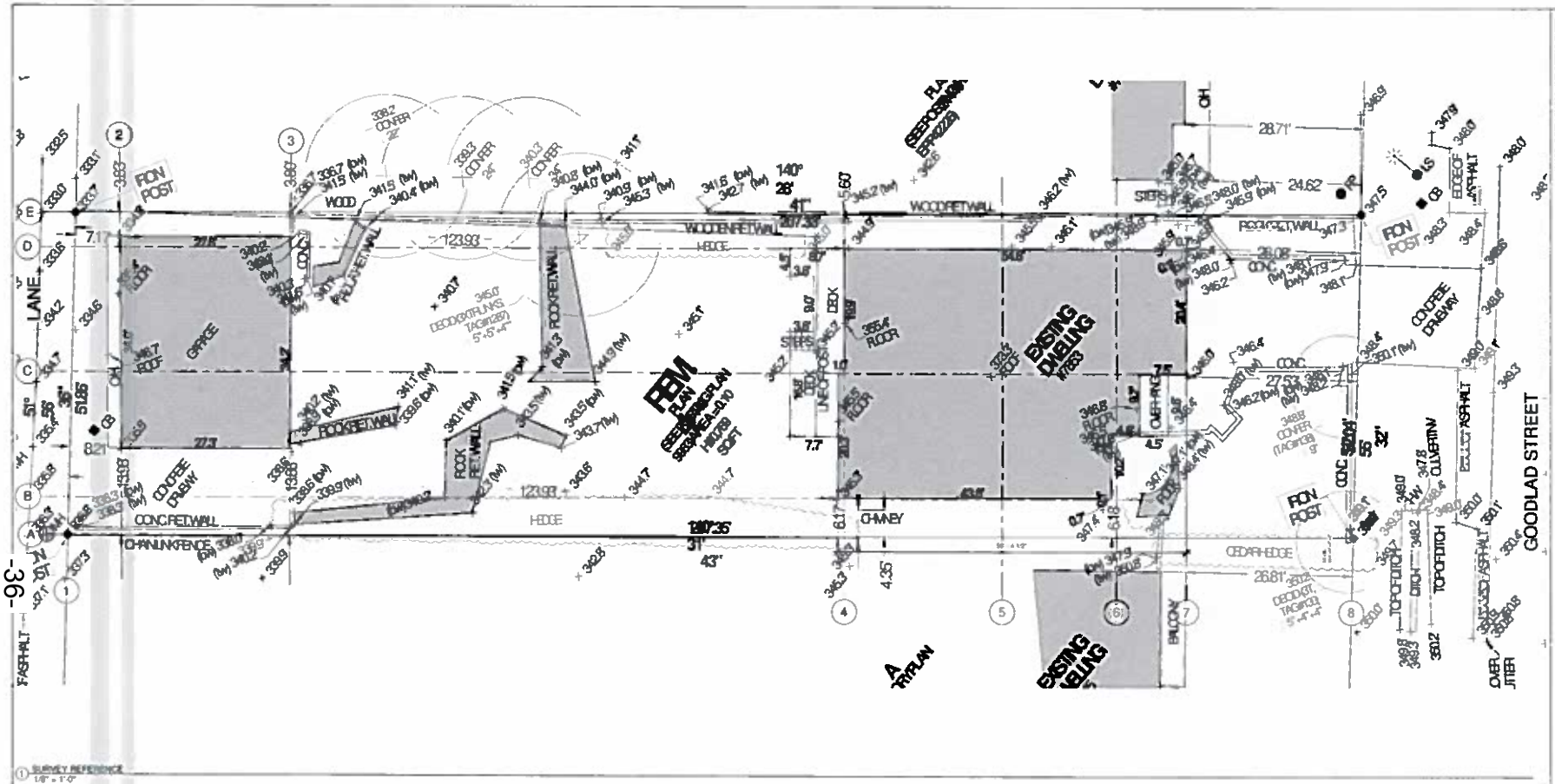

D3 Dimension Drawing Design Inc.

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No.	Description	Date

Cori Gabana and James Fitzgerald

7853 Goodlad Street Burnaby

Survey Reference

Project number	1447
Date	January 3rd 2018
Drawn by	Jordan Van Brabel
Checked by	Checker

A101.1

Scale 1/8" = 1'-0"

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TYPICAL ROOF NOTES:

-EAVE OVERHANGS ARE TO BE MEASURE TO THE OUTSIDE FACE OF THE 2"x 10" FASCIA BOARD
-GABLE OVERHANGS ARE TO BE MEASURED TO THE OUTSIDE FACE OF THE 2"x10" BARGE BOARD
-EAVE HEIGHTS ARE TO BE MEASURED TO THE TOP OF THE 2"x10" FASCIA BOARD
-ALL ATTIC SPACES TO HAVE A MINIMUM R-60
-VENTILATOR ATTIC SPACES : 300 SF

-TYPICAL ROOF OVERHANG = 1'

IMPORTANT NOTE:

THIS DRAWING SET WAS CAREFULLY PRODUCED AND CHECKED BY D3 DIMENSION DRAFTING DESIGN AT 1 1/8" WAS DETERMINED TO MEET THE RESTRICTIONS AND REQUIREMENTS OF THE **CURRENT EDITION OF THE BC** 2012 CODE. HOWEVER, DUE TO ~~NON-DIRECTIONAL, ONE SIDED, OR DUE TO OTHER DRAWING OR ALTERATIONS~~ ... NON-STRUCTURAL ~~BEFORE~~ ERROR SHOULD ANY LINTEL, BEAM, FOOTING, OR ANY OTHER STRUCTURAL ASPECTS OF THIS SET OF DRAWINGS BE INCORRECT / POSITIONED, SIZED, SPECIFIED, OR BEYOND THE SCOPE OF THE BUILDING CODE HAVING JURISDICTION THE COMPLETE SET OF DRAWINGS MUST BE CHECKED, SIGNED, DATED AND SEALED BY A QUALIFIED CERTIFIED STRUCTURAL ENGINEER

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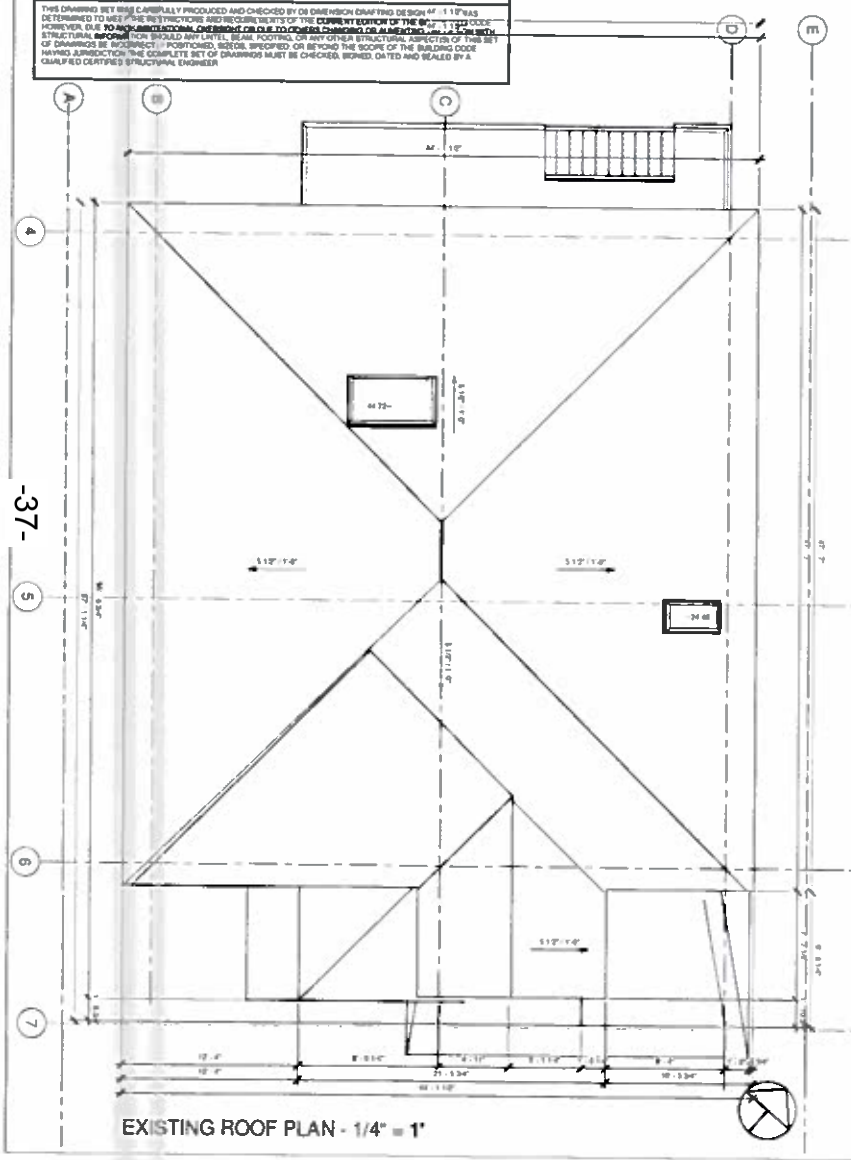
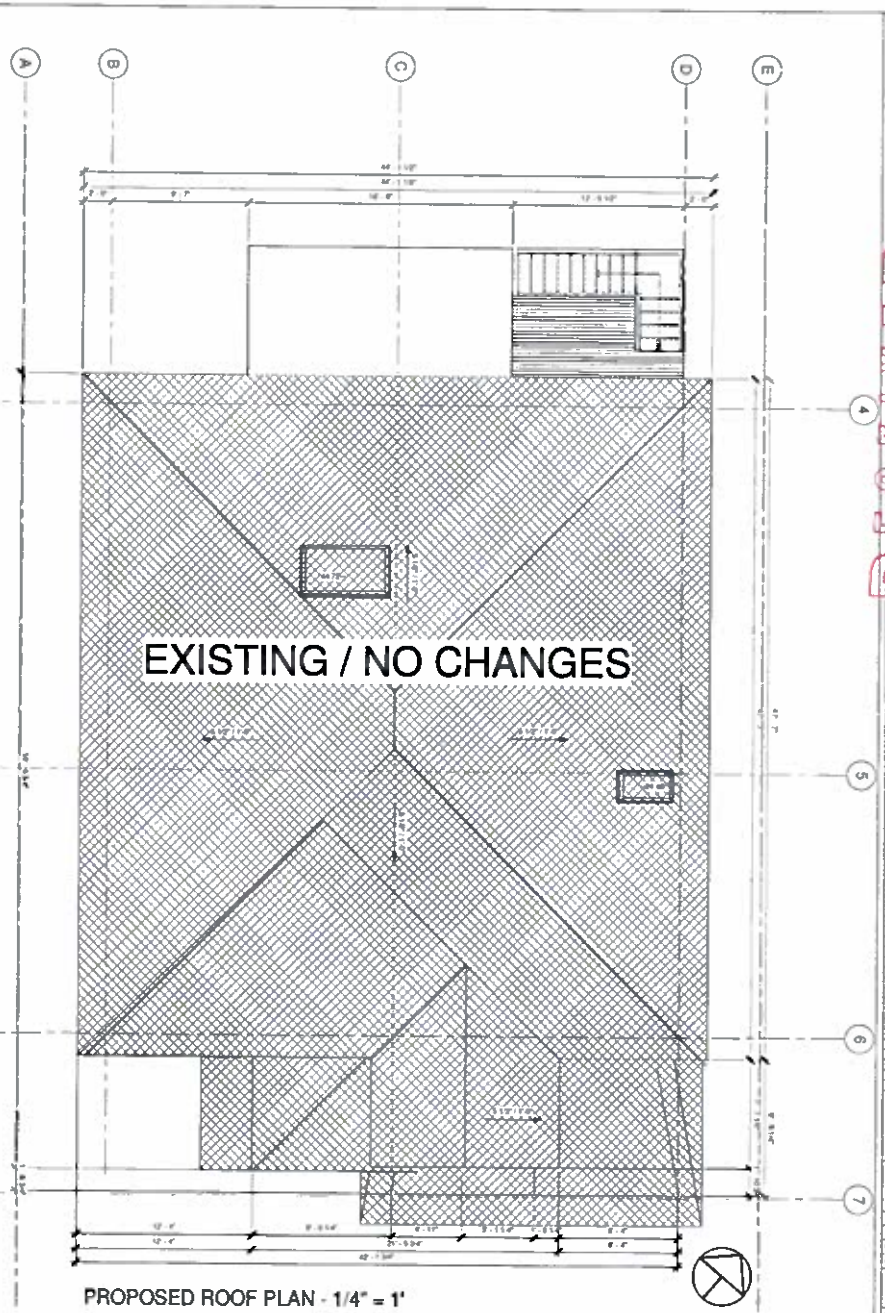
ARE ISSUED WITH THE UNDERSTANDING THAT D3 DIMENSION DRAFTING DESIGN LTD. WILL BE RESPONSIBLE FOR THEIR WORK ONLY TO THE EXTENT OF ISSUING CORRECTED COPIES IN THE EVENT OF AN ERROR OR OMISSION OF THE SAME AND ALL WORK DONE BY D3 DIMENSION DRAFTING DESIGN LTD. IS AND WILL REMAIN SOLELY THE PROPERTY OF THE SAME
ALL FUNDS PAID ARE NON-REFUNDABLE



EXISTING ROOF PLAN - 1/4" = 1'



PROPOSED ROOF PLAN - 1/4" = 1'

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No.	Description	Date

Cori Gelbana and James Fitzgerald

7853 Goodlad Street Burnaby

ROOF PLANS

Project number	1447
Date	January 3rd 2018
Drawn by	Jordan Van Brabant
Checked by	KIRSTEN SUTTON

A104

Scale: As indicated

4.(c)

TYPICAL ELEVATION CONSTRUCTION NOTES:

- ALL CLADDING TO BE ON RAINSCREEN WITH 1x3 STRAPPING
- CAULK JOINTS BETWEEN DISSIMILAR MATERIALS
- FLASH ALL UNPROTECTED EXTERIOR OPENINGS
- FLASHING TO BE MIN. 5% SLOPE AND HAVE END DAMS
- ALL WINDOW OPENINGS TO BE CONFIRMED BY OWNER
- DOORS TO CONFORM TO SECTION 9.6 OF THE BUILDING CODE
- WINDOWS TO CONFORM TO SECTION 9.7 OF THE BUILDING CODE
- SEE ROOF PLAN FOR ROOF PITCHES AND OVERHANGS
- ALL HANDRAILS & GUARDS TO 9.8.8.5 & 9.8.7.5
- ALL EXTERIOR WINDOWS AND DOORS TO MEET NORTH AMERICAN FENESTRATION STANDARDS
- SEE ELEVATIONS FOR WINDOW HEAD HEIGHT
- ALL BEDROOM WINDOWS TO BE CRANK-OUT, RATHER THAN HUNG WINDOWS TO MEET EGRESS ALLOWANCE OF 4.5m²

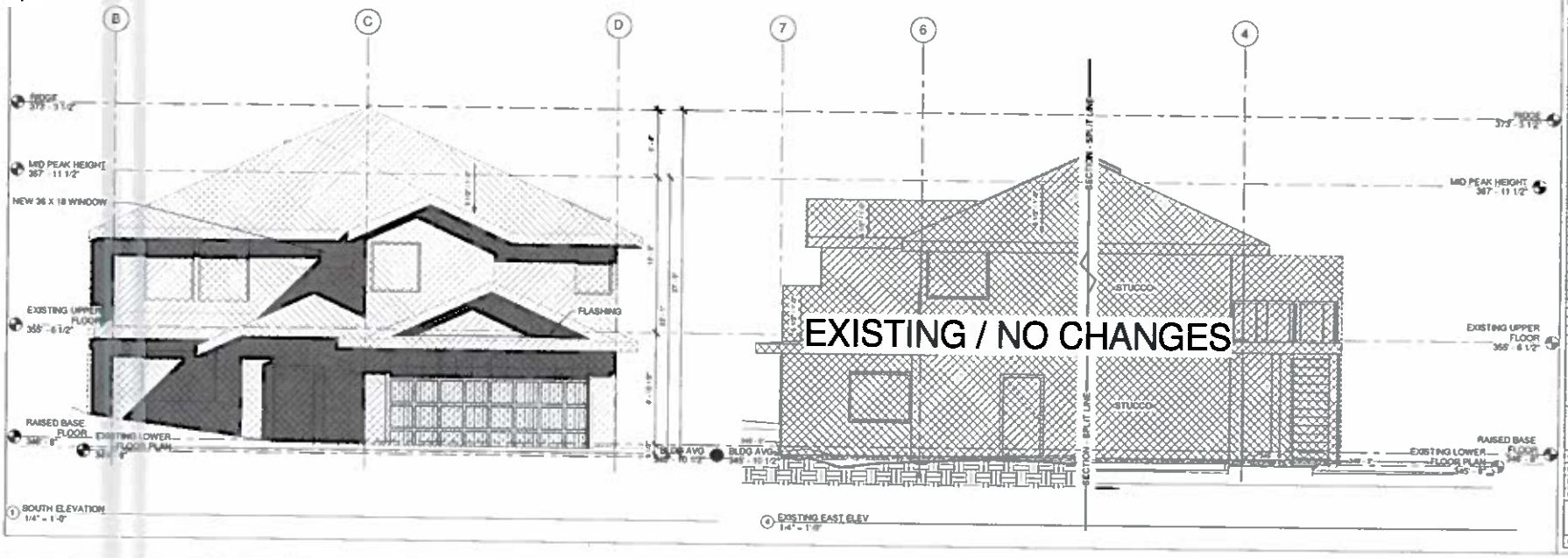
IMPORTANT NOTE:

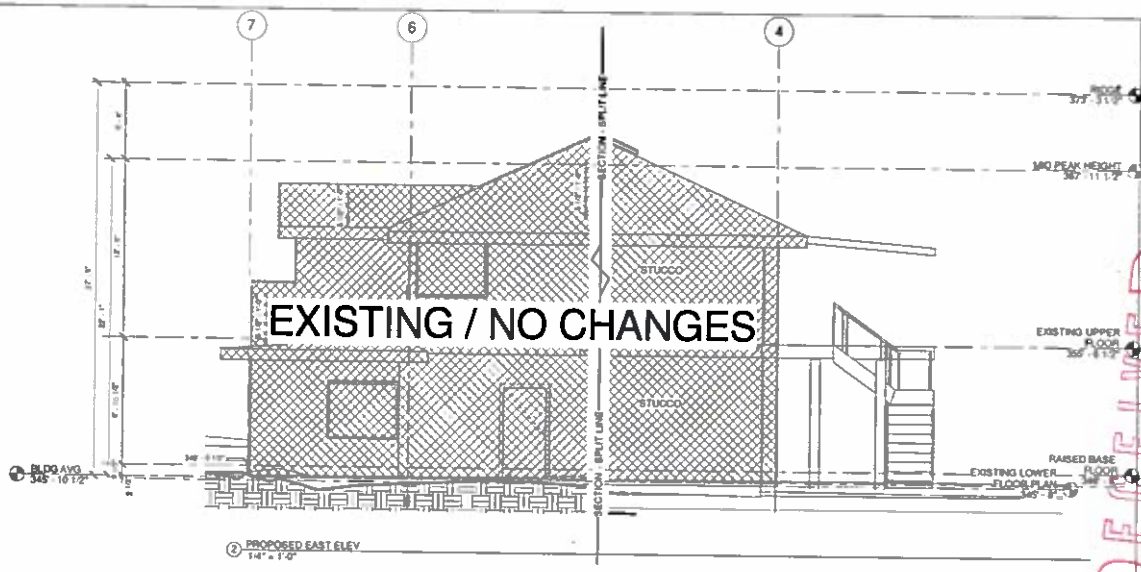
THIS DRAWING SET WAS CAREFULLY PRODUCED AND CHECKED BY D3 DIMENSION DRAFTING DESIGN LTD AND WAS DETERMINED TO MEET THE RESTRICTIONS AND REQUIREMENTS OF THE CURRENT EDITION OF THE BC BUILDING CODE. HOWEVER, DUE TO ANY UNINTENTIONAL OVERSIGHT OR DUE TO OTHERS CHANGING OR ALTERING THE DESIGN WITH STRUCTURAL INFORMATION SHOULD ANY LINTEL, BEAM, POSTING, OR ANY OTHER STRUCTURAL ASPECTS OF THIS SET OF DRAWINGS BE INCORRECTLY POSITIONED, SIZEDS, SPECIFIED, OR BEYOND THE SCOPE OF THE BUILDING CODE HAVING JURISDICTION, THE COMPLETE SET OF DRAWINGS MUST BE CHECKED, SIGNED, DATED AND SEALED BY A QUALIFIED CERTIFIED STRUCTURAL ENGINEER

SOUTH & EAST OPENING ALLOWANCE

ASHRAE 90.1 PRESCRIPTIVE METHOD REQUIRES ALL FACES BE THEM BE VERTICAL FENESTRATION EQUAL OR LESS THAN 40 % AND SKYLIGHT FENESTRATION EQUAL OR LESS THAN 3%.

NO CHANGES TO THE EXTERIOR DESIGN & NO CHANGES TO EXISTING OPENINGS THEREFORE, SPATIAL SEPERATION REMAINS THE SAME





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No.	Description	Date

Carl Gabana and James Fitzgerald

7853 Goodlad Street Burnaby

SOUTH & EAST ELEVATIONS

Project number	1447
Date	January 3rd 2018
Drawn by	Jordan Van Brabel
Checked by	KIRSTEN SUTTON

A105

Scale: As indicated

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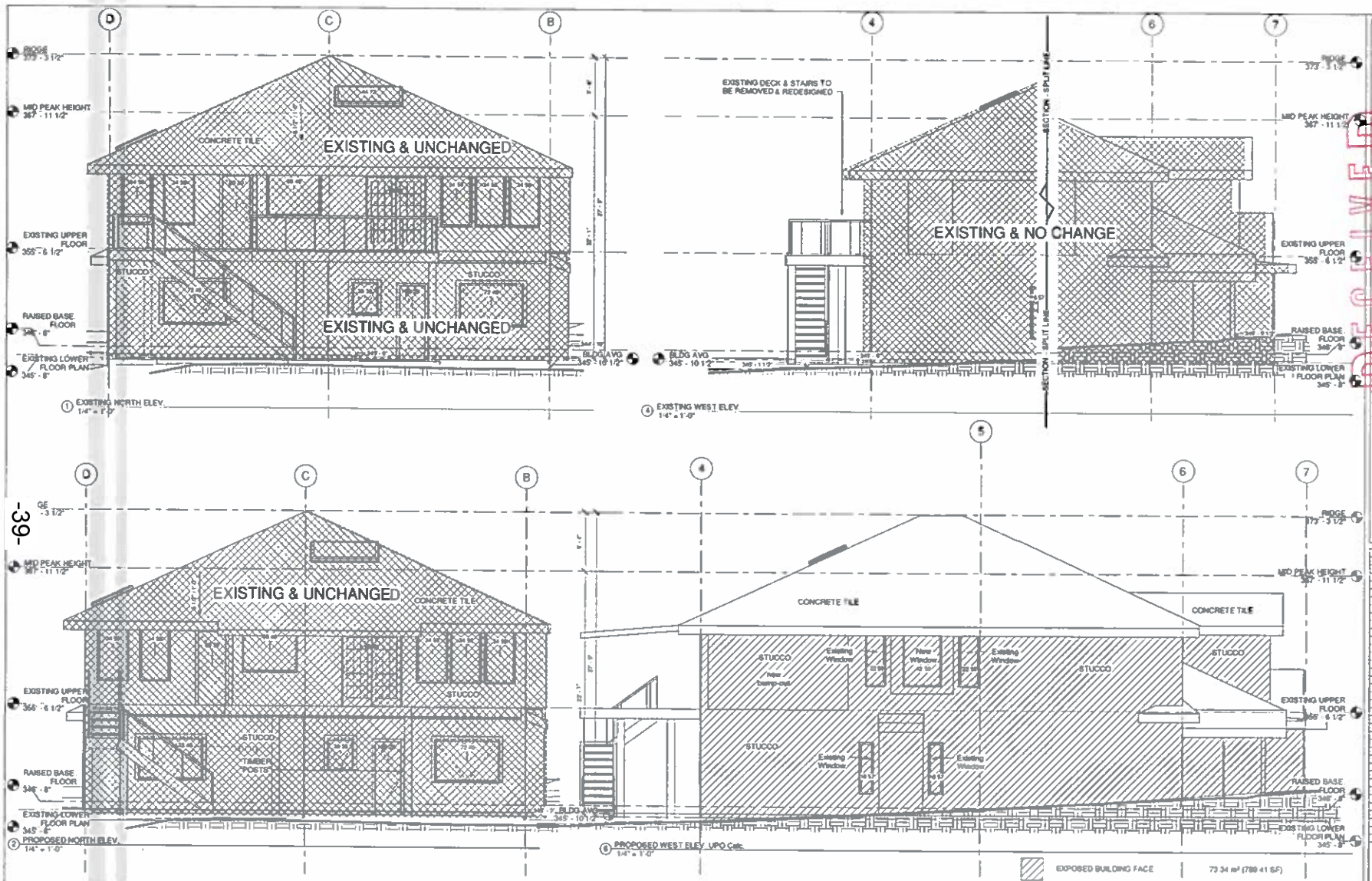

TYPICAL ELEVATION CONSTRUCTION NOTES:

- WALL CLADDING TO BE ON RAINSCREEN (MIN 3/8" STRAPPING)
- CAULK JOINTS BETWEEN DISSIMILAR MATERIALS
- FLASH ALL UNPROTECTED EXTERIOR OPENINGS
- FLASHING TO BE MIN 5% SLOPE AND HAVE END DAMS
- ALL WINDOW OPENINGS TO BE CONFIRMED BY OWNER
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- SEE ELEVATIONS FOR HEAD HEIGHT OF WINDOWS
- ALL BEDROOM WINDOWS TO BE CRANK OUT, RATHER THAN HUNG WINDOWS TO MEET EGRESS ALLOWANCE OF 0.35m²

NORTH & WEST OPENING ALLOWANCE

ASHRAE 90.1 PERSCRIPTIVE METHOD REQUIRES ALL FACES BE THEM BE VERTICAL FENESTRATION EQUAL OR LESS THAN 40 % AND SKYLIGHT FENESTRATION EQUAL OR LESS THAN 3%.

NORTH NO CHANGES TO THE EXTERIOR DESIGN & NO CHANGES TO EXISTING OPENINGS THEREFORE, SPATIAL SEPERATION REMAINS THE SAME.

WEST, SEE SHEET 108 FOR UPDATED SPATIAL SEPERATION

EXPOSED BUILDING FACE	73.34 m² (789.41 SF)
GLAZING OPENINGS	3.16 m² or 4.31% (34 SF)
LIMITING DIST	1.42m (4.67 FT)
ALLOWED GLAZED OPENINGS	5.87 m² or 8%

IMPORTANT NOTE:

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BUILDING DEPARTMENT

No.	Description	Date

Carl Gabana and Jessie Fitzgerald

7853 Goodlad Street Burnaby

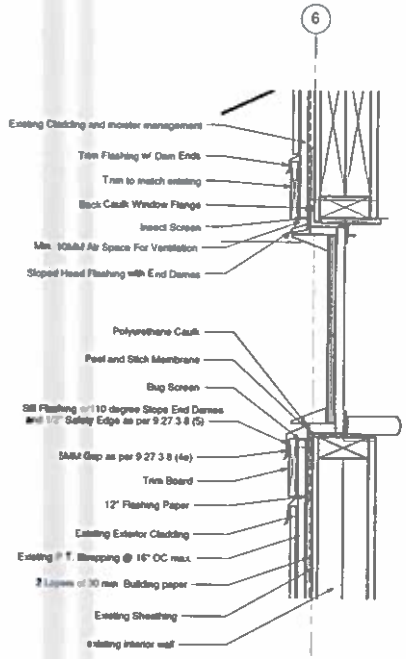
NORTH & WEST ELEVATIONS

Project number	1447
Date	January 3rd 2018
Drawn by	Jordan Van Brabel
Checked by	KIRSTEN BUTTON

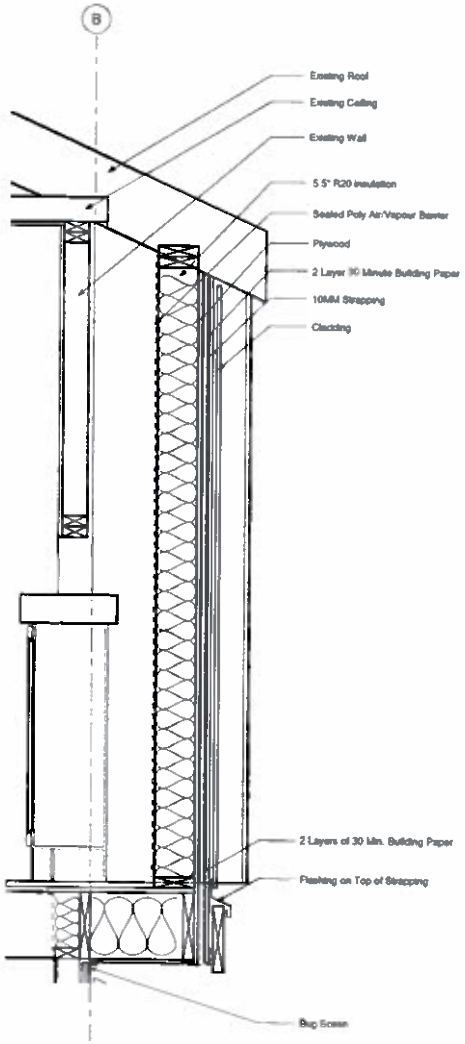
A106

Scale As indicated

4.(c)

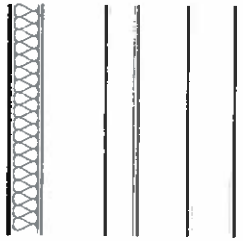


① Section 1 - Callout 1
1" = 1'-0"



② Section 2 - Callout 1
1 1/2" = 1'-0"

WHEN CLADDING MUST BE REDONE, IT IS RECOMMENDED TO ADD RAINSCREEN (LATHE) TO PROMOTE VENTILATION REQUIREMENTS.



-EXCEPT FOR TUBULAR DAYLIGHTING DEVICES, THE MINIMUM EFFECTIVE THERMAL RESISTANCE VALUES FOR WALLS ALSO APPLY TO SHAFTS FOR DAYLIGHTING

-A WALL OF FLOOR BETWEEN A CONDITIONED SPACE AND RESIDENTIAL GARAGE MUST BE AIRIGHT AND INSULATED BECAUSE, EVEN IF THE GARAGE IS EQUIPPED WITH SPACE HEATING EQUIPMENT, IT MAY IN FACT BE KEPT UNDERHEATED MOST OF THE TIME

EXISTING EXTERIOR WALL ASSEMBLY

-EXTERIOR AIR FILM
-CLADDING MATERIAL AS PER CLIENT DECISION
-VAPOUR PERMEABLE SHEATHING MEMBRANE
2 LAYERS OF 30 MIN BUILDING PAPER OR 1 LAYER OF 60MIN
-1/2" OSB OR PLAYWOOD SHEATHING
-2"X4" WOOD FRAMING
-BATT INSULATION
-6 MIL POLY V.B.
-1/2" GYPSUM WALL BOARD
-INTERIOR AIR FILM

*HARDIE BOARD, IF SELECTED, WILL HAVE THE EQUIVALANT OF R-0.13

THE EFFECTIVE THERMAL RESISTANCE OF RIM JOISTS SHALL BE NO LESS THAN THE REQUIRED FOR ABOVE-GROUND WALLS.

EXCEPT FOR TUBULAR DAYLIGHTING DEVICES, THE MINIMUM EFFECTIVE THERMAL RESISTANCE VALUES FOR WALLS SHALL ALSO APPLY TO SHAFTS FOR SKYLIGHTS

CONSIDERATIONS MUST BE GIVEN TO THE FOLLOWING AT THE TIME OF CONSTRUCTION

-DUCTS LOCATED OUTSIDE THE THERMAL ENCLOSURE ARE SEALED AND INSULATED TO THE EXTERIOR WALL INSULATION REQUIREMENTS
-VENTILATION AND DUCTING MUST BE PROVIDED AS PER B.C.B.C. 2012
-DAMPERS ARE INSTALLED AT THE AIR INLETS AND EXHAUSTS WHERE REQUIRED
-PIPING FOR HEATING OR COOLING SYSTEMS IS LOCATED WITHIN THE THERMAL ENCLOSURE OR ARE FULLY INSULATED
-FORCED AIR SYSTEM WILL BE LOCATED WITHIN THE THERMAL ENCLOSURE
-AIR AIR BARRIER MUST BE INSTALLED AS PER B.C.B.C. 2012
-TEMPERATURE CONTROL SHALL BE INSTALLED ON HEATING AND COOLING EQUIPMENT
-SERVICE WATER HEATING PIPES ARE INSULATED AT THE INLET AND OULET OF STORAGE TANKS
-SERVICE WATER HEATERS HAVE TEMPERATURE CONTROLS

-ALL GARAGE DOORS	MINIMUM R S.I. = 1.1	
-ATTIC SPACE	R S.I. = 7.0	(R-39)
-ROOF ASSEMBLY	R S.I. = 4.90	(R-28)
-ABOVE GRADE WALLS	R S.I. = 3.85	(R-22)
-SUSPENDED FLOORS (WOOD)	R S.I. = 5.46	(R-31)
-FOUNDATION WALLS	R S.I. = 3.85	(R-22) FULL HEIGHT
-CONCRETE SLABS BELOW GRADE	R S.I. = 2.8	(R-13)
-WINDOWS	RATED U.S. = 2.4	

ENERGY EFFICIENCY REQUIREMENTS

THIS HOME IS DESIGNED TO COMPLY WITH THE ENERGY EFFICIENCY REQUIREMENTS AND VALUES FOR CLIMATIC ZONE 5 - LOWER MAINLAND, SOUTHWEST COAST, VANCOUVER ISLAND WITH H.R.V. AND IS DESIGNED UNDER THE PRESCRIPTIVE PATH OF B.C.B.C. 2012

THESE DETAIL DRAWING COPIES OR ANY COPIES THEREOF
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-AND ALL WORK DONE BY D3 DIMENSION DRAFTING DESIGN LTD. IS AND WILL REMAIN SOLELY THE PROPERTY OF THE SAME
-ALL FUNDS PAID ARE NON-REFUNDABLE

THESE PLANS CONFORM TO THE B.C. BUILDING CODE 2012 ED.

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RECEIVED
JAN 30 2018
BUILDING DEPARTMENT

No.	Description	Date

Carl Gabana and James Fitzgerald

7853 Goodlad Street Burnaby

DETAILS

Project number	1447
Date	January 3rd 2018
Drawn by	Jordan Van Brabel
Checked by	KIRSTEN SUTTON

D101

Scale: As indicated

4.(c)

7853 Goodlad St

February 8, 2018

1:1,000

The information has been gathered and assembled on the City of Burnaby's computer systems. Data provided herein is derived from a a number of sources with varying levels of accuracy. The City of Burnaby disclaims all responsibility for the accuracy or completeness of information contained herein.

BOV 6322

4.(c)

City of Burnaby

2017 Board of Variance Notice of Appeal Form

OFFICE OF THE CITY CLERK

Burnaby City Hall, 4949 Canada Way, Burnaby BC, V5G 1M2, Phone: 604-294-7290 Email: clerks@burnaby.ca

Applicant

Name of Applicant: Daryl Berden

Mailing Address: 45011 Langley Crossing

City/Town: Langley BC Postal Code: V2Y 1A0

Phone Number(s) (H) _____ (C) 604-354-3085

Email: daryl@ridgewater.ca.

Property

Name of Owner: Tony & Roxanne Perry

Civic Address of Property: ~~6555 Denby Avenue~~ 6555 Denbigh Ave

I hereby declare that the information submitted in support of this application is, to the best of my knowledge, true and correct in all aspects, and further that my plans have no conflict with municipal bylaws other than those applied for with in this application.

Feb 05 / 2018
Date

Applicant Signature

Office Use Only

Appeal Date 2018 March 01 Appeal Number BV# 6323

Required Documents:

- ☐ Fee Application Receipt
- ☐ Building Department Referral Letter
- ☐ Hardship Letter from Applicant
- ☐ Site Plan of Subject Property

Any documents submitted in support of this Board of Variance Appeal will be made available to the Public

Ridgewater® Let's Build Something Great!

PHASE ONE DESIGN

February 6, 2018
6555 Denbigh Avenue
Burnaby, British Columbia V5H 3R7

City of Burnaby Board of Variance
4949 Canada Way
Burnaby, British Columbia V5G 1M2

Dear Board of Variance Members,

The purpose of this letter is to describe reasons for requesting a relaxation regarding bylaw discrepancies for a proposed renovation of the existing residence at 6555 Denbigh Avenue. The scope of the renovation includes removing derelict portions of the existing building, construction of a new roof and modern front façade, a modest addition of main floor square footage and a secondary suite in the basement.

The original portion of the existing residence, built in 1949, is the portion of the house which the bylaw discrepancies apply to. The new renovation is thoughtfully designed within the existing envelope as much as possible, so as not to encroach further on any setbacks. Relaxations requested and reasons for each are noted below:

1. North Side Yard Setback of 3.05 feet (minimum 4.9 feet)

   This is the current setback to the original existing residence. New construction is maintained within the footprint, using the same foundation and side setback of the original structure.

2. Front Yard Setback of 16.45 feet (minimum 25.4 feet based on front yard averaging)

   This is the current setback to the original existing residence with the exception of a new architectural feature (a purely decorative, stone clad monolith) which adds interest and balance to the front façade. The existing enclosed front porch, which originally encroached into the front setback, will be restored and completely opened up so that visibly the front façade of the house is set further back.

3. Building Depth 51.67 feet (Maximum building depth 47.24 based on lot depth)

   The renovation will actually reduce the overall building depth (from approximate existing depth of 51' to new depth of 48' including the front porch).

The intent of this project is to go above and beyond merely restoring the original residence to a 'livable' state. The new renovation is designed to fit well with current and future community planning, provide quality housing and raise the value of neighbouring houses in the community.

To provide additional context and understanding of the intent and purpose of the project, an exert from the Owner's Letter of Hardship submitted at the time of Building Permit Application is included:

> *My problems began when we started this project, the house was being used by street people. We hired Ridgewater Homes and they came in and cleaned up the needles and boarded up the remainder of the house. We are all about saving our heritage and recycling and we wanted to do a renovation on the house. Our contractor found out that the previous addition was done without permits and wasn't built to code. We have been forced to remove this and fix the house. We are glad to do that, but we need a bit of leniency on the (existing bylaw discrepancies).*
>
> *I am not trying to avoid or break any laws or codes, and we are just trying to do our part. This rental suite will help us all out and the renovated house will add value to the community. We know that we all want to avoid any issues, but we also want to do our part for the city, so please contact me as soon as possible and we can discuss the options.*

Thank you for your consideration in granting these relaxations, the project team and owners are very eager to work with the City of Burnaby and community to see the renovation of 6555 Denbigh Avenue come to fruition.

Contractor/Builder

Ridgewater® Let's Build Something Great!
Award-Winning Builder & Renovator
Voted Best Renovation Company 2018

Daryl Berden
Owner / Marketing

C: 604 354.3085
Daryl@ridgewater.ca

45011 Langley Crossing
Langley, BC V2Y 1A0

Architectural Design

PHASE ONE DESIGN
Award-Winning Custom Home Design

Jennifer Handcock
Architectural Technologist

P: 604.670.7668 ext. 111
Jenny@phase1design.com

788, 601 W Broadway
Vancouver, BC V5Z 4C2

City of Burnaby

BOARD OF VARIANCE REFERRAL LETTER

DATE: February 05, 2018	*This is **not** an application. Please submit this letter to the Clerk's office (ground floor) when you make your Board of Variance application.*
DEADLINE: February 06, 2018 for the March 01, 2018 hearing.	
APPLICANT NAME: Ridgewater Homes	
APPLICANT ADDRESS: Unit 71144 – 7921 120th Street, Delta, B.C., V4C 6P6	
TELEPHONE: 604-235-1956	

PROJECT			
DESCRIPTION: New secondary suite, interior alterations, exterior alterations and rear addition to an existing single family dwelling			
ADDRESS: 6555 Denbigh Avenue			
LEGAL DESCRIPTION:	**LOT: 1**	**DL: 94**	**PLAN: NWP11070**

Building Permit application BLD17-10135 will be denied by the Building Department because the design is not in compliance with Burnaby Zoning Bylaw No. 4742:

Zone R5 / Sections 105.8(1), 105.9 and 105.10(1)

COMMENTS:

The applicant proposes to add a secondary suite, build interior alterations exterior alterations and rear addition to an existing single family house. In order to allow the Building Permit application to proceed, the applicant requests that the following variances be granted:

1) To vary Section 105.8(1) – "Depth of Principal Building" of the Zoning bylaw requirement for the maximum building depth from 47.24 feet to 52.25 feet.

2) To vary Section 105.9 – "Front Yard" of the Zoning Bylaw requirement for the minimum front yard depth from 25.4 feet (based on front yard averaging) to 16.28 feet.

3) To vary Section 105.10(1) – "Side Yards" of the Zoning Bylaw requirement for the minimum side yard width from 4.9 feet to 3.06 feet for new exterior walls constructed on top of existing exterior walls.

Notes: *1. The applicant recognizes that should the project contain additional characteristics in contravention of the Zoning By-law, a future appeal(s) may be required.*

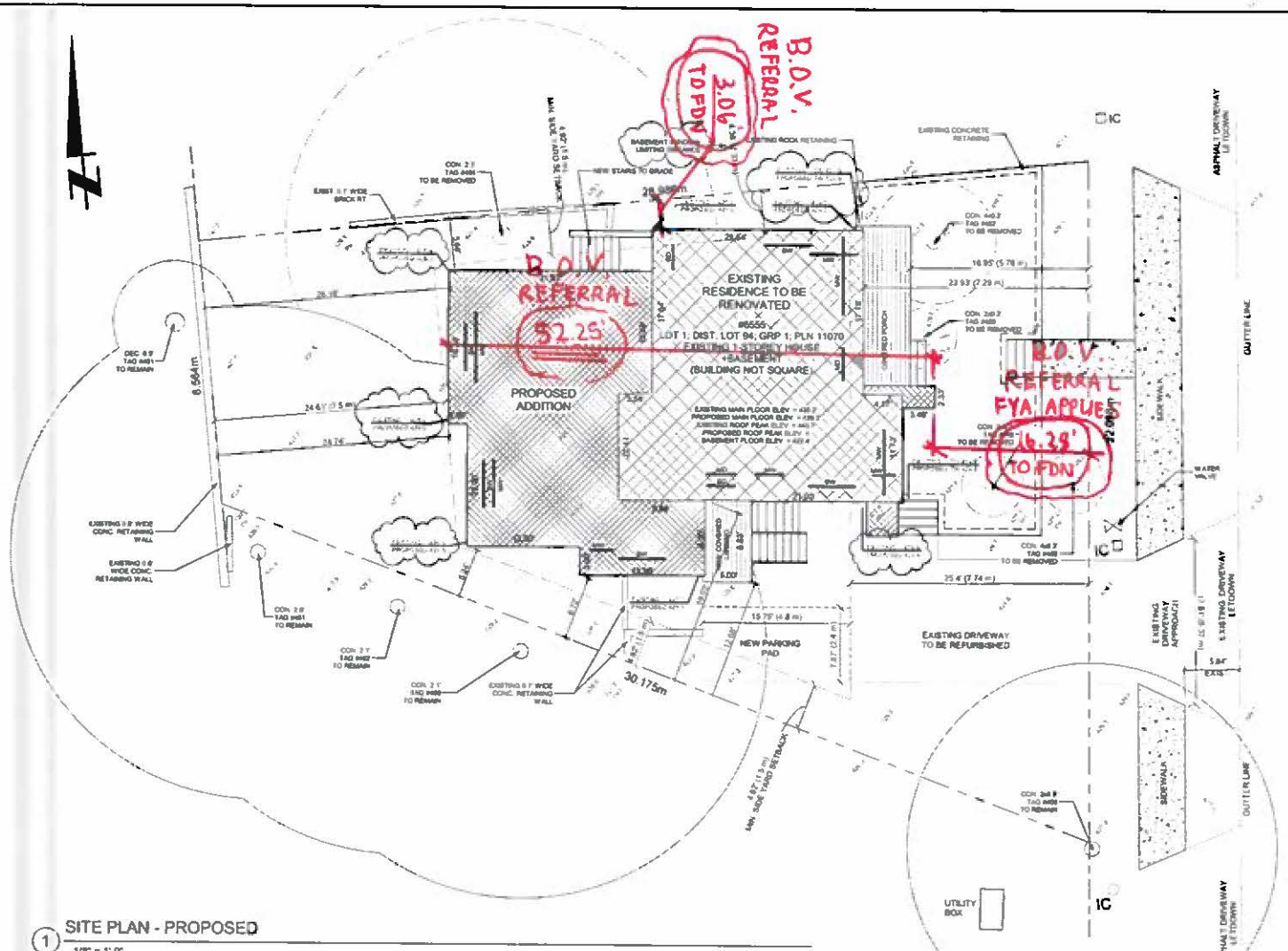
2. The applicability of these variances, if granted, are limited to the scope of the proposal shown on the attached plans.

3. All new principal building projections into the resulting required yards will conform to the requirements of Section 6.12.

4. Fences and retaining walls will conform to the requirements of Section 6.14.

LM

Peter Kushnir
Deputy Chief Building Inspector



1 SITE PLAN - PROPOSED

1/8" = 1'-0"

LEGEND

- EXISTING PROPERTY LINES
- EXISTING SETBACK LINES
- PROPOSED WING WALLS
- PROPOSED ADDITION
- EXISTING RESIDENCE
- PROPOSED DECKS
- PROPOSED ROOF OVERHANG
- PROPOSED CONCRETE
- PROPOSED WINDOW/ DOOR OPENING
- EXISTING GEODETIC

LOT INFORMATION

LEGAL ADDRESS:
LOT 1, DIST LOT 94, GROUP1, NEW WESTMINSTER
EW WESTMINSTER DISTRICT, PLAN 11070

MUNICIPAL ADDRESS:
855 DENBIGH AVE
BURNABY, BC

PROPOSED USE:
SINGLE FAMILY DWELLING & BASEMENT SUITE

SITE INFORMATION

SITE DIMENSIONS: 72.05' +/- x 90.08' +/-
SITE AREA: 4675.48 sq ft
ZONING: R5

MAX. BUILDING HEIGHT: 29.5'
FRONT YARD SETBACK: 25.4'
SIDE YARD SETBACKS: 4.9'
REAR YARD SETBACK: 24.6'

MAXIMUM SITE COVERAGE:

40% X 4675.48 sq ft	= 1870.19 sq ft.

PROPOSED SITE COVERAGE:

EXISTING HOUSE	= 739.29 sq ft.
PROPOSED ADDITION	= 639.25 sq ft
PROPOSED WING WALLS	= 24.31 sq ft.
PROPOSED DECKS	= 128.54 sq ft.
TOTAL SITE COVERAGE	= 1530.39 sq ft.

MAXIMUM IMPERMEABLE AREAS:

0.6 X 3792.57 sq ft.	= 2275.54 sq ft.

PROPOSED IMPERMEABLE AREAS:

HOUSE	= 981.47 sq ft.
GARAGE	= N/A
MAIN CONCRETE PATH TO P.L.	= 42.77 sq ft.
SIDE PATH & RAMP TO REAR ENTRY	= 325.49 sq ft.
WOOD STEPS AND PATIOS	= 185.77 sq ft.
TOTAL IMPERMEABLE AREAS	= 1535.00 sq ft

PROPOSED GARAGE AREA:
TOTAL GARAGE AREA = 0.00 sq ft

**NOTE: PARKING SPACE REQUIREMENT EXEMPTION AS PER PARKING BYLAW 4.1.13(a). TOTAL FLOOR AREA INCREASE CAN BE A MAXIMUM OF 20%

EXISTING

BASEMENT AREA =	811.50 SQ.FT
MAIN FLOOR AREA =	751.84 SQ.FT
UPPER FLOOR AREA =	590.81 SQ.FT
TOTAL AREA =	2154.25 SQ.FT

2154.25 x 0.2 = 430.85 SQ.FT (MAX ALLOWED AREA = 2585.10 SQ.FT)

PROPOSED

BASEMENT AREA =	809.36 SQ.FT
MAIN FLOOR AREA =	908.73 SQ.FT
UPPER FLOOR AREA =	777.01 SQ.FT
TOTAL AREA =	2495.09 SQ.FT

FSR CALCULATION

MAXIMUM ALLOWED FSR = 0.60(*3792.57 SQ.FT) = 130m2
= 758.51 SQ.FT + 1389.35 SQ.FT
= 2147.86 SQ.FT MAX

PROPOSED

MAIN FLOOR AREA =	908.73 SQ.FT
UPPER FLOOR AREA =	777.01 SQ.FT
TOTAL AREA =	1685.74 SQ.FT (472.12 SQ.FT REMAINING)

DISCLAIMER

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PHASE ONE DESIGN
design. build. live.

Phase One Design
755 - 5911 W Boundary
Vancouver, BC V5Z 4C2
P: 604 970 7000
www.PhaseOneDesign.com

BUILDER:
Ridgewater

Ridgewater Homes Ltd.
#71145 - 7001 120th Street
Delta, BC V4C 6R7
P: 604 230 1888
www.ridgewater.ca

No.	Date	Description	By
1	16-JUN-17	INITIAL CONCEPT	MC
2	11-JUL-17	PRESENTATION #2	JH
3	21-AUG-17	DBO PRESENTATION	JW
4	21-AUG-17	PRE-PERMIT DWGS	JH
5	7-SEPT-17	CONSULTANT DWGS	JH
6	26-OCT-17	BUILDING PERMIT	JH
7	29-JAN-18	BUILDING PERMIT REV	JH
8	15-JAN-18	BUILDING PERMIT REV	JH
9	22-JAN-18	BUILDING PERMIT REV	JH

MAIN FLOOR	1348 sq ft
UPPER FLOOR	--
LOFT FLOOR	--
TOTAL AREA	1348 sq ft
GARAGE	--
BSMT DEV	809 sq ft

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CLIENT:
DENBIGH PROJECT

6555 DENBIGH AVENUE
BURNABY, BC
L 1; D. L 94; G 1; D.P. 11070
NEW WESTMINSTER

STATUS:
ISSED FOR CONSTRUCTION

DRAWING NAME:
SITE PLAN - PROPOSED

DRAWN BY: J.Willsie
CHECKED BY: J.H.

SCALE: As indicated
PRINTED ON 18x24 PAPER

SHEET #:
.AS.1

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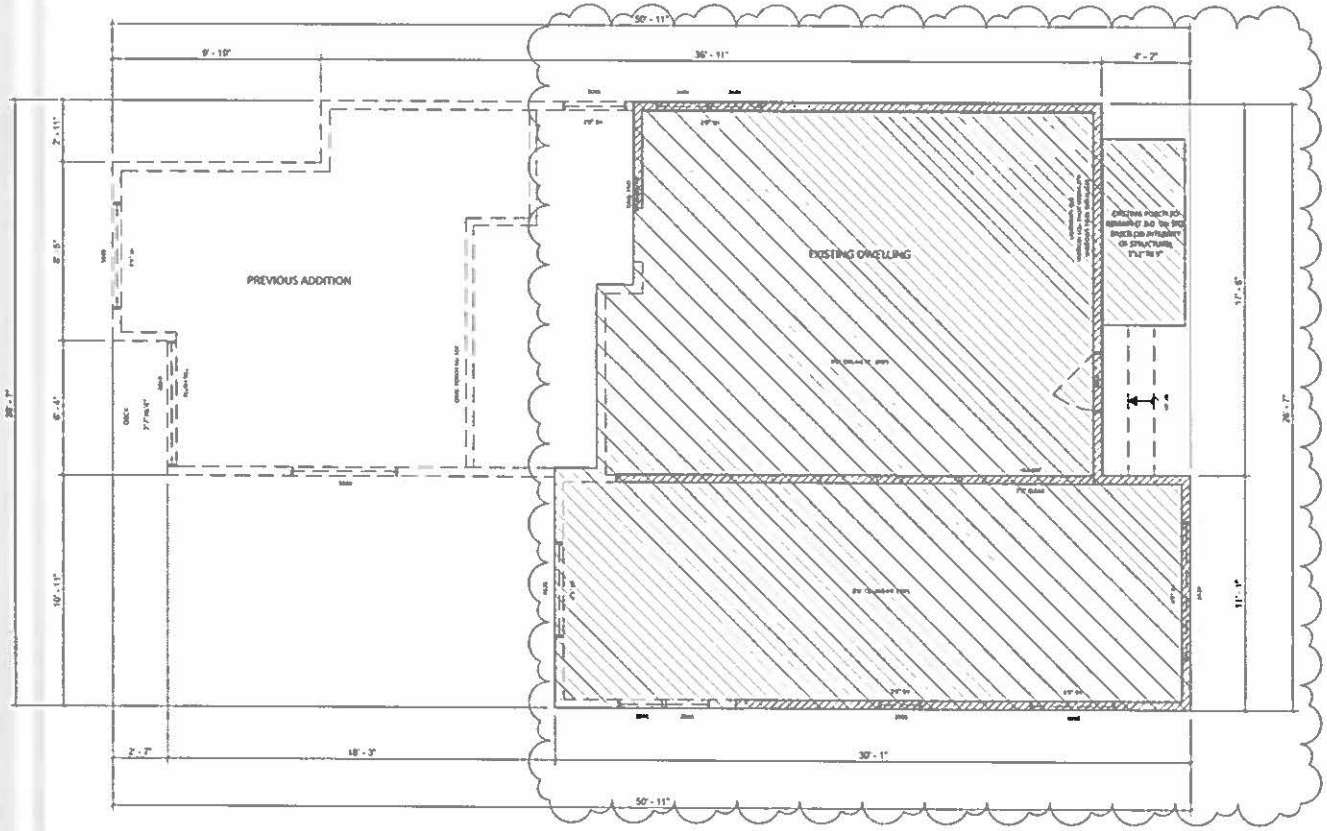
HATCH LEGEND

EXISTING MAIN WALL STRUCTURE TO Remain	
EXISTING MAIN FLOOR JOISTS TO Remain	
DASHED LINES INDICATE EXISTING TO BE DEMOLISHED	



1 AS BUILT - MAIN FLOOR
1/4" = 1'-0"

PHASE ONE DESIGN
dsn. build. l.s.

BUILDER:
Ridgewater

No.	Date	Description	By
1	16-JUN-17	INITIAL CONCEPT	MC
2	11-JUL-17	PRESENTATION #2	JH
3	24-JUL-17	DBC PRESENTATION	JH
4	31-AUG-17	PRE PERMIT DWGS	JH
5	7-SEPT-17	CONSULTANT DWGS	JH
6	10-OCT-17	BUILDING PERMIT	JH
7	29-JAN-18	BUILDING PERMIT REV.	JH
8	16-JAN-18	BUILDING PERMIT REV.	JH
9	23-JAN-18	BUILDING PERMIT REV.	JH

MAIN FLOOR :	1346 sq.ft
UPPER FLOOR:	--
LOFT FLOOR :	--
TOTAL AREA:	1346 sq.ft
GARAGE :	--
BSMT DEV:	878 sq.ft

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CLIENT:
DENBIGH PROJECT

6555 DENBIGH AVENUE
BURNABY, BC
L.1, D. L 94; G.1; D.P. 110070
NEW WESTMINSTER

STATUS:
ISSED FOR CONSTRUCTION

DRAWING NAME:
EXISTING MAIN FLOOR PLAN

DRAWN BY: J.Willsie
CHECKED BY: J.H.

SCALE: 1/4" = 1'-0"
PRINTED ON 18x24 PAPER

SHEET #:
A1.1

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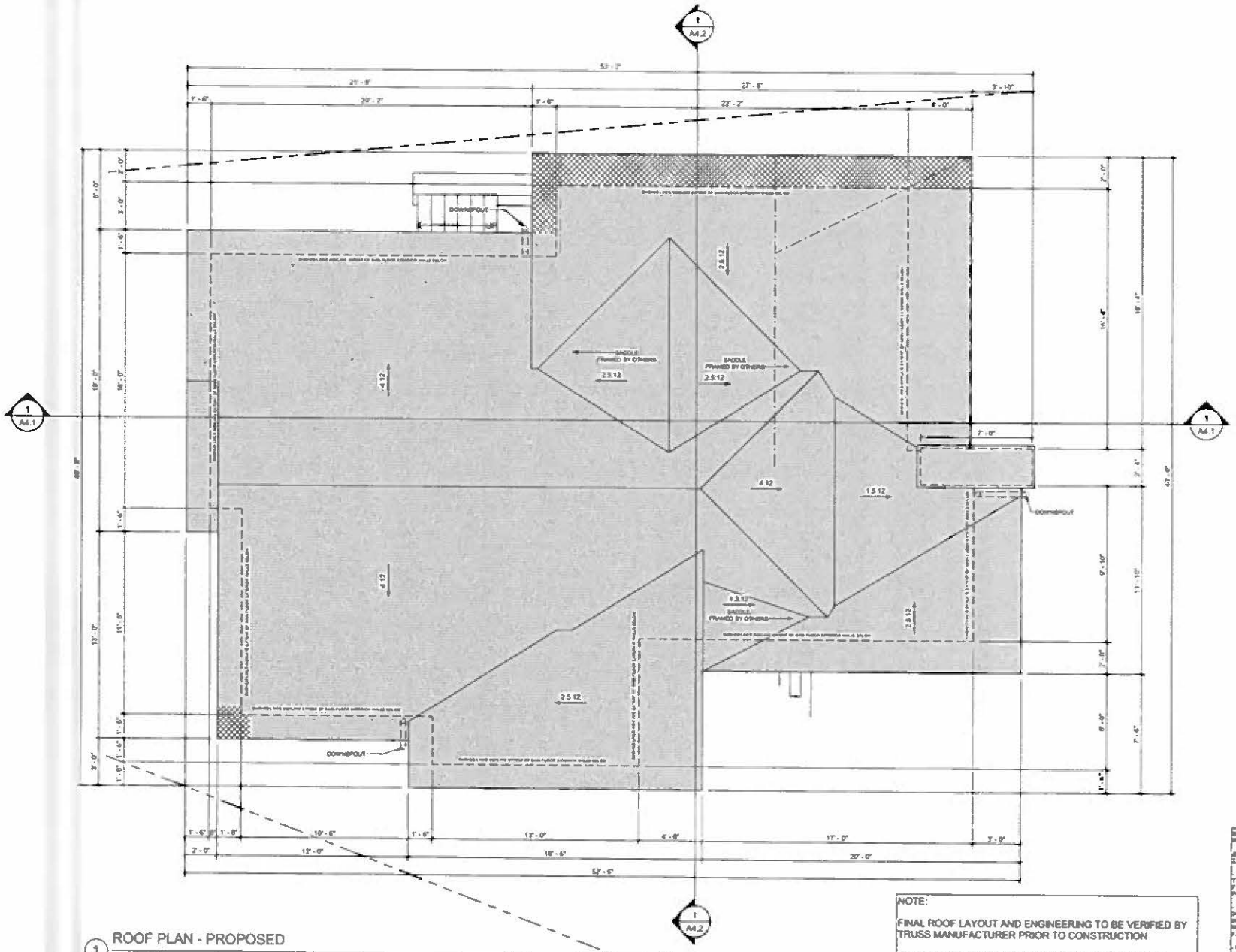

1 ROOF PLAN - PROPOSED

1/4" = 1'-0"

NOTE:

FINAL ROOF LAYOUT AND ENGINEERING TO BE VERIFIED BY TRUSS MANUFACTURER PRIOR TO CONSTRUCTION

ALL CHANGES TO BE APPROVED THROUGH PHASE ONE DESIGN PRIOR TO IMPLEMENTATION

TRUSSES TO CLEAR VENTING LOCATIONS

NOTE: ALL PLANS AND ELEVATIONS ARE BASED ON SITE MEASUREMENTS AND MAY VARY SLIGHTLY. CONTRACTORS ARE RESPONSIBLE FOR VERIFICATION OF ALL CRITICAL DIMENSIONS PRIOR TO CONSTURCTION

HATCH LEGEND

HATCHED AREA INDICATES NON-VENTING SOFFIT

BCBC REQUIREMENTS:
(WITH INTENSITY RESIDENTIAL FIRES)

APPLICA TO SMALL MAIN BUILDINGS THAT IS 2.0m OR LESS TO PROPERTY LINE

1. PROVIDE 5/8" TYPE X DRYWALL @ 24" O/C OR 1/2" TYPE X WITH STUDS @ 16" O/C TO INTERIOR OF FACE AND SIDE WALLS OF AN ENCLOSED PROJECTION (E.G. FIREPLACE CASTLEWIRE)

2. PROVIDE 5/8" TYPE X DRYWALL WITH STUDS @ 24" O/C OR 1/2" TYPE X WITH STUDS @ 16" O/C TO INTERIOR SIDE OF ASSEMBLY FOR EXTERIOR WALLS
FACING AND WITHIN 1.2m (4'-0") OF PROPERTY LINE

3. EAVES PROJECTING WITHIN 1.2m (4'-0") FROM THE PROPERTY LINE SHALL HAVE NON-VENTED SOFFITS

4. ROOF SOFFITS ARE NOT PERMITTED WITHIN 0.45m (1'-4") OF THE PROPERTY LINE

5. PROVIDE 1/2" TYPE X DRYWALL TO THE UNDERSIDE OF AN ENCLOSED PROJECTION WITHIN 1.2m (4'-0") OF
PROPERTY LINE AND 0 GREATER THAN 0.6m (2'-0") ABOVE FINISHED GROUND LEVEL

6. COMBUSTIBLE SIDING OR EIFS SYSTEMS ON WALL ASSEMBLIES WITHIN 1.2m (4'-0") OF THE PROPERTY LINE SHALL BE APPLIED DIRECTLY OVER 12.7mm (1/2") EXTERIOR GRADE GYPSUM SHEATHING

PHASE ONE DESIGN

Phase One Design
708 - 604 W Broadway
Vancouver, BC V6Z 4C2
P 604.879.7888
www.PhaseOneDesign.com

BUILDER:
Ridgewater

Ridgewater Homes Ltd
#71146 7051 120th Street
Delta, BC V4C 6S7
P 604.220.1686
www.ridgewater.ca

No.	Date:	Description:	By:
1	16-JUN-17	INITIAL CONCEPT	MC
2	11-JUL-17	PRESENTATION #2	JH
3	25-JUL-17	DEO PRESENTATION	JH
4	24-AUG-17	PRE-PERMIT DWGS	JH
5	7-SEPT-17	CONSULTANT DWGS	JH
6	26-OCT-17	BUILDING PERMIT	JH
7	26-JAN-18	BUILDING PERMIT REV	JH
8	16-APR-18	BUILDING PERMIT REV	JH
9	22-APR-18	BUILDING PERMIT REV	JH

MAIN FLOOR	1346 sq ft
UPPER FLOOR	–
LOFT FLOOR	–
TOTAL AREA	1346 sq ft
GARAGE	–
BSMT DEV	976 sq ft

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SHOULD DIMENSIONS AND PROBLEMS OCCUR DO NOT SCALE DRAWINGS

CLIENT:

DENBIGH PROJECT

6555 DENBIGH AVENUE
BURNABY, BC
L.1; D. L.94; G.1; D.P. 110700
NEW WESTMINSTER

STATUS:
ISSED FOR CONSTRUCTION

DRAWING NAME:
ROOF PLAN - PROPOSED

DRAWN BY: J.Willsie
CHECKED BY: J.H.

SCALE: 1/4" = 1'-0"

PRINTED ON 18x24 PAPER

SHEET #:
A2.0

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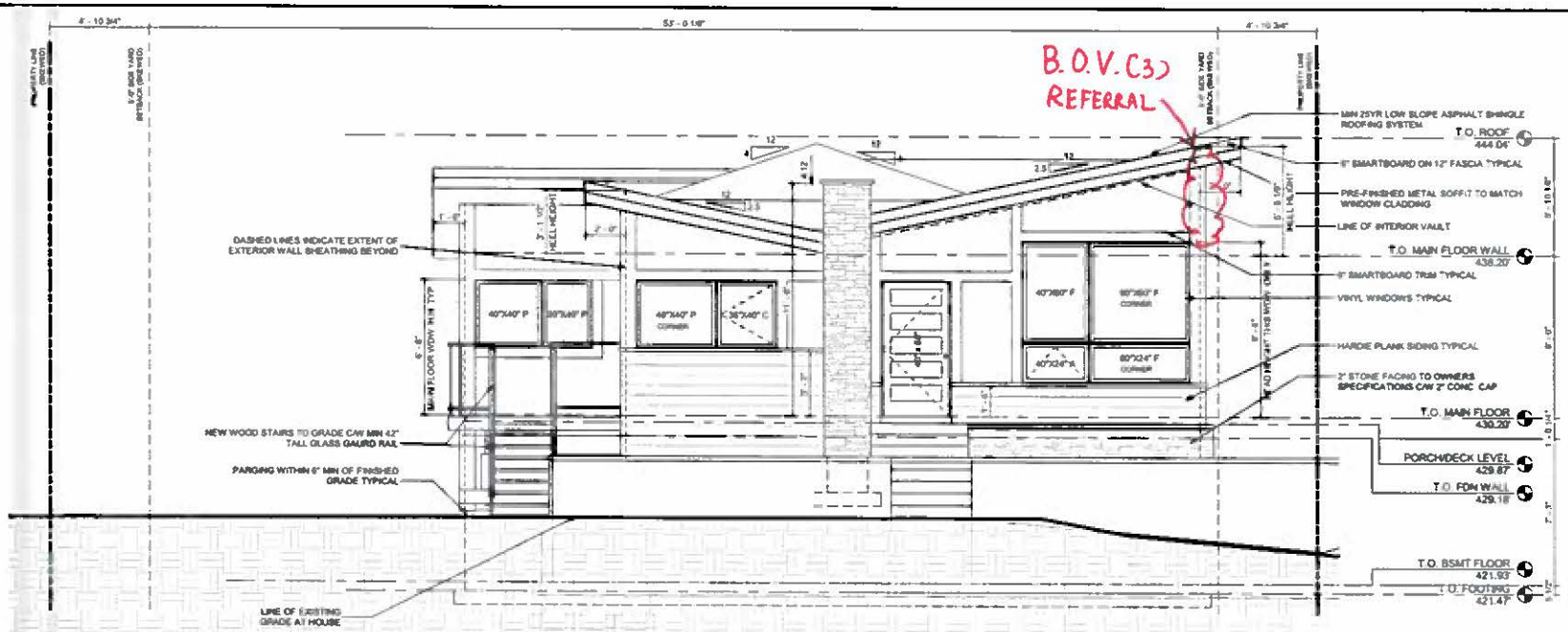
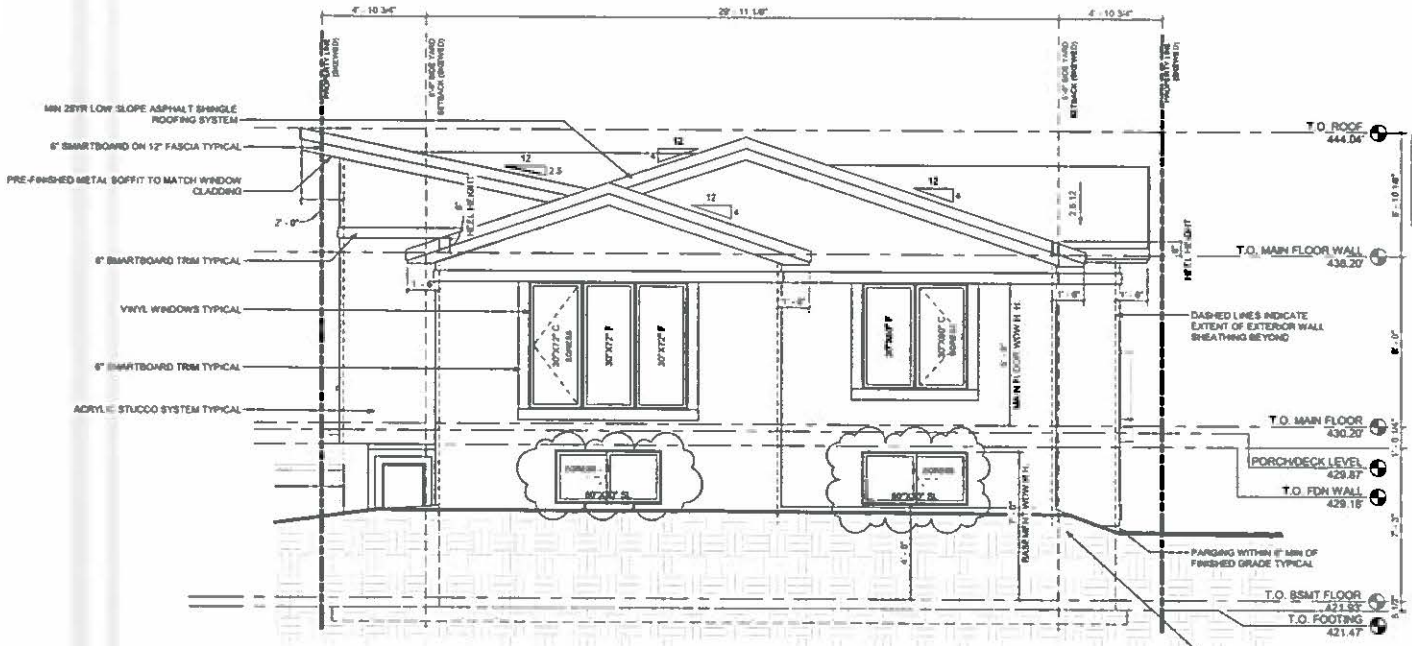
4.(d)



1 FRONT ELEVATION - PROPOSED
1/4" = 1'-0"



2 REAR ELEVATION - PROPOSED
1/4" = 1'-0"

NOTE. ALL PLANS AND ELEVATIONS ARE BASED ON SITE MEASUREMENTS AND MAY VARY SLIGHTLY. CONTRACTORS ARE RESPONSIBLE FOR VERIFICATION OF ALL CRITICAL DIMENSIONS PRIOR TO CONSTURCTION

NBC REQUIREMENTS
(HIGH INTENSITY RESIDENTIAL AREA)

APPLIES TO SHELLS WHICH THERE IS 2.0m OR LESS TO PROPERTY LINE

- PROVIDE 5/8" TYPE X DRYWALL @ 24" O/C OR 1/2" TYPE X WITH STUDS @ 16" O/C TO INTERIOR OF FACE AND SIDE WALLS OF AN ENCLOSED PROJECTION (E.G. FIREPLACE CANTILEVER)
- PROVIDE 5/8" TYPE X DRYWALL WITH STUDS @ 24" O/C OR 1/2" TYPE X WITH STUDS @ 16" O/C TO INTERIOR SIDE OF ASSEMBLY FOR EXTERIOR WALLS FACING AND WITHIN 1.2m (4'-0") OF PROPERTY LINE
- EAVES PROJECTING WITHIN 1.2m (4'-0") FROM THE PROPERTY LINE SHALL HAVE NON VENTED SOFFITS
- ROOF SOFFITS ARE NOT PERMITTED WITHIN 0.60m (2'-0") OF THE PROPERTY LINE
- PROVIDE 1/2" TYPE X DRYWALL TO THE UNDERSIDE OF AN ENCLOSED PROJECTION WITHIN 1.2m (4'-0") OF PROPERTY LINE AND IS GREATER THAN 0.6m (2'-0") ABOVE FINISHED GROUND LEVEL
- COMBUSTIBLE SIDING OR PIPE SYSTEMS ON WALL ASSEMBLIES WITHIN 1.2m (4'-0") OF THE PROPERTY LINE SHALL BE APPLIED DIRECTLY OVER 12.7mm (1/2") EXTERIOR GRADE GYPSUM SHEATHING

NBC REQUIREMENTS
(HIGH INTENSITY RESIDENTIAL AREA)

APPLIES TO SHELLS WHICH THERE IS 1.2 m OR LESS TO PROPERTY LINE

- BUILDING FACE MUST BE CONSTRUCTED WITH NON COMBUSTIBLE CLADDING
- CANTILEVER AND SOFFITS MUST BE 3/16" SOLID SHEATHING OR 38mm SHEET METAL

PHASE ONE DESIGN

BUILDER: Ridgewater

No.	Date	Description	By
1	16-JUN-17	INITIAL CONCEPT	MT
2	11-JUL-17	PRESENTATION #2	JH
3	25-JUL-17	DBO PRESENTATION	JH
4	21-AUG-17	PRE-PERMIT CHANGES	JH
5	7-SEPT-17	COMPLIANCE CHANGES	JH
6	26-OCT-17	BUILDING PERMIT	JH
7	29-JAN-18	BUILDING PERMIT REV	JH
8	15-JAN-18	BUILDING PERMIT REV	JH
9	22-JAN-18	BUILDING PERMIT REV	JH

MAIN FLOOR	1348 sq ft
UPPER FLOOR	–
LOFT FLOOR	–
TOTAL AREA	1348 sq ft
GARAGE	–
BSMT DEV	970 sq ft

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CLIENT:
DENBIGH PROJECT

6555 DENBIGH AVENUE
BURNABY, BC
L.1; D. L.94; G.1; D.P. 110704
NEW WESTMINSTER

STATUS: ISSUED FOR CONSTRUCTION

DRAWING NAME: ELEVATIONS - PROPOSED

DRAWN BY: S.B. | CHECKED BY: J.H.

SCALE: 1/4" = 1'-0"
PRINTED ON 18x24 PAPER

SHEET #: **A3.0**

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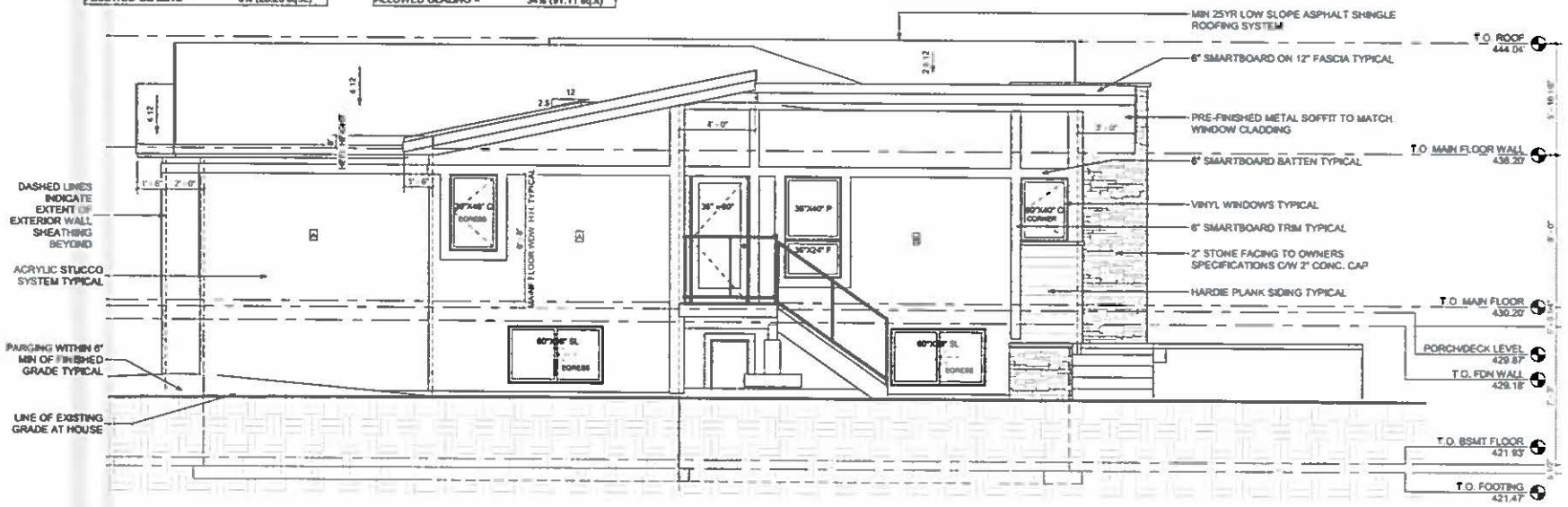
4.(d)

PROPOSED LIMITING DISTANCE CALCULATION FOR BUILDING FACE A:	
WALL AREA =	352.45 sq.ft.
WINDOW AREA =	25.00 sq.ft.
LIMITING DISTANCE =	5.25 ft (1.6m)
ALLOWED GLAZING =	8% (28.20 sq.ft.)

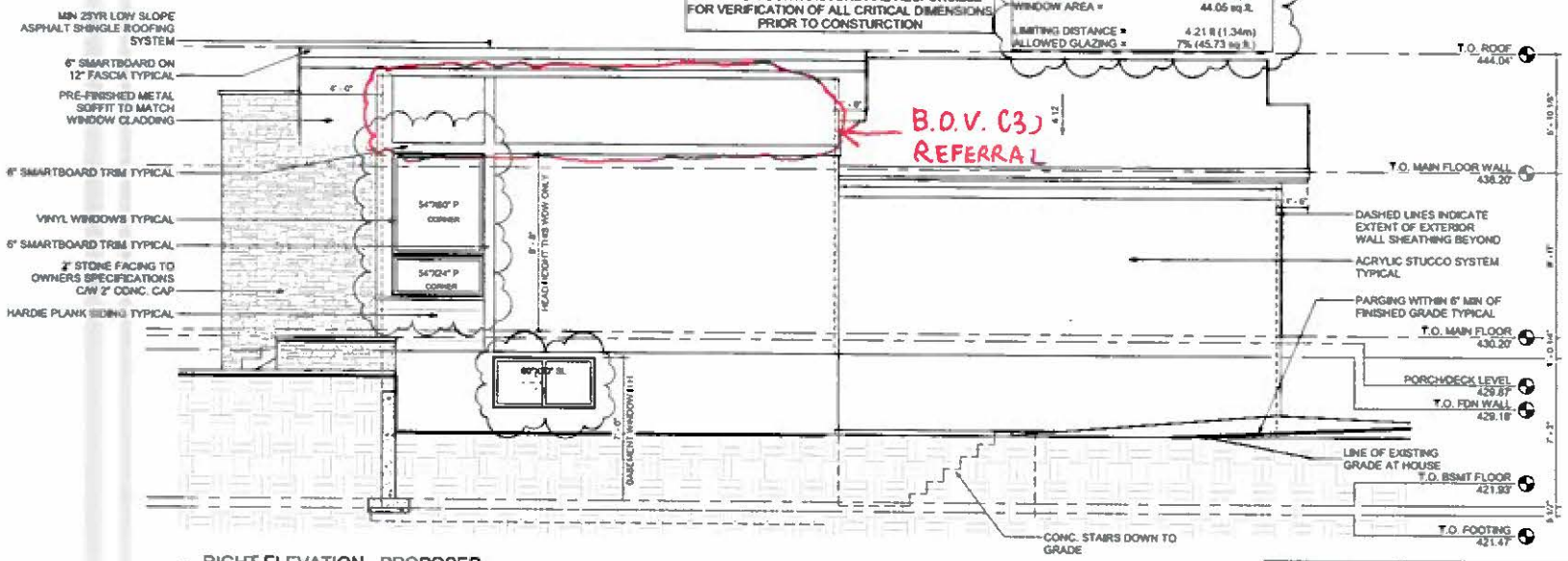
PROPOSED LIMITING DISTANCE CALCULATION FOR BUILDING FACE B:	
WALL AREA =	267.96 sq.ft
WINDOW AREA =	33.33 sq.ft
LIMITING DISTANCE =	18.86 ft (5.76m)
ALLOWED GLAZING =	34% (91.11 sq.ft)



1 LEFT ELEVATION - PROPOSED
1/4" = 1'-0"

NOTE: ALL PLANS AND ELEVATIONS ARE BASED ON SITE MEASUREMENTS AND MAY VARY SLIGHTLY. CONTRACTORS ARE RESPONSIBLE FOR VERIFICATION OF ALL CRITICAL DIMENSIONS PRIOR TO CONSTURCTION

PROPOSED LIMITING DISTANCE CALCULATION FOR BUILDING FACE A:	
WALL AREA =	653.23 sq.ft.
WINDOW AREA =	44.05 sq.ft.
LIMITING DISTANCE =	4.21 ft (1.34m)
ALLOWED GLAZING =	7% (45.73 sq.ft.)



2 RIGHT ELEVATION - PROPOSED
1/4" = 1'-0"

BCBC REQUIREMENTS
(MEDIUM INTENSITY RESIDENTIAL FIRES)

APPLICABLE TO EXTERIOR WALLS WHERE THERE IS 1.2 m OR LESS TO PROPERTY LINE

- BUILDING FACE MUST BE CONSTRUCTED WITH NON COMBUSTIBLE CLADDING
- CANTILEVER AND SOFFITS MUST BE 1/2" SOLID SHEATHING OR 25mm SHEET METAL

BCBC REQUIREMENTS
(MEDIUM INTENSITY RESIDENTIAL FIRES)

APPLICABLE TO EXTERIOR WALLS WHERE THERE IS 1.2m OR LESS TO PROPERTY LINE

- PROVIDE 5/8" TYPE X DRYWALL @ 24" O/C OR 1/2" TYPE X WITH STUDS @ 16" O/C TO INTERIOR OF FACE AND SIDE WALLS OF AN ENCLOSED PROJECTION (E.G. FIREPLACE CANTILEVER)
- PROVIDE 5/8" TYPE X DRYWALL WITH STUDS @ 24" O/C OR 1/2" TYPE X WITH STUDS @ 16" O/C TO INTERIOR SIDE OF ASSEMBLY FOR EXTERIOR WALLS
FACING AND WITHIN 1.2m (4'-0") OF PROPERTY LINE
- EAVES PROJECTING WITHIN 1.2m (4'-0") FROM THE PROPERTY LINE SHALL HAVE NON-VENTED SOFFITS
- ROOF SOFFITS ARE NOT PERMITTED WITHIN 0.45m (1'-4") OF THE PROPERTY LINE
- PROVIDE 1/2" TYPE X DRYWALL TO THE UNDERSIDE OF AN ENCLOSED PROJECTION WITHIN 1.2m (4'-0") OF PROPERTY LINE AND IS GREATER THAN 0.6m (2'-0") ABOVE FINISHED GROUND LEVEL
- COMBUSTIBLE SIDING OR EIFS SYSTEMS ON WALL ASSEMBLIES WITHIN 1.2m (4'-0") OF THE PROPERTY LINE SHALL BE APPLIED DIRECTLY OVER 12 mm (1/2") EXTERIOR GRADE GYPSUM SHEATHING

PHASE ONE DESIGN
design. build. live.

BUILDER:
Ridgewater

No	Date	Description	By
1	15-JUN-17	INITIAL CONCEPT	HC
2	1-JUL-17	PRESENTATION #2	JH
3	29-JUL-17	DBO PRESENTATION	JH
4	21-AUG-17	PRE-PERMIT DWGS	JH
5	7-SEPT-17	CONSULTANT DWGS	JH
6	30-OCT-17	BUILDING PERMIT	JH
7	29-JAN-18	BUILDING PERMIT REV.	JH
8	16-APR-18	BUILDING PERMIT REV.	JH
9	12-JUN-18	BUILDING PERMIT REV.	JH

MAIN FLOOR	1346 sq.ft.
UPPER FLOOR	–
LOFT FLOOR	–
TOTAL AREA	1346 sq.ft.
GARAGE	–
BSMT DEV	870 sq.ft.

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WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS

CLIENT:
DENBIGH PROJECT

6555 DENBIGH AVENUE
BURNABY, BC
L.1; D. L.94; G.1; D.P. 110701
NEW WESTMINSTER

STATUS:
ISSED FOR CONSTRUCTION

DRAWING NAME:
ELEVATIONS PROPOSED

DRAWN BY: J.Willsie
CHECKED BY: J.H.
SCALE: 1/4" = 1'-0"
PRINTED ON 18x24 PAPER
SHEET #:
A3.1

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4.(d)

GENERAL NOTES:

POST AND PAD FOOTINGS
ADJUSTABLE STEEL TELEPOST ON CONC. PAD FTG OR AS PER SUPPLIERS SPECS (UNLESS NOTED OTHERWISE)

WINDOWS
SIZES SHOWN ARE NOMINAL. FRAMER TO VERIFY ALL ROUGH OPENINGS PRIOR TO CONSTRUCTION (STANDARD T.O. WINDOW HEIGHT IS 6' 8" AFF. UNLESS OTHERWISE NOTED)

LINTEL NOTES
OPENINGS UP TO 5'-0 2 - 2 x 10 SPF #2 MIN OPENINGS 5'-0" AND OVER TO HAVE ENGINEERED LINTELS AS PER LAYOUT (STANDARD T.O. WINDOW HEIGHT IS 6' 8" AFF UNLESS NOTED OTHERWISE)

CAULKING NOTES
(REFER TO BCBC 9.28.1.5., 9.20.13.11., 9.29.10.5 & 9.27.8.5)

CAULKING SHALL BE PROVIDED WHERE REQUIRED TO PREVENT THE ENTRY OF WATER INTO THE STRUCTURE

CAULKING SHALL BE PROVIDED BETWEEN MASONRY, SIDING/STUCCO AND ADJACENT DOOR AND WINDOW FRAMES/TRIM, INCLUDING SILLS

CAULKING SHALL BE PROVIDED AT VERTICAL JOINTS BETWEEN DIFFERENT CLADDING MATERIALS, UNLESS JOINT IS FLASHED, TO PREVENT ENTRY OF RAIN

FLASHING NOTES - (REFER TO BCBC 9.3.3.2., 9.27.3)
FLASHING SHALL BE INSTALLED AT EVERY HORIZONTAL JUNCTION BETWEEN TWO EXTERIOR FINISHES EXCEPT WHERE AN UPPER FINISH OVERLAPS A LOWER FINISH

FLASHING SHALL BE INSTALLED OVER ALL EXTERIOR WALL OPENINGS INCLUDING MECHANICAL PENETRATIONS IE VENTS, PIPES, ETC

CIRCULAR PENETRATIONS SHOULD BE INSTALLED THROUGH BATTEN MATERIAL AND CAULKED. BATTEN MATERIAL IS THEN FLASHED

WALL SHEATHING NOTES - (REFER TO BCBC 9.28.1.1., 9.20., 9.28.1.5., 9.21.4.10., 9.29.3.4., 9.3.3.2(2), & 9.30.2.10(15))

ENSURE A GAP OF 2mm MIN AT ALL JOINTS BETWEEN SHEETS OF WALL SHEETING MATERIAL

WALL SHEATHING MEMBRANE NOTES - (REFER TO BCBC 9.27.1.1., 9.27.3.2-5)
AT LEAST ONE LAYER SHALL BE INSTALLED BENEATH SIDING, STUCCO AND MASONRY VENEER

MEMBRANE SHOULD BE INSTALLED HORIZONTALLY FROM BOTTOM UP SO SUCCESSIVE UPPER LAYERS OVERLAP LOWER LAYERS

OVERLAP SHALL BE A MIN. OF 4" (6" BEST PRACTICE)

- ALL CONSTRUCTION SHALL COMPLY WITH LOCAL BUILDING CODE, APPLICABLE BY-LAWS, RULES AND REGULATIONS SET BY THE AUTHORITY HAVING JURISDICTION OVER THE PROJECT.

- TRUSS MANUFACTURER TO VERIFY ALL ROOF SLOPE AND TRUSS DESIGN PRIOR TO FABRICATION

- INTERIOR PARTITIONS BEHIND KITCHEN CABINETRY TO BE 12" O.C (SEE KITCHEN PLAN)

- WINDOW SIZES ARE NOMINAL. REFER TO MANUFACTURERS SPECIFICATIONS FOR EXACT ROUGH OPENING SIZES

- INSULATED WALLS WITHIN 4'-0" OF THE FURNACE AND WATER HEATER AND INSULATED WALLS ADJACENT TO STAIRS AND LANDINGS TO BE DRYWALLED

- PROVIDE BLOCKING IN THE WALL BEHIND THE RANGE, TOWEL BARS, TOILET PAPER HOLDERS AND STAIR RAILINGS AS REQUIRED.

- WHENEVER SPRAY FOAM INSULATION IS NOTED TO BE INSTALLED PLEASE SEE CANTILEVER FLOOR CONSTRUCTION NOTES FOR C.C.M.C. PRODUCT NUMBER

- ANY DISCREPANCIES TO BE REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION

BASE HVAC & MECHANICAL SPECIFICATIONS

FURNACE SELECTIONS _____

FIREPLACE SELECTION _____

HRV SELECTION _____

AC SELECTION _____

HEAT PUMP SELECTION _____

BOILER SELECTION _____

DOMESTIC HOT WATER MINIMUM 78% EFFICIENT PIPE INSULATION. 3ss OUTPUT, 1 METER INPUT OR ALL IF RECIRCULATING. AIR TIGHTNESS, ACH 3.5 AIR CHANGES PER HOUR MIN

NOTE SPECIFICATIONS ABOVE ARE CONSIDERED A MINIMUM REQUIREMENT AND MAY BE REPLACE WITH SIMILAR OR BETTER ON SITE IF REQUIRED

EXTERIOR WALL ASSEMBLIES

W1 - EXTERIOR 5 1/2" WALL WITH ACRYLIC STUCCO
MATERIALS
Gypsum Board
Polyurethane Vapour Barrier
New 2x6 Studs w/ R30 batt insulation @ 16" O.C.
7/16 OSB sheathing
Building Paper
1.5" Type 2 EPS semi-rigid insulation
1/2" Wood Strapping (Furring Rain Screen)
Acrylic Stucco

W2 - EXTERIOR 5 1/2" WALL WITH FIBRE-CEMENT SIDING
MATERIALS
Gypsum Board
Polyurethane Vapour Barrier
New 2x6 Studs w/ R30 batt insulation @ 16" O.C.
7/16 OSB sheathing
Building Paper
1.5" Type 2 EPS semi-rigid insulation
1/2" Wood Strapping (Furring Rain Screen)
5/8 Composite cladding (fibre cement)

FOUNDATION WALL ASSEMBLIES

W3 - EXTERIOR Existing 8" CIP CONCRETE FOUNDATION WALL W/ 5" FURRING WALL
MATERIALS
New 5/8" Gypsum Board
New Polyurethane Vapour Barrier
New 2x6 Studs w/ R21 batt insulation @ 16" O.C.
New 1/2" Air Space
Existing 8" CIP Concrete Foundation
Exterior Air Film
Continuous Concrete Strip Footing As Per Engineers Specifications
(Provide Minimum 4'-0" Cover to footings typical)
4" Diameter Weeping Tile if Required

W4 - EXTERIOR HALF- HEIGHT 8" CIP CONCRETE FOUNDATION WALL W/ 2X6 PONY WALL ABOVE AND 5" FURRING WALL
MATERIALS
LOWER HALF OF WALL:
5/8" Gypsum Board
Polyurethane Vapour Barrier
2x6 Studs w/ R21 batt insulation @ 16" O.C.
1/2" Air Space
8" CIP Concrete Foundation
Exterior Air Film
Continuous Concrete Strip Footing As Per Engineers Specifications
(Provide Minimum 4'-0" Cover to footings typical)
4" Diameter Weeping Tile if Required

UPPER HALF OF WALL:
New 2x6 Studs w/ R30 batt insulation @ 16" O.C.
7/16 OSB sheathing
Building Paper
1.5" Type 2 EPS semi-rigid insulation
1/2" Wood Strapping (Furring Rain Screen)
Acrylic Stucco

INTERIOR WALL ASSEMBLIES

W5 - INTERIOR STUD WALL, 2x4 @ 16" O.C.
MATERIALS
5/8" Gypsum Board
2x4 Studs @ 16" O.C.
5/8" Gypsum Board

W6 - INTERIOR STUD WALL, 2x6 @ 16" O.C.
MATERIALS
5/8" Gypsum Board
2x6 Studs @ 16" O.C.
5/8" Gypsum Board

W7 - INTERIOR STUD WALL, 2x6 @ 16" O.C. - FRR 1hr
MATERIALS
5/8" Type X Gypsum Board
2x6 Studs @ 16" O.C.
5/8" Type X Gypsum Board

FLOOR ASSEMBLIES

F1 - TYPICAL INTERIOR FLOOR SYSTEM
MATERIALS
Finish Flooring to owners specification
3/4" Plywood floor sheathing
Glued and screwed typical
2x12 SPF #2 Floor Joists @ 16" O.C.
5/8" Gypsum Board

F2 - CANTILEVERED FLOOR AREAS
MATERIALS
Finish Flooring to owners specification
3/4" Plywood floor sheathing
Glued and screwed typical
2x12 SPF #2 Floor Joists @ 16" O.C.
2x4 Strapping @ 16" O.C. Perpendicular to joists
R30 Spray foam insulation
2LB Closed cell
Metal soffit

F3 - PORCH FLOOR AREAS
MATERIALS
Finish Flooring to owners specification
Peel and Stick Waterproofing Membrane Typical
3/4" Plywood floor sheathing, Glued and screwed typical
2x8 SPF #2 Floor Joists @ 16" O.C.

FLOOR ASSEMBLIES (CONT.)

F4 - SUITE FLOOR AREAS - FRR 1hr, STC 50
MATERIALS
Finish Flooring to owners specification
3/4" Plywood floor sheathing
Glued and screwed typical
2x12 SPF #2 Floor Joists @ 16" O.C.
10" Sound Batt Insulation Typical
Metal Furring Channels at 16" O.C. Perpendicular to floor joists
2 layers 5/8" Type X Gypsum Board

SLAB ON GRADE ASSEMBLIES

F5 - 5" CONCRETE SLAB ON GRADE - IN SLAB HEAT
MATERIALS
5" CIP Concrete Slab
Poly vapour barrier
2 1/2" (Min.) Expanded Polystyrene Insulation (XPS) (R12 Min)
6" Compacted Gravel

ROOFING ASSEMBLIES

R1 - TYPICAL SLOPED ROOF (NO VAULT)
MATERIALS
Min 25 yr Asphalt Shingles typical
Roofing Felt
5/8" Sheathing
Vented Attic Space
R40 Blown Insulation
Roof Trusses @ 16" O.C. 2x6 Chord
CAW R12 Insulation between chords
Poly vapour barrier
5/8" Gypsum Board

R2 - TYPICAL SLOPED ROOF (VAULTED CEILING)
MATERIALS
Min 25 yr Asphalt Shingles typical
Roofing Felt
5/8" Sheathing
Vented Attic Space
Roof Trusses @ 16" O.C. 2x6 Chord
CAW R20 Blown Fiberglass Insulation
Poly vapour barrier
5/8" Gypsum Board

PHASE ONE DESIGN
DEV., BUILD. S.L.

Phase One Design
750 - 591 W Broadway
Vancouver, BC V5Z 1C2
P: 604 879 7888
www.PhaseOneDesign.com

BUILDER:
Ridgewater

Ridgewater Homes Ltd.
#114A - 7021 120th Street
Delta, BC V4C 6S7
P: 604 239 1880
www.ridgewater.ca

No.	Date	Description	By
1	16-JUN-17	INITIAL CONCEPT	MC
2	11-JUL-17	PRESENTATION #2	JH
3	25-JUL-17	DEC PRESENTATION	JH
4	21-AUG-17	PRE-PERMIT DWGS	JH
5	7-SEPT-17	CONSULTANT DWGS	JH
6	19-OCT-17	BUILDING PERMIT	JH
7	26-JAN-18	BUILDING PERMIT REV1	JH
8	16-JAN-18	BUILDING PERMIT REV2	JH
9	23-JAN-18	BUILDING PERMIT REV3	JH

MAIN FLOOR :	1,348 sq.ft.
UPPER FLOOR:	--
LOFT FLOOR :	--
TOTAL AREA:	1,348 sq.ft.
GARAGE :	--
BSMT DEV. :	878 sq.ft.

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ENSURE ALL WORKS FULL PRECAUTIONS BEFORE BUILDING

CLIENT:

DENBIGH PROJECT

6555 DENBIGH AVENUE
BURNABY, BC
L.1, D. L.94: G.1; D.P. 110700
NEW WESTMINSTER

STATUS:
ISSED FOR CONSTRUCTION

DRAWING NAME:
CONSTRUCTION ASSEMBLIES

DRAWN BY: Author
CHECKED BY: Checker

SCALE: 1/4" = 1'-0"

PRINTED ON 18x24 PAPER

SHEET #
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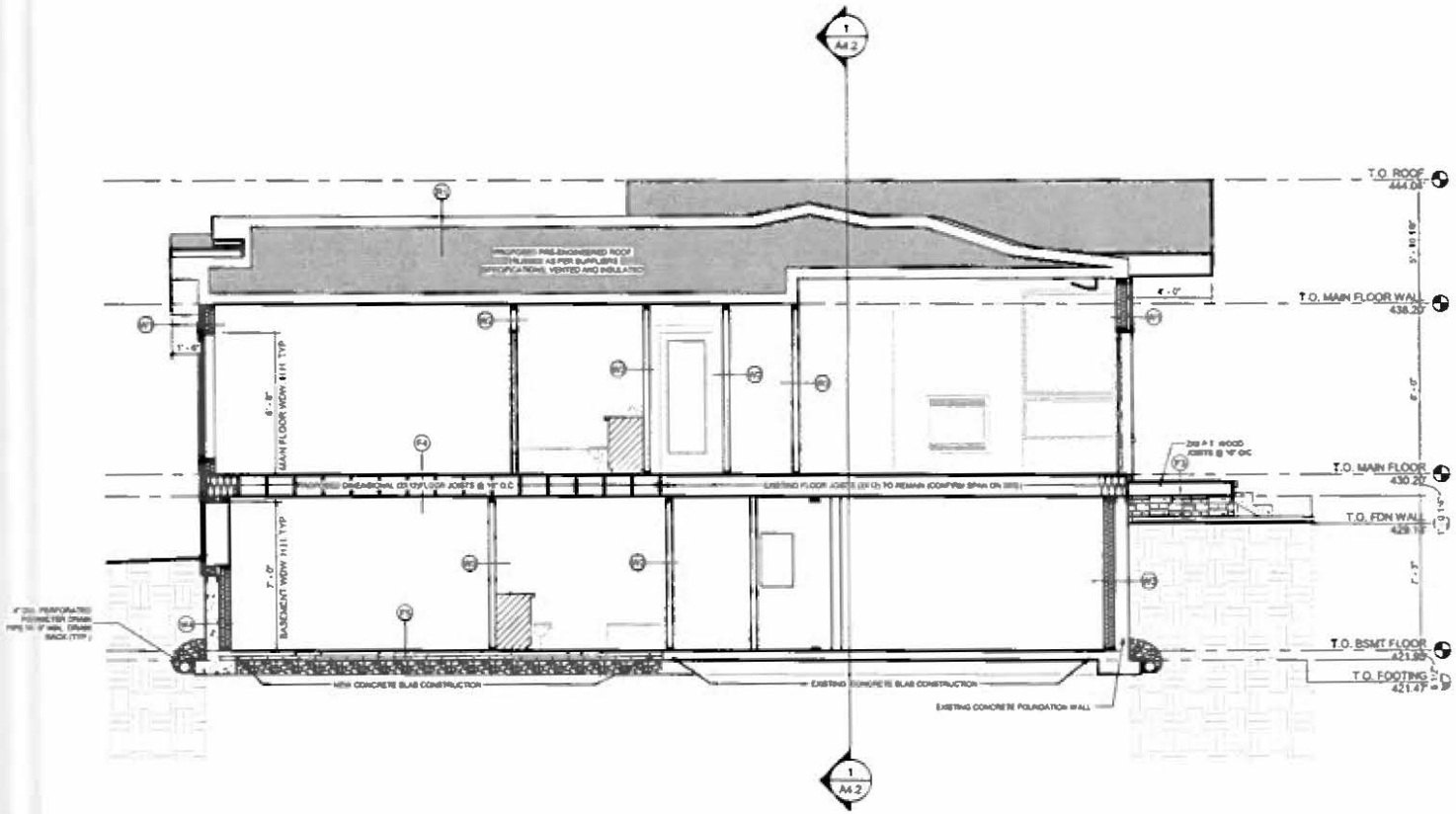

1 SECTION 1

1/4" = 1'-0"

FIRE REQUIREMENTS
BASIC INTENSITY RESIDENTIAL FIRES

APPLIES TO BUILDINGS WHERE THERE IS 1.2 m OR LESS TO PROPERTY LINE

- BUILDING FACE MUST BE CONSTRUCTED WITH NON COMBUSTIBLE CLADDING
- CANTILEVER AND SOFFITS MUST BE 7/16" SOLID SHEATHING OR 38mm SHEET METAL

FIRE REQUIREMENTS
BASIC INTENSITY RESIDENTIAL FIRES

APPLIES TO BUILDINGS WHERE THERE IS 1.2m OR LESS TO PROPERTY LINE

- PROVIDE 5/8" TYPE X DRYWALL @ 24" O/C OR 1/2" TYPE X WITH STUDS @ 16" O/C TO INTERIOR OF FACE AND SIDE WALLS OF AN ENCLOSED PROJECTION (E.G FIREPLACE CANTILEVER)

- PROVIDE 5/8" TYPE X DRYWALL WITH STUDS @ 24" O/C OR 1/2" TYPE X WITH STUDS @ 16" O/C TO INTERIOR SIDE OF ASSEMBLY FOR EXTERIOR WALLS
FACING AND WITHIN 1.2m (4'-0") OF PROPERTY LINE

- EAVES PROJECTING WITHIN 1.2m (4'-0") FROM THE PROPERTY LINE SHALL HAVE NON-VENTED SOFFITS

- ROOF SOFFITS ARE NOT PERMITTED WITHIN 0.45m
(1'-6") OF THE PROPERTY LINE

- PROVIDE 1/2" TYPE X DRYWALL TO THE UNDERSIDE
OF AN ENCLOSED PROJECTION WITHIN 1.2m (4'-0") OF
PROPERTY LINE AND IS GREATER THAN 6.0m (2'-0") ABOVE FINISHED GROUND LEVEL

- COMBUSTIBLE SIDING OR EIFS SYSTEMS ON WALL ASSEMBLIES WITHIN 1.2m (4'-0") OF THE PROPERTY LINE SHALL BE APPLIED DIRECTLY OVER 12.7mm (1/2") EXTERIOR GRADE GYPSUM SHEATHING

PHASE ONE DESIGN

BUILDER:
Ridgewater

No.	Date:	Description:	By:
1	16-JUN-17	INITIAL CONCEPT	[illegible]
2	11-JUL-17	PRESENTATION #2	JH
3	25-JUL-17	ISSUED PRESENTATION	JH
4	21-AUG-17	PRE APPROVAL DWGS	JH
5	7-SEPT-17	COMMENT DWGS	JH
6	26-OCT-17	BUILDING PERMIT	JH
7	20-JAN-18	BUILDING PERMIT REV	JH
8	16-APR-18	BUILDING PERMIT REV	JH
9	22-JUN-18	BUILDING PERMIT REV	JH

MAIN FLOOR	1348 sq.ft.
UPPER FLOOR	--
LOFT FLOOR	--
TOTAL AREA:	1348 sq.ft.
GARAGE	--
BSMT DEV	970 sq.ft.

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CLIENT:
DENBIGH PROJECT

6555 DENBIGH AVENUE
BURNABY, BC
L.1: D L.94 G 1, D.P. 110700
NEW WESTMINSTER

STATUS:
ISSED FOR CONSTRUCTION

DRAWING NAME:
BUILDING SECTION

DRAWN BY: S.B.
CHECKED BY: Checker

SCALE: 1/4" = 1'-0"
PRINTED ON 18x24 PAPER

SHEET #:
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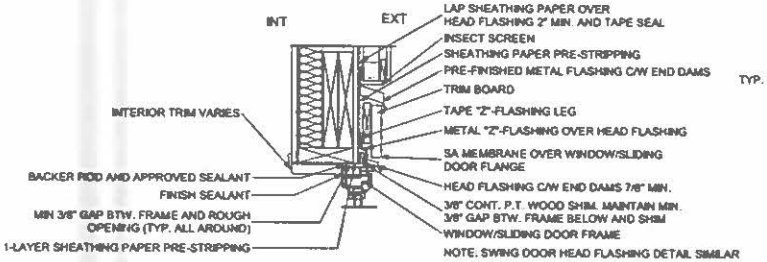
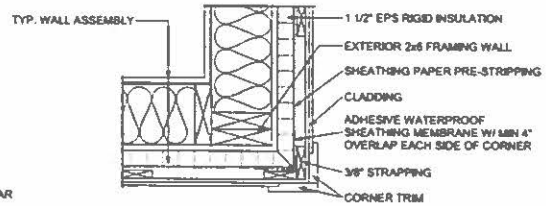
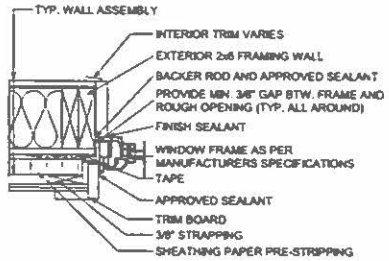


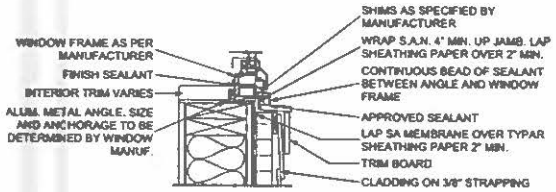
TYPICAL WINDOW AND SLIDING DOOR HEAD DETAIL



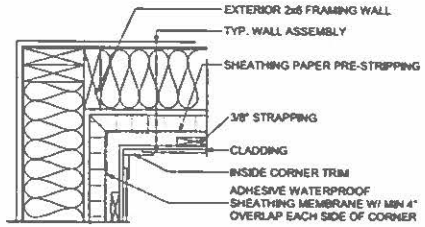
TYPICAL OUTSIDE CORNER FINISH DETAIL WITH TRIM



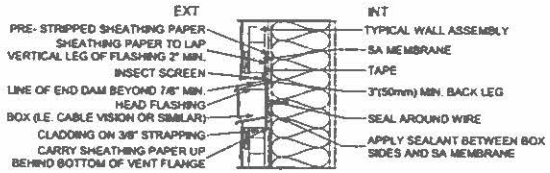
TYPICAL WINDOW AND SLIDING DOOR JAMB DETAIL



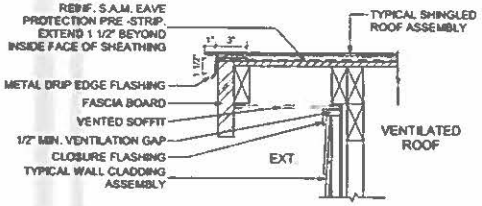
TYPICAL WINDOW SILL DETAIL WITH SIMPLE TRIM



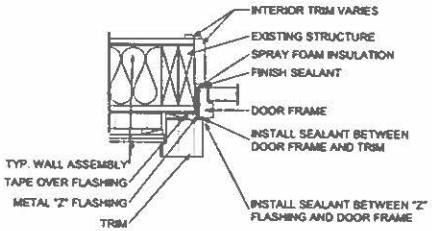
TYPICAL INSIDE CORNER FINISH DETAIL WITH TRIM



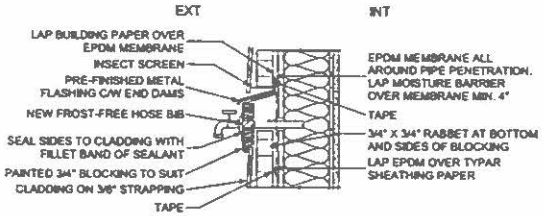
TYPICAL BOX PENETRATION (CABLE OR SIMILAR)



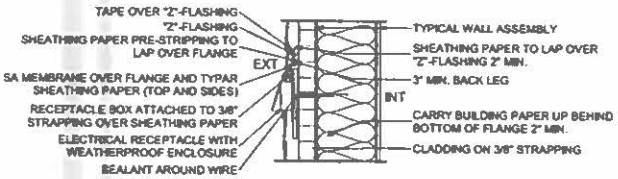
TYPICAL ROOF GABLE DETAIL



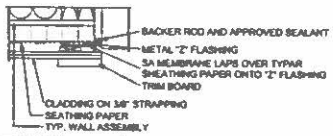
TYPICAL SWING DOOR JAMB DETAIL



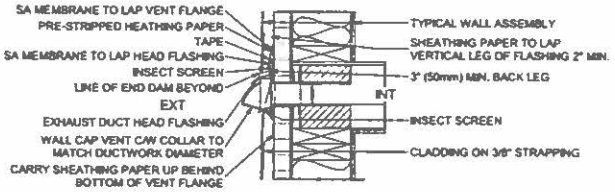
TYPICAL HOSE BIB WALL PENETRATION



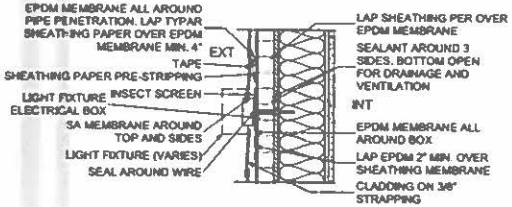
TYPICAL ELECTRICAL RECEPTICAL DETAIL



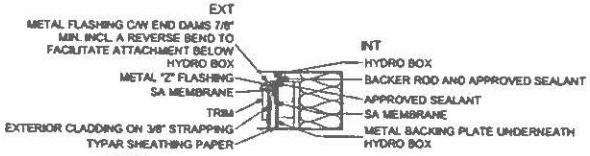
TYPICAL HYDRO BOX JAMB DETAIL



TYPICAL VENTING WALL PENETRATION

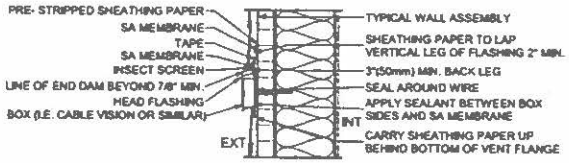


TYPICAL LIGHT FIXTURE DETAIL



NOTES:
1. SEE DETAIL FOR HYDRO BOX HEAD
2. DETAILING AROUND HYDRO BOX DOES NOT INCLUDE CONTINUITY OF THE EXTERIOR SHEDDING SURFACE, AS DIRECTED BY BC HYDRO. UTILITY COMPANY HAS MANDATED CHANGE TO DETAILINFG TO FACILITATE THEIR MAINTENANCE NEEDS

TYPICAL HYDRO BOX SILL DETAIL



TYPICAL BOX PENETRATION (CABLE OR SIMILAR)

PHASE ONE DESIGN

BUILDER: Ridgewater

No.	Date	Description	By
1	15-JUN-17	INITIAL CONCEPT	MC
2	11-JUL-17	PRESENTATION #2	JH
3	25-JUL-17	DEV PRESENTATION	JH
4	11-AUG-17	PRE-PERMIT CHANGES	JH
5	7-SEPT-17	CONSULTANT CHANGES	JH
6	20-OCT-17	BUILDING PERMIT	JH
7	09-JAN-18	BUILDING PERMIT REV.	JH
8	16-JAN-18	BUILDING PERMIT REV.	JH
9	22-JAN-18	BUILDING PERMIT REV.	JH

MAIN FLOOR	1346 sq ft
UPPER FLOOR:	–
LOFT FLOOR :	–
TOTAL AREA	1346 sq ft
GARAGE :	–
BSMT DEV. :	870 sq ft

COPYRIGHT:

DISCLAIMER:

CLIENT:

DENBIGH PROJECT

6555 DENBIGH AVENUE
BURNABY, BC
L.1; D. L.94; G.1, D.P. 11070
NEW WESTMINSTER

STATUS: ISSED FOR CONSTRUCTION

DRAWING NAME: DETAILS

DRAWN BY: P.O.D. | CHECKED BY: P.O.D.

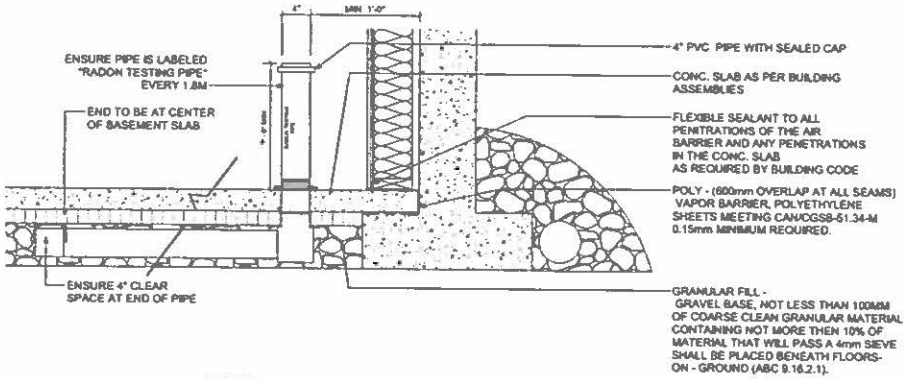
SCALE: 1 1/2" = 1'-0"

PRINTED ON 18x24 PAPER

SHEET #: **D1.0**

PRINTED: 1/22/2018 - 1:33:00 PM

4.(d)



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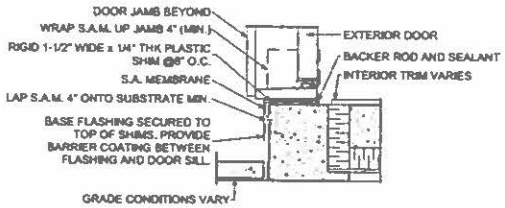

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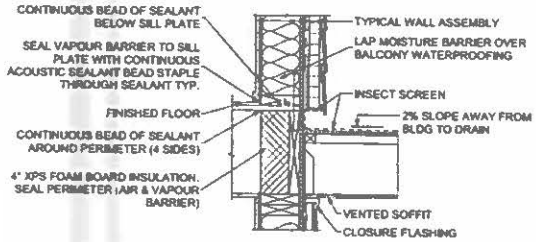
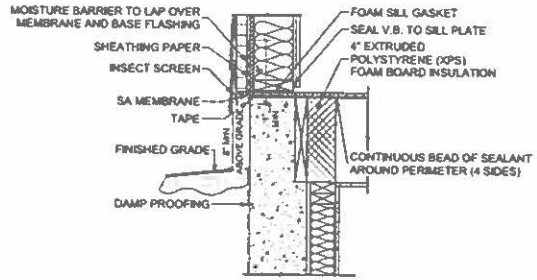
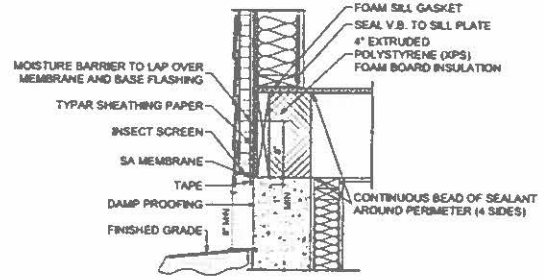


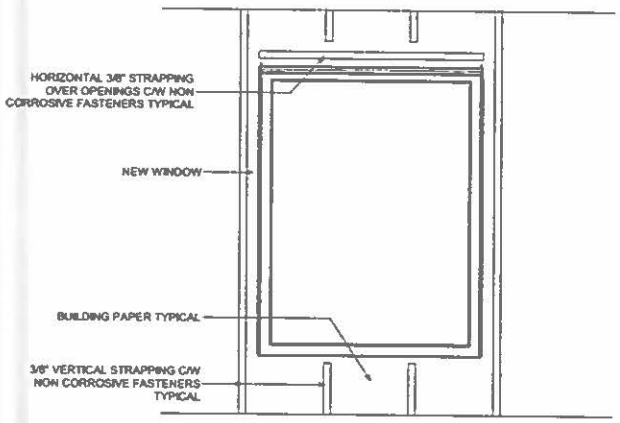
TYPICAL WALL INTERSECTION AT BALCONY DETAIL



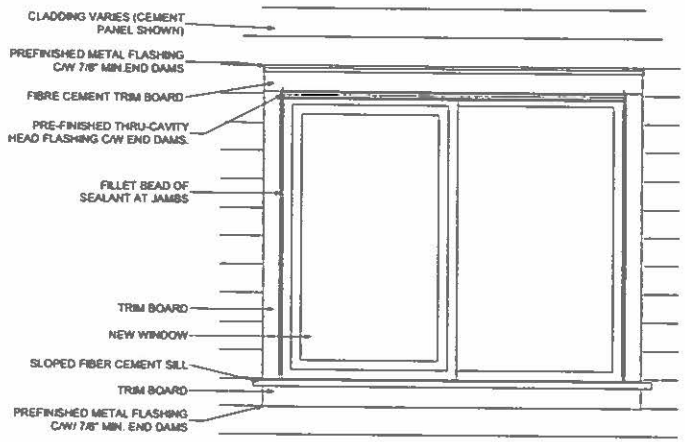
TYPICAL T.O. FOUNDATION WALL DETAIL W/ CONCRETE LEDGE



TYPICAL T.O. FOUNDATION WALL DETAIL



TYPICAL RAINSCREEN WINDOW ELEVATION DETAIL



TYPICAL WINDOW ELEVATION DETAIL

PHASE ONE DESIGN
plan. build. live

Phase One Design
Vancouver BC V6Z 2C2
P 604 970 7699
www.PhaseOneDesign.com

BUILDER:
Ridgewater
Custom Home Building Group

Ridgewater Homes Ltd
#211-4481 - 202A Street
Delta BC V4C 0E7
P 604 266 1488
www.ridgewater.ca

No.	Date	Description	By
1	15-July-17	Initial CONCEPT	MD
2	11-Jul.-17	PRESENTATION #2	JH
3	25-Jul.-17	DBO PRESENTATION	JH
4	31-Aug.-17	PRE-PERMIT DWGS	JH
5	7-SEPT.-17	CONSULTANT DWGS	JH
6	30-OCT.-17	BUILDING PERMIT	JH
7	26-Jan.-18	BUILDING PERMIT REV	JH
8	15-Jan.-18	BUILDING PERMIT REV	JH
9	22-Jan.-18	BUILDING PERMIT REV	JH

MAIN FLOOR	1346 sq.ft
UPPER FLOOR	-
LOFT FLOOR	-
TOTAL AREA	1346 sq.ft
GARAGE	-
BSMT DEV	870 sq.ft

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DISCLAIMER:
DRAWINGS ARE DRAWN TO SCALE AS INDICATED AND SCALING FROM DRAWINGS TO BE REPRODUCED COPY ANCHORS TO HOME + ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION WORK. ANY DISCREPANCIES ARE TO BE REPORTED TO PHASE ONE DESIGN AND PRIOR TO CONSTRUCTION.
WRITTEN DIMENSIONS / ALL PROCEDURES OVER SCALED DIMENSIONS

CLIENT:
DENBIGH PROJECT

6555 DENBIGH AVENUE
BURNABY, BC
L.1; D. L.94; G.1; D.P. 110370
NEW WESTMINSTER

STATUS:
ISSED FOR CONSTRUCTION

DRAWING NAME:
DETAILS

DRAWN BY: S.B. | CHECKED BY: P.O.D.

SCALE: As indicated
PRINTED ON 11x24 PAPER

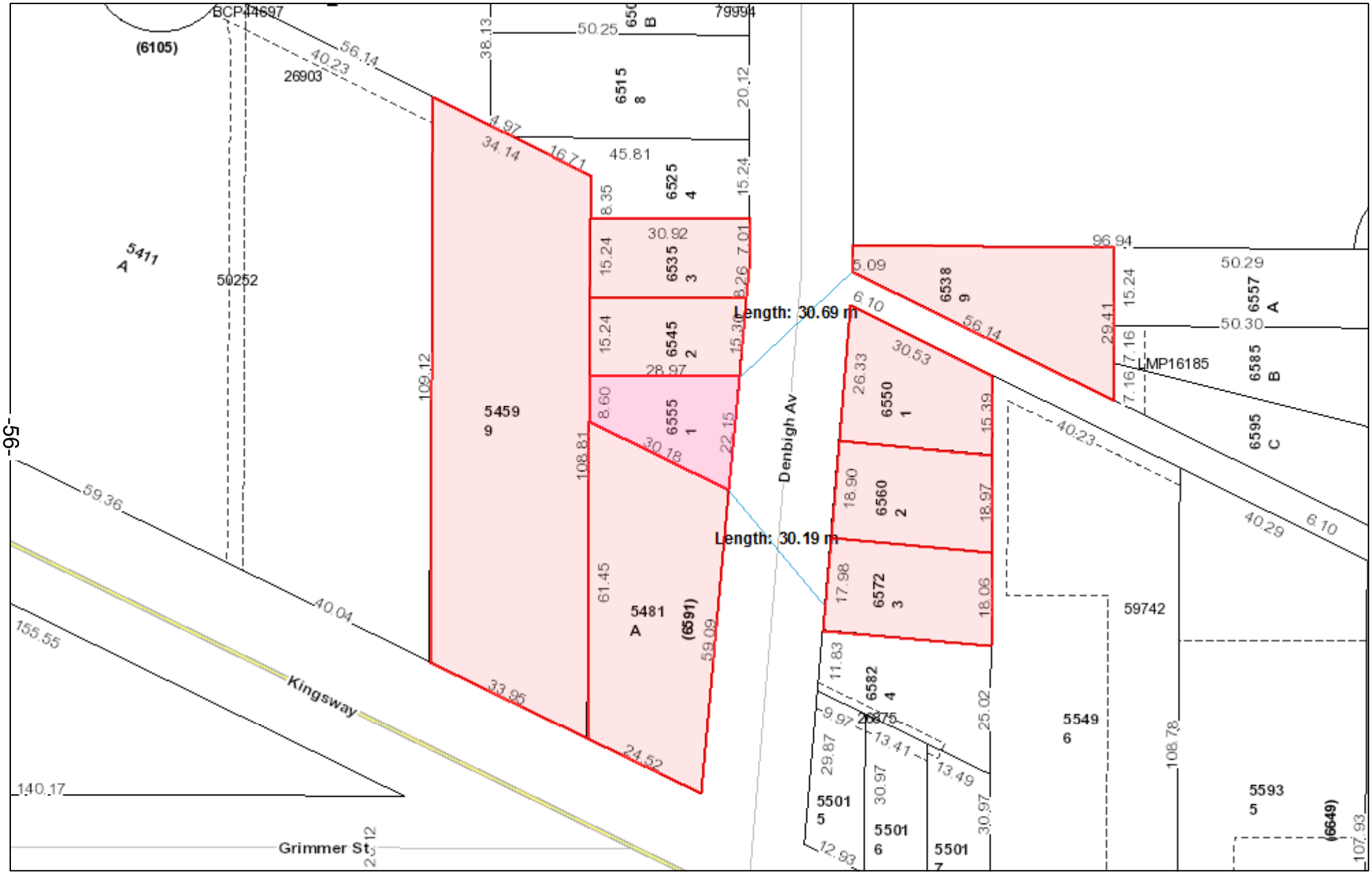
SHEET #
D1.1

PRINTED: 1/25/2018 1:03:01 PM

6555 Denbigh Ave

February 8, 2018

1:1,000



The information has been gathered and assembled on the City of Burnaby's computer systems. Data provided herein is derived from a a number of sources with varying levels of accuracy. The City of Burnaby disclaims all responsibility for the accuracy or completeness of information contained herein.

BOV 6323

City of Burnaby

2017 Board of Variance Notice of Appeal Form

OFFICE OF THE CITY CLERK

Burnaby City Hall, 4949 Canada Way, Burnaby BC, V5G 1M2, Phone: 604-294-7290 Email: clerks@burnaby.ca

Applicant

Name of Applicant: Parkat Lehal

Mailing Address: 5913 Earles Street

City/Town: Vancouver BC Postal Code: V5R 3S7

Phone Number(s) (H) _____ (C) 604-438-5871

Email: parkatlehal@hotmail.com

Property

Name of Owner: Parkat Lehal

Civic Address of Property: 3819 Marine Drive
Burnaby, B.C.

I hereby declare that the information submitted in support of this application is, to the best of my knowledge, true and correct in all aspects, and further that my plans have no conflict with municipal bylaws other than those applied for with in this application.

FEB. 5. 2018
Date

Applicant Signature

Office Use Only

Appeal Date 2018 March 01 Appeal Number BV# 6324

Required Documents:

- ☐ Fee Application Receipt
- ☐ Building Department Referral Letter
- ☐ Hardship Letter from Applicant
- ☐ Site Plan of Subject Property

Any documents submitted in support of this Board of Variance Appeal will be made available to the Public

Office of the city clerk,

4949 Canada way

Burnaby BC

V5G 1M2

604 294 7290

Re: Board of variance appeal for 3819 Marine Drive.

Dear Board of Variance,

It has been brought to our attention that in the process of planning 3819 Marine Drive that both front and rear accesses will be treated as roads and both yards will be considered front yards.

We are requesting a variance because complying with the zoning bylaw requirements causes an undue hardship for the following reasons:

1. The slope of the lot does not allow for an attached garage with the house. The slope of the driveway exceeds the permissible limit.
2. If we ask for slope of driveway relaxation it becomes a safety issue.
3. We do not get any parking other than the sought garage because of the terrain as an extremely sloping driveway will be dangerous during the winter months with potential for heavy snowfall, freezing rain and ice buildups.
4. It was our understanding that the property lines are offset to create the front yard and the side yards. The same formula should be applied for calculating the building depth.
5. We planned the building as per the normal planning processes to keep the building depth within the prescribed zoning stipulations and did not anticipate a different method of building depth calculation.

Thank you for taking the time to consider our application. Upon review, please do not hesitate to contact me with questions at 604 438 5871/ 604 441 1910.

Respectfully

Parkat Lehal

City of Burnaby

BOARD OF VARIANCE REFERRAL LETTER

DATE: February 2, 2018	*This is **not** an application. Please submit this letter to the Clerk's office (ground floor) when you make your Board of Variance application.*
DEADLINE: February 06, 2018 for the March 01, 2018 hearing.	
APPLICANT NAME: Parkat Lehal	
APPLICANT ADDRESS: 5913 Earles St., Vancouver, V5R 3S7	
TELEPHONE: 604-438-5871	

PROJECT			
DESCRIPTION: New single family dwelling with secondary suite and detached garage			
ADDRESS: 3819 Marine Drive			
LEGAL DESCRIPTION:	**LOT: 133**	**DL: 175**	**PLAN: 11579**

Building Permit application BLD17-10102 will be denied by the Building Department because the design is not in compliance with Burnaby Zoning Bylaw No. 4742:

Zone R2 / Sections 102.7(b), and 6.2(2)

COMMENTS:

The applicant proposes to build a new single family dwelling with a secondary suite and detached garage. The property is a through lot with two front yards. It faces Marine Drive and Maple Tree Lane. In order to allow the Building Permit to proceed, the applicant requests that the following variances be granted:

1) To vary Section 102.7(b) – "Depth of Principal Building" of the Zoning bylaw requirement for the maximum building depth from 60.00 feet to 74.50 feet.

2) To vary Section 6.2(2) – "Location and Siting of Buildings" of the Zoning Bylaw which, if permitted would allow for the construction of a new single family home with an accessory building in a required front yard, where no accessory building can be located in a required front yard. The proposed accessory building is 85.5 feet from the front (Marine Drive) property line and 8.0 feet from the north (Maple Tree Lane) property line.

Notes: *1. The applicant recognizes that should the project contain additional characteristics in contravention of the Zoning By-law, a future appeal(s) may be required.*
2. The applicability of these variances, if granted, are limited to the scope of the proposal shown on the attached plans.
3. All new principal building projections into the resulting required yards will conform to the requirements of Section 6.12.

MS

Peter Kushnir
Deputy Chief Building Inspector

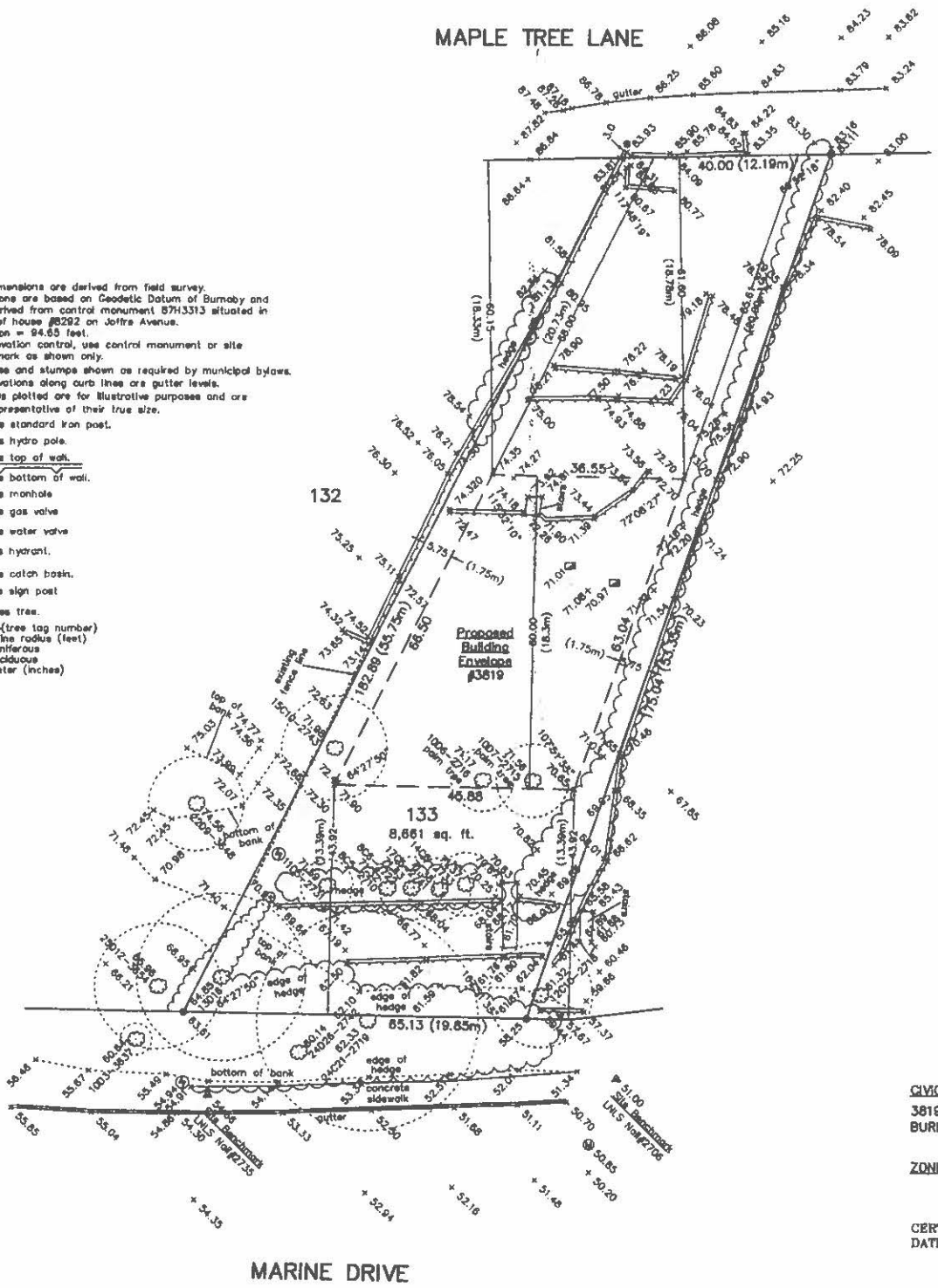
SURVEY PLAN OF LOT 133
DISTRICT LOT 175, GROUP 1
NEW WESTMINSTER DISTRICT, PLAN 11579

SCALE 1" = 16'

All distances are in feet.

Applicable Adjacent House	Depth of Front Yard
3807 Marine Drive	52.10 ft
3819 Marine Drive	43.40 ft
3831 Marine Drive	36.24 ft
Total	131.74 ft
Average	43.91 ft

RECEIVED
OCT 31 2017
BUILDING DEPARTMENT



NOTES:

- Lot dimensions are derived from field survey.
- Elevations are based on Geodetic Datum of Burnaby and are derived from control monument 87H3313 situated in front of house #8292 on Joffre Avenue. Elevation = 94.65 feet.
- For elevation control, use control monument or site benchmark as shown only.
- All trees and stumps shown as required by municipal bylaws.
- All elevations along curb lines are gutter levels.
- Symbols plotted are for illustrative purposes and are not representative of their true size.

● denotes standard iron post.
denotes hydro pole.
tw denotes top of wall.
tw denotes bottom of wall.
denotes manhole
GV denotes gas valve
WV denotes water valve
denotes hydrant.
denotes catch basin.
denotes sign post
denotes tree.
8C10-1234(tree tag number)
drip line radius (feet)
C=coniferous
D=deciduous
diameter (inches)

CIVIC ADDRESS
3819 MARINE DRIVE
BURNABY, B.C.

ZONING: R2

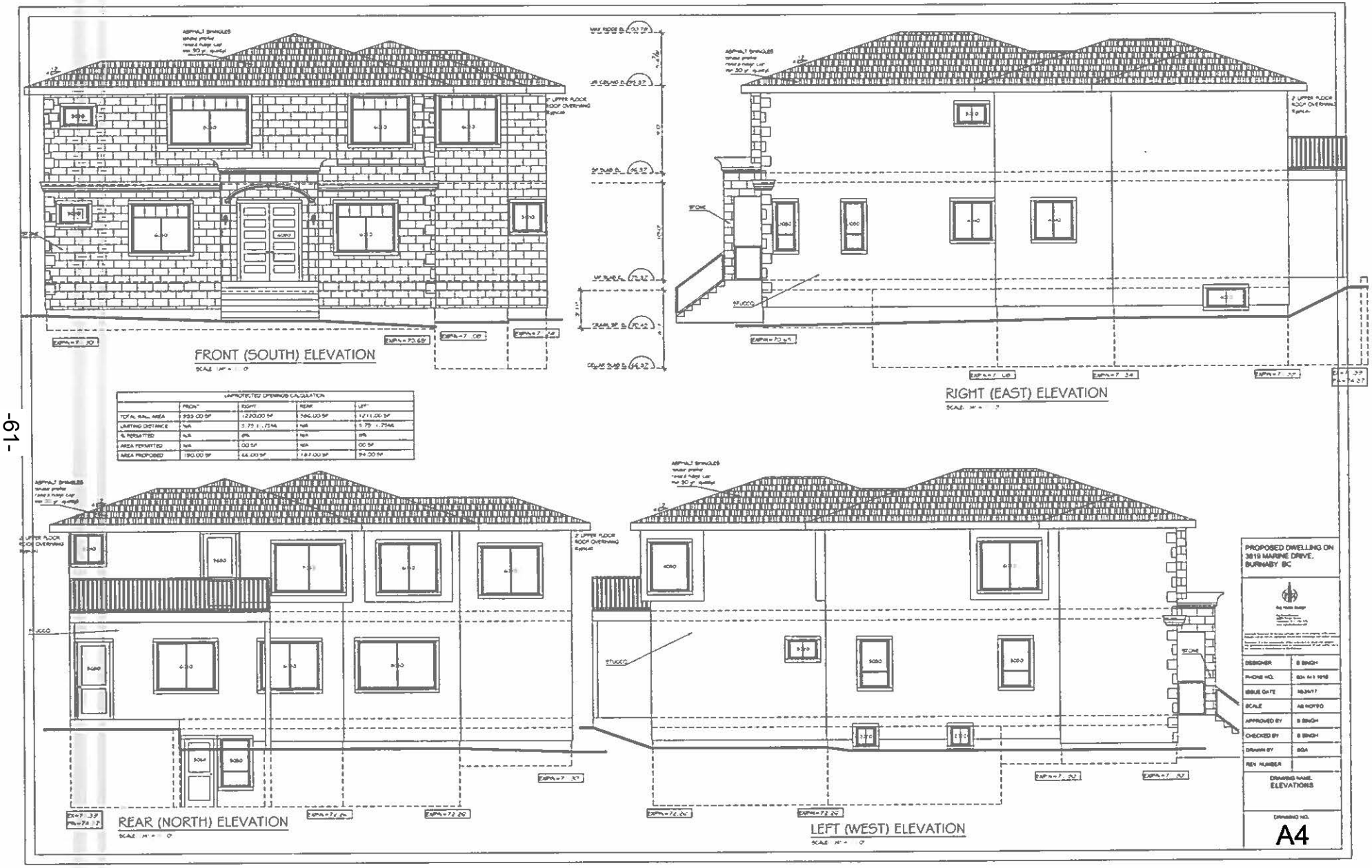
CERTIFIED CORRECT
DATED THIS 17TH DAY OF JULY, 2017

LOUIS NGAN B.C.L.S.

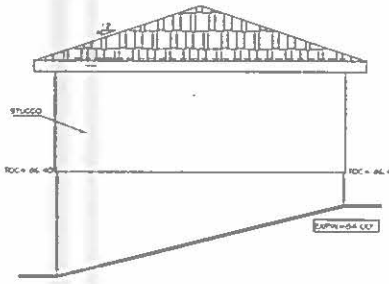
LNLS METRO VANCOUVER LAND SURVEYORS
4932 VICTORIA DRIVE, VANCOUVER, BC, V5P 3T6
T 604.327.1535 WEB WWW.LNLS.CA

PID: 003-013-758
FILE: 17963_03TP

© LOUIS NGAN LAND SURVEYING INC., 2017

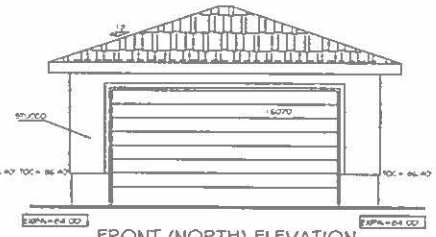

FRONT (SOUTH) ELEVATION
RIGHT (EAST) ELEVATION
REAR (NORTH) ELEVATION
LEFT (WEST) ELEVATION
ASPHALT SHINGLES
2 UPPER FLOOR ROOF OVERHANG
STUCCO
STONE
UNPROTECTED OPENINGS CALCULATION
FRONT
RIGHT
REAR
LEFT
TOTAL WALL AREA
LIMITING DISTANCE
% PERMITTED
AREA PERMITTED
AREA PROPOSED
PROPOSED DWELLING ON
3619 MARINE DRIVE,
BURNABY BC
DESIGNER
PHONE NO.
ISSUE DATE
SCALE
APPROVED BY
CHECKED BY
DRAWN BY
REV NUMBER
DRAWING NAME
ELEVATIONS
DRAWING NO.
A4

4.(e)



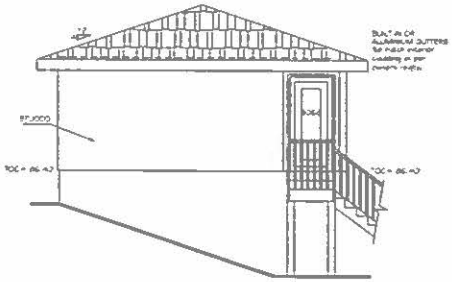
LEFT (EAST) ELEVATION

SCALE: 1/4" = 1'-0"



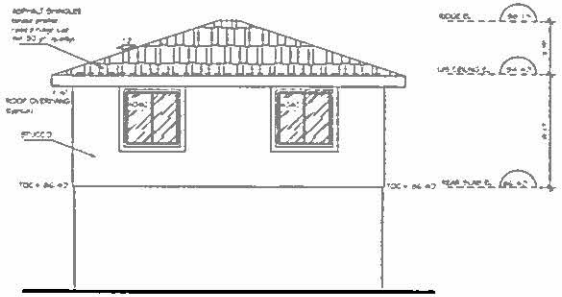
FRONT (NORTH) ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT (WEST) ELEVATION

SCALE: 1/4" = 1'-0"



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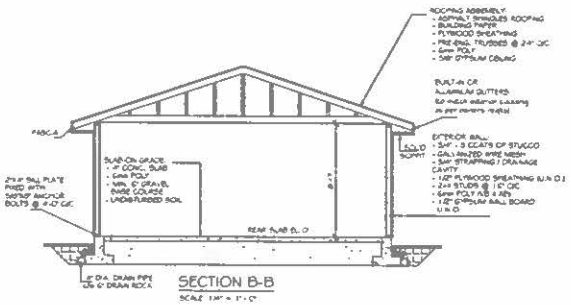
SCALE: 1/4" = 1'-0"



SECTION B-B

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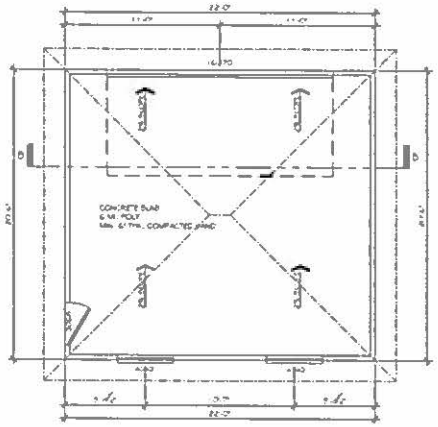


2 CAR GARAGE PLAN

SCALE: 1/4" = 1'-0" AREA: 471.00 SF

PROPOSED DWELLING ON
3819 MARINE DRIVE,
BURNABY, BC

DESIGNER	B SINGH
PHONE NO.	604 441 7919
ISSUE DATE	10/24/17
SCALE	AS NOTED
APPROVED BY	B SINGH
CHECKED BY	B SINGH
DRAWN BY	BGA
REV. NUMBER	

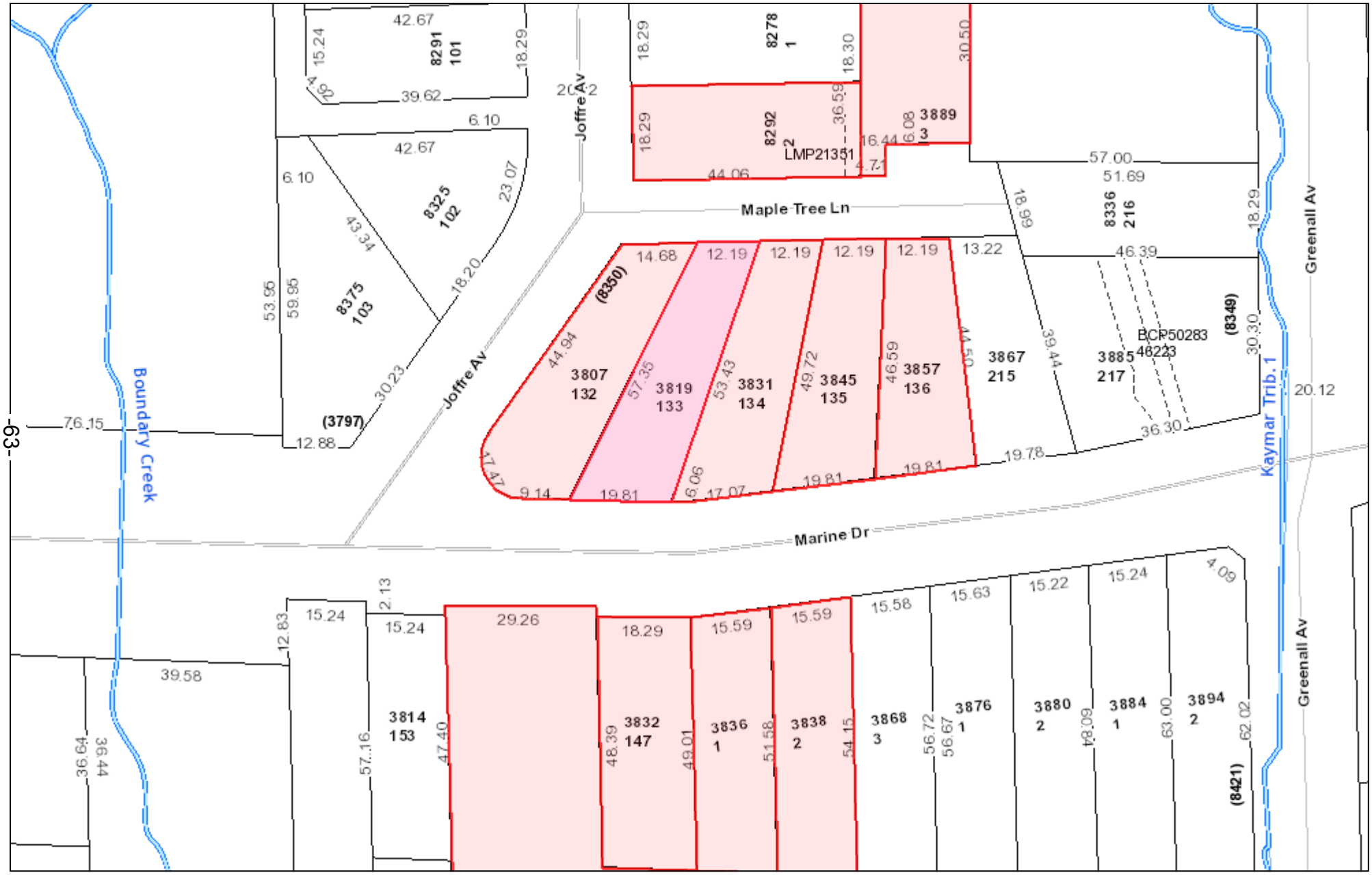
DRAWING NAME:
GARAGE

DRAWING NO.
A5

3819 Marine Dr

February 8, 2018

1:1,000



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BOV 6324

4.(e)

City of Burnaby

2017 Board of Variance Notice of Appeal Form

OFFICE OF THE CITY CLERK

Burnaby City Hall, 4949 Canada Way, Burnaby BC, V5G 1M2, Phone: 604-294-7290 Email: clerks@burnaby.ca

Applicant

Name of Applicant: KHIM CHAN

Mailing Address: 919 DELESTRE AV, COQ V3K2G7

City/Town: _____ Postal Code: _____

Phone Number(s): (H) 604-253 0411 (C) _____

Email: khimchan@shaw.ca

Property

Name of Owner: TONY YIU

Civic Address of Property: 398 HYTHE AVE BBY

I hereby declare that the information submitted in support of this application is, to the best of my knowledge, true and correct in all aspects, and further that my plans have no conflict with municipal bylaws other than those applied for with in this application.

Date: FEB 6, 18

Applicant Signature: [signature]

Office Use Only

Appeal Date: 2018 March 01 Appeal Number BV#: 6325

Required Documents:

- ☐ Fee Application Receipt
- ☐ Building Department Referral Letter
- ☐ Hardship Letter from Applicant
- ☐ Site Plan of Subject Property

Any documents submitted in support of this Board of Variance Appeal will be made available to the Public

Burnaby City Hall

Board of Variances

February 5, 2018

RE: 398 HYTHE AVENUE

TO WHOM IT MAY CONCERN

I am the owner of the above said property., the wall was originally located on a steep surface and it collapsed (see annex I) in May 2017. There was no new construction or repairs on the walls at the time when the wall collapsed. I got the structural and geo technical engineer to examine the collapse and to repair the wall. Brian Carter, the Manager of the Public Works Operation on October 26, 2017 came to the site because we were concerned about the safety of the public. Crystal Andrews too came to the site on October 31, 2017 and we got the encroachment agreement done. I wanted to do all the necessary steps to make sure everything is safe for the public and for my family.

I wanted to "repair" the wall as close as what it is before but my engineer recommended that the existing wall has to be removed and to replace with a new retaining wall. Due to the nature of the slope surface and heavy vegetation growth , we need to clear up the vegetation(annex II) and put the lock block on clear solid ground and that makes the wall to exceed the 4 feet. The engineer has confirmed that the one tier wall is safe for the public. And, this will deter people from climbing on the wall into the property and it is safer for me to drive in and out of the garage.

Appreciate your understanding.

Yours truly,

Tony Yiu

Photo 1: Front (West) View of the Retaining Wall

Photo 2: Various Types of Components Used

Annex. I

Photo 3: Heavy Vegetation Growth Covering the Base of the Wall

Photo 4: Close-up View of the Wall Collapse

Annex H

City of Burnaby

BOARD OF VARIANCE REFERRAL LETTER

DATE: February 2, 2018	*This is **not** an application. Please submit this letter to the Clerk's office (ground floor) when you make your Board of Variance application.*
DEADLINE: February 6, 2018 for the March 1, 2018 hearing.	
APPLICANT NAME: Khim Chan	
APPLICANT ADDRESS: 919 Delestre Ave, Coquitlam , BC. V3K2G7	
TELEPHONE: 604-253-0411	

PROJECT			
DESCRIPTION: Repair and replace over height retaining wall to an existing single family dwelling			
ADDRESS: 398 North Hythe Ave			
LEGAL DESCRIPTION:	**LOT: 84**	**DL: 189**	**PLAN: NWP 27933**

Building Permit application BLD17-10290 will be denied by the Building Department because the design is not in compliance with Burnaby Zoning Bylaw No. 4742:

Zone R2 / Sections 6.14.(5)(a)

COMMENTS:

The applicant proposes to build a retaining wall to existing single family dwelling. In order to allow the Building Permit application to proceed, the applicant requests that the following variances be granted:

1) To vary Section 6.14.(5)(a) – "Fences" of the Zoning Bylaw requirement to allow the construction of a retaining wall up to 10.3 feet high in the front yard, where no fence or other structure or structures no greater than 3.51ft in height may be located anywhere on a lot.

Notes: *1. The applicant recognizes that should the project contain additional characteristics in contravention of the Zoning By-law, a future appeal(s) may be required.*
2. The applicability of this variance, if granted, is limited to the scope of the proposal shown on the attached plans.
3. All new principal building projections into the resulting required yards will conform to the requirements of Section 6.12.
4. Fences and retaining walls will conform to the requirements of Section 6.14.

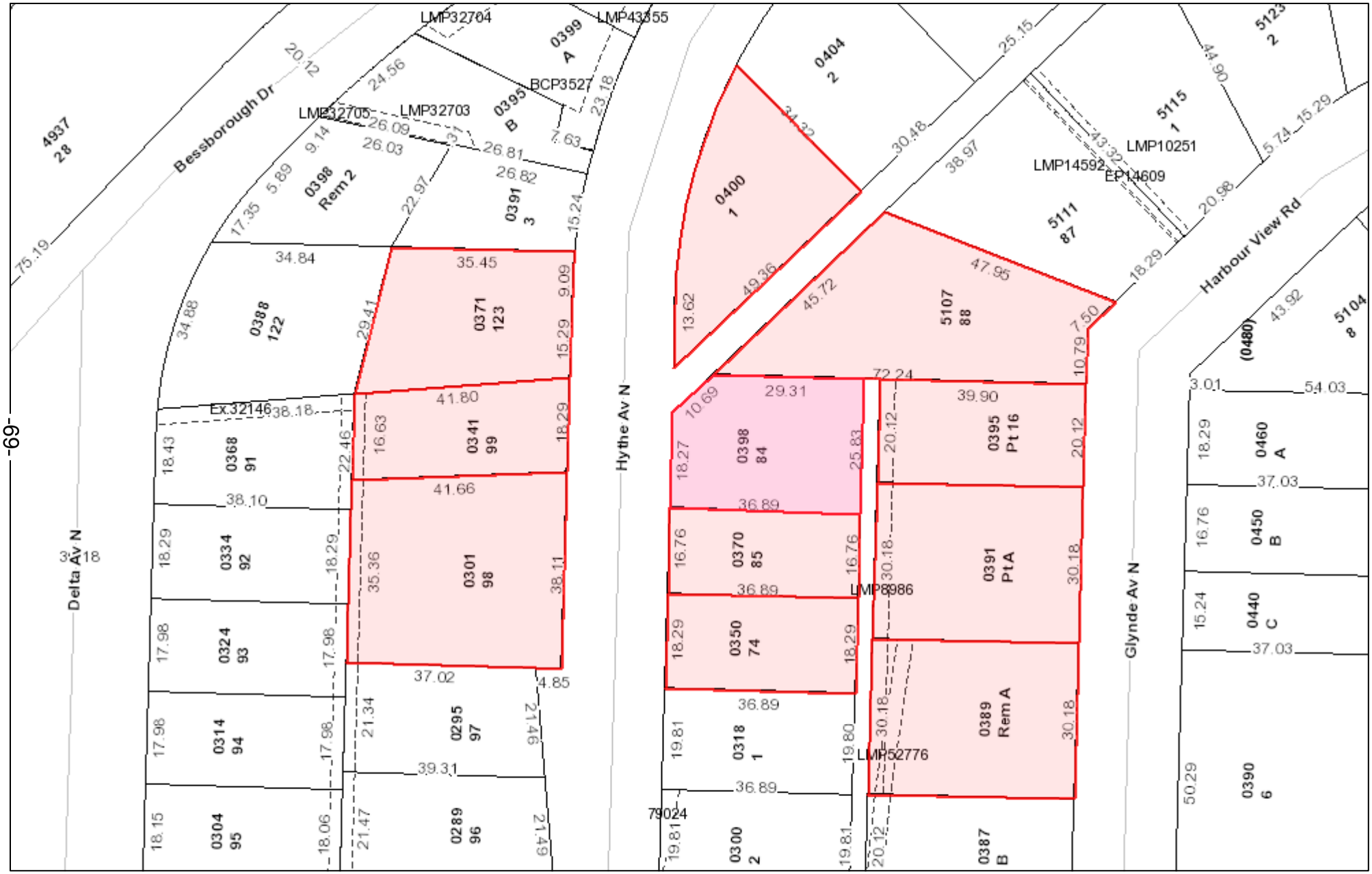
AB

Peter Kushnir
Deputy Chief Building Inspector

398 Hythe Ave N

February 8, 2018

1:1,000



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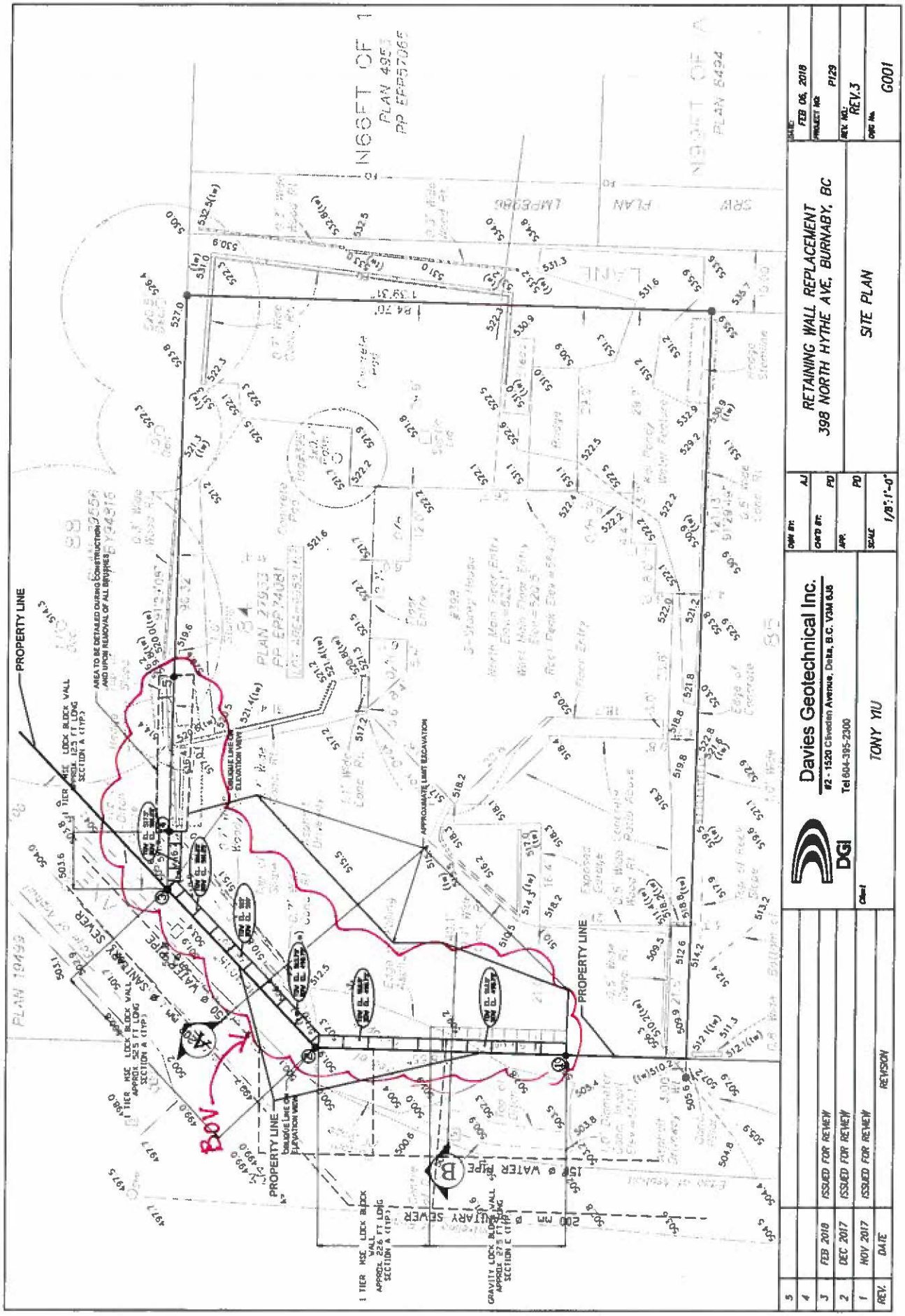
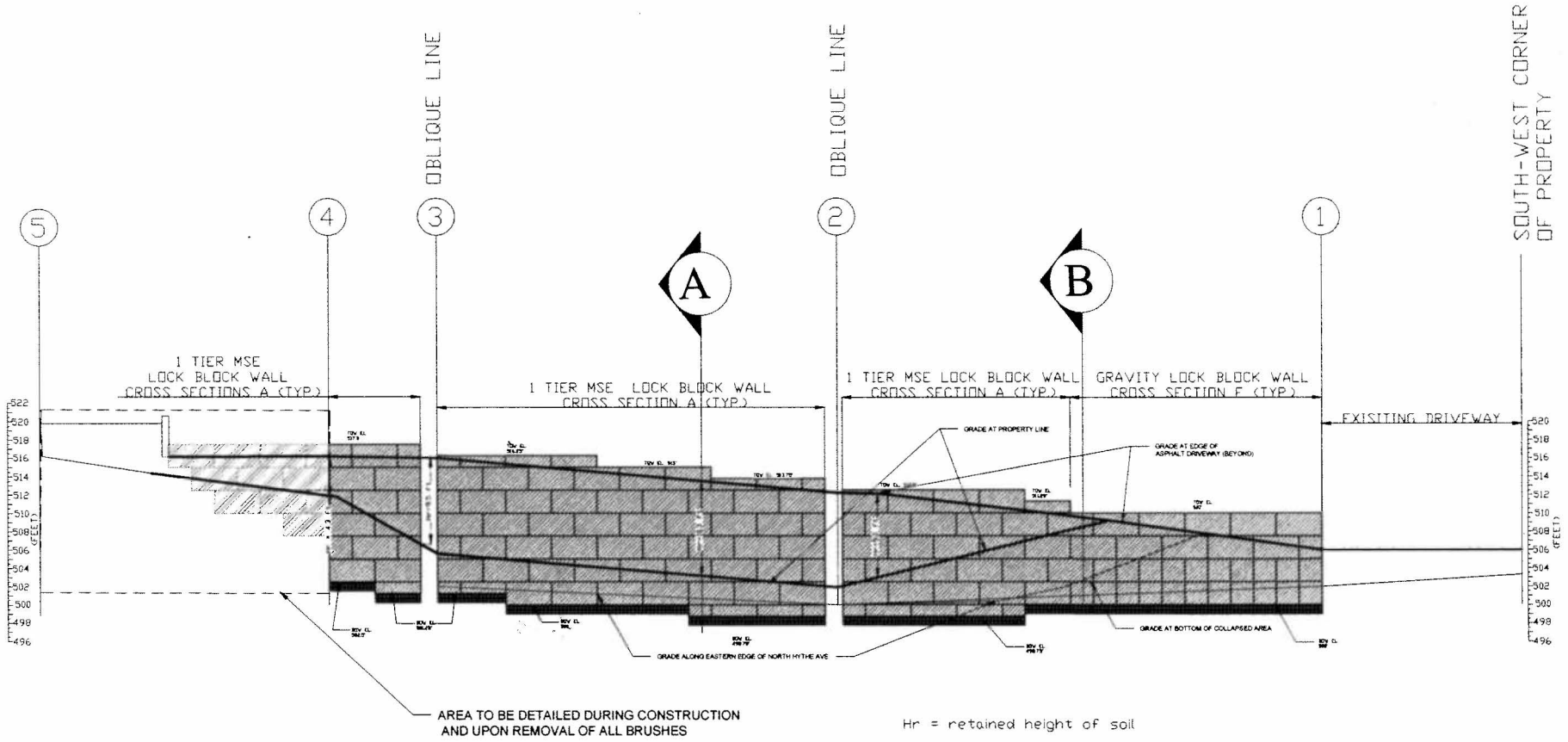
BOV 6325

4.(f)


PROPERTY LINE
AREA TO BE DETAILED DURING CONSTRUCTION AND UPON REMOVAL OF ALL BRUSHES
1 TIER MSE LOCK BLOCK WALL APPROX. 125 FT LONG SECTION A (TYP.)
1 TIER MSE LOCK BLOCK WALL APPROX. 325 FT LONG SECTION A (TYP.)
1 TIER MSE LOCK BLOCK WALL APPROX. 226 FT LONG SECTION A (TYP.)
GRAVITY LOCK BLOCK WALL APPROX. 275 FT LONG SECTION C (TYP.)
APPROXIMATE LIMIT EXCAVATION
150 ø WATER PIPE
200 ø SANITARY SEWER
PROPERTY LINE
Davies Geotechnical Inc.
#2 - 1520 Cliveden Avenue, Delta, B.C. V3M 6J8
Tel 604-395-2300
DGI
TONY YIU
RETAINING WALL REPLACEMENT
398 NORTH HYTHE AVE, BURNABY, BC
SITE PLAN
FEB 06, 2018
P129
REV.3
G001
1/8":1'-0"
REV. DATE REVISION
1 NOV 2017 ISSUED FOR REVIEW
2 DEC 2017 ISSUED FOR REVIEW
3 FEB 2018 ISSUED FOR REVIEW
4
5



REV.	DATE	REVISION
5		
4		
3	FEB 2018	ISSUED FOR REVIEW
2	DEC 2017	ISSUED FOR REVIEW
1	NOV 2017	ISSUED FOR REVIEW

DGI

Davies Geotechnical Inc.
#2 - 1520 Cliveden Avenue, Delta, B.C. V3M 6J8
Tel 604-395-2300

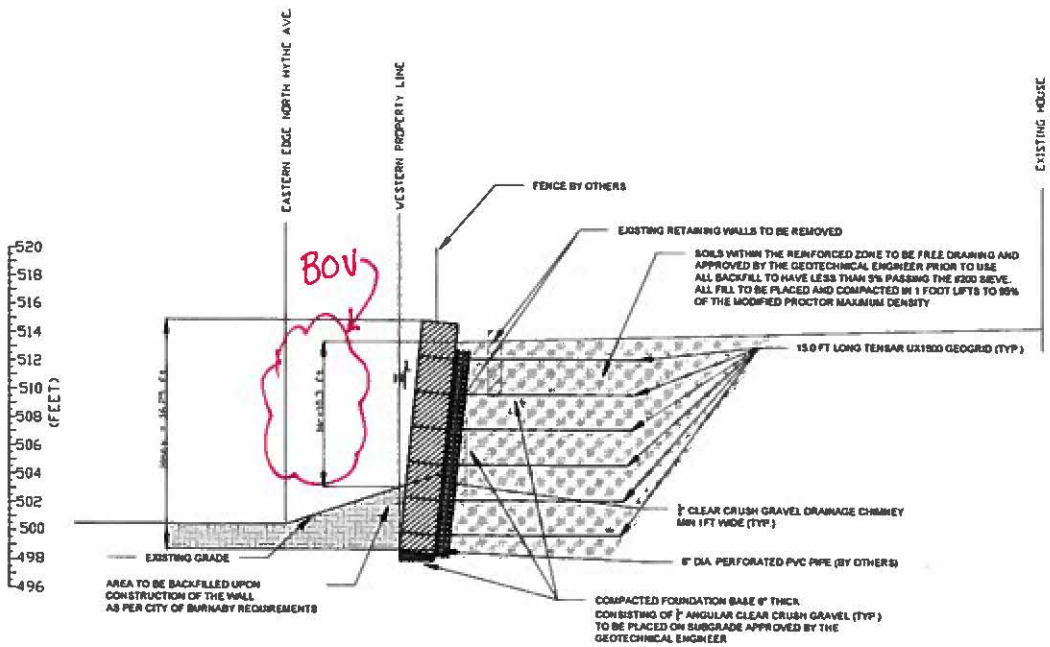
Client: TONY YIU

DWN BY: AJ
CHK'D BY: PD
APP. PD
SCALE 3/16":1'-0"

RETAINING WALL REPLACEMENT
398 NORTH HYTHE AVE, BURNABY, BC

ELEVATION VIEW

DATE: FEB 6, 2018
PROJECT NO: P129
REV. NO.: REV.3
DWG No. G002



Hr = retained height of soil

ASSUMPTIONS:
- BACKFILL IS FREE DRAINING THEREFORE NO HYDROSTATIC BUILD UP
- REDUCTION FACTORS FOR UX1500 GEOGRID ASSUME GEOGRID BACKFILL CONTAINS GRAVELLY SANDY SOILS
- ASSUME FILL AND NATIVE SOILS UNIT WEIGT OF 120 pcf
SOIL FRICTION ANGLE OF 34 DEGREES AND ZERO COHESION
- ASSUME SURCAHRGE OF 250 psf ON TOP OF THE WALL
- ASSUME kh = 0.5 PGA FOR SEISMIC DESIGN

REV.	DATE	REVISION
5		
4		
3	FEB 2018	ISSUED FOR REVIEW
2	DEC 2017	ISSUED FOR REVIEW
1	NOV 2017	ISSUED FOR REVIEW

DGI

Davies Geotechnical Inc.
#2 - 1520 Cliveden Avenue, Delta, B.C. V3M 6J8
Tel 604-395-2300

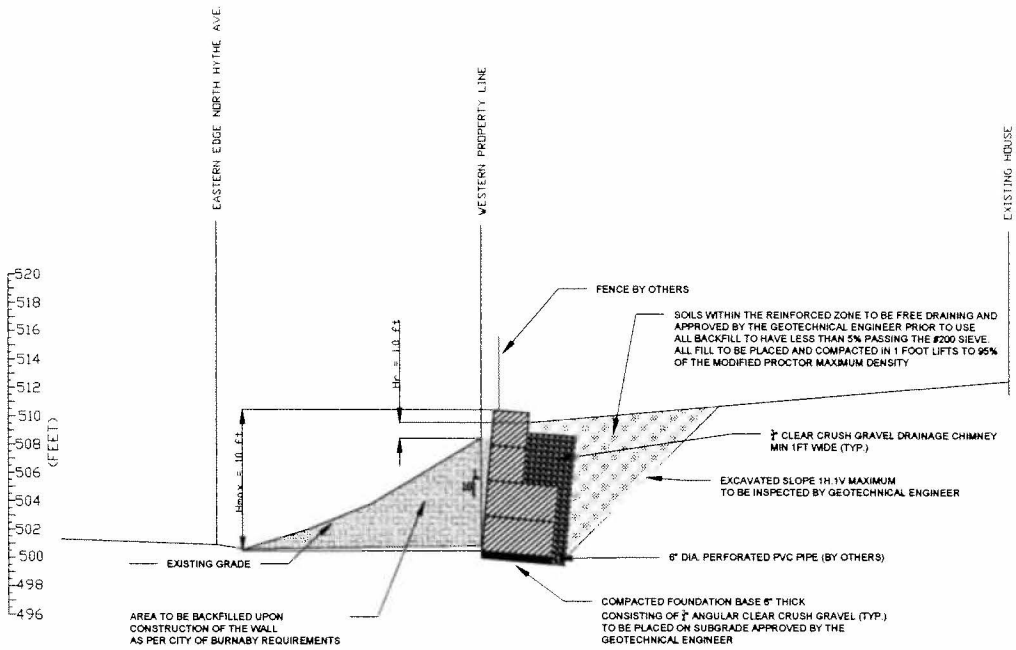
Client: TONY YIU

DWN BY: AJ
CHK'D BY: PD
APP: PD
SCALE: 1/4":1'-0"

RETAINING WALL REPLACEMENT
398 NORTH HYTHE AVE, BURNABY, BC

1 TIER MSE LOCK BLOCK WALL
CROSS SECTION A

DATE: FEB 06, 2018
PROJECT No: P129
REV. No: REV.3
DWG No: G003



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Client: TONY YIU

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APP: PD
SCALE: 1/4":1'-0"

RETAINING WALL REPLACEMENT
398 NORTH HYTHE AVE, BURNABY, BC

GRAVITY LOCK BLOCK WALL
CROSS SECTION B

DATE: FEB 06, 2018
PROJECT NO: P129
REV. NO.: REV.3
DWG No. G004

GENERAL NOTES:

Section 1: Description of the Work

The work will involve the replacement of the timber and partially collapsed concrete retaining wall located along the property line on the west side of the lot and as indicated on the topographic plan (FILE: N3434-TOPO-FT-R1) prepared by TARGET LANF SURVEYING and dated August 15, 2017. The proposed solution consist in a combination of gravity and three tiered MSE (Mechanically Stabilized Earth) lock block walls. The contractor bidding on the project must have extensive experience in the construction of MSE walls.

Section 2: Materials

The contractor shall make arrangements to purchase or manufacture the facing elements, reinforcement, attachments devices and all other necessary components.

Materials not conforming to this section of the specifications or from sources not listed in the contract documents shall not be used without written consent from the engineer.

Facing Units

This specification covers hollow and solid concrete structural retaining wall unit, machine made from Portland Cement, water and suitable mineral aggregates with or without the inclusion of other materials. The unit are intended for use in the construction of mortarless modular block (MBW) retaining walls.

Referenced ASTM Documents

C33 Specifications for Concrete Aggregates
C140 Methods of sampling and testing concrete masonry units.
C150 Specifications for Portland cement
C331 Specifications for lightweight aggregates for concrete masonry units
C595Mspecification for Blended Hydraulic Cements
C618 Specification for fly ash and raw of calcined natural pozzolan for use as a mineral admixture in Portland cement concrete.
C989 Specification for ground granulated blast furnace slag cement
C1262 Test method for evaluating the freeze thaw durability of manufactured concrete masonry units and related concrete products.

Materials

1.0 Cementitious materials - Materials shall conform to the following applicable specifications:
1.1 Portland Cement - Specification 150
1.2 Modified Portland Cement - Portland cement conforming to Specification C150, modified as follows:

1.2.1 Limestone - calcium carbonate, with a minimum 85% ($CaCO_3$) content, may be added to the cement, provided the requirements of Specification C150 as modified are met:

1) Limitation of insoluble residue - 1.5%
2) Limitation on air content of mortar - Volume percent, 22% max.
3) Limitation on Loss of ignition - 7%

1.3 Blended cements - Specification C595 or C1157C.

1.4 Pozzolans - Specification C618

1.5 Blast furnace slag - Specification C989

Note: Sulphate resistant cement should be used in the manufacture of units to be used in areas where the soil has high sulphate content such as arid regions of the western United States

2.0 Aggregates

Aggregates shall conform to the following specifications, except that grading requirements shall not necessarily apply.

2.1 Normal weight aggregates - Specification C33

2.2 Lightweight aggregates - Specification C331

2.3 Aggregated soundness

Aggregate soundness shall be determined in accordance with AASHTO T103 and/or T104. Acceptance shall be based on the agency requirements for hydraulic cement concrete.

3.0 Other constituents

Air entraining agents, coloring pigments, integral water repellants, finely ground silica, and other constituents shall be previously established as suitable for use in concrete MBW units shall conform to applicable ASTM Standards or, shall be shown by test or experience to be not detrimental to the durability of the MBW units or any materials customarily used in masonry construction.

Physical Requirements

1.0 At the time of delivery to the work site the units shall conform to the following physical requirements.

Minimum required compressive strength = 28 MPa (average 3 coupons)
Minimum required compressive strength = 24.5 MPa (individual coupons)
Minimum water absorption = 5%
Maximum number of blocks per lot = 2,000

2.0 Freeze- Thaw Durability

In areas where repeated freezing and thawing under saturated conditions occur the units shall be tested to demonstrate freeze-thaw durability in accordance with Test Method ASTM C1262. Freeze- thaw durability shall be based on tests from five specimens made with the same material, concrete mix design, manufacturing process, and curing method, conducted not more than 24 months prior to delivery.

2.1 Acceptance Criteria: Specimens shall comply with either of the following:

The weight loss of four out of five specimens at the conclusion of 150 cycles shall not exceed 1% of its initial mass when tested in water.

The weight loss of each of four of the five test specimens at the conclusion of 50 cycles shall not exceed 1.5% of its initial mass in a 3% saline solubon. The agency may require that either or both acceptance criteria be met depending on the severity of the project location.

3.0 Tolerances. Blocks shall be manufactured within the following tolerances:

3.1 The length and width of each individual block shall be within + 3.2mm of the specified dimension. Hollow units shall have a minimum wall thickness of 32mm.

3.2 The height of each individual block shall be within + 1.6mm of the specified dimension

3.3 When a broken face finish is required, the dimension of the front face shall be within + 25mm of the theoretical dimension of the unit.

3.4 Finish and appearance.

All units shall be sound and free from cracks or other defects that would interfere with the proper spacing of the unit or significantly impair the strength or permanence of construction. Minor cracks (e.g. no greater than 0.5mm width and no longer than 25% of the unit height) incidental to the usual method of manufacture or minor chipping resulting from shipment may contain slight cracks or small chips not larger than 25mm.

The face or faces of units that are to be exposed shall be free of chips, cracks or other imperfections when viewed from a distance of 10m under diffused lighting. Up to five percent of a shipment may contain slight cracks or small chips not larger than 25mm.

Color and finish shall be as shown on the plans and shall be erected with a similar bond configuration.

3.5 If pins are required to align MBW units, they shall consist of a nondegrading polymer or galvanized steel and be made for the express use of the MBW units supplied.

3.6 Cap units shall be cast to or attached to the top MBW units in strict accordance with the manufacturer's requirements and the adhesive manufacturers recommended procedures. Contractor shall provide a written 10 year warranty acceptable to the Owner that the integrity of the materials used to attach the cap blocks will preclude separation and displacement of the cap blocks for the warranty period.

4.0 Sampling and Testing

Acceptance of the concrete block with respect to compressive strength will be determined on a lot basis. The lot will be randomly sampled in accordance with ASTM C140. Compressive strength tests shall be performed by the manufacturer and submitted to the owner. Compressive strength test specimens shall be cored or shall conform to the saw cut coupon provisions of Section 5.2.4 of ASTM C140. Blocks represented by test coupons that do not reach an average compressive strength of 28MPa will be rejected.

4.1 Rejection

Blocks shall be rejected because of failure to meet any of the requirements specified above. In addition, any or all of the following defects shall be sufficient cause for rejection.

- defects that indicate imperfect molding
- defects indicating honeycomb or open texture concrete
- cracked or severely chipped blocks
- color variation on front face of block die to excess form oil or other reasons

Unit Fill (if required)

The unit fill and drainage aggregate shall be a well graded crushed stone or granular fill meeting the following gradation:

U.S. Sieve Size	Percent Passing
25mm	100-75
19mm	50-75
No.4	0-60
No. 40	0-50
No. 200	0-5

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Client: TONY YIU

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SCALE NTS

RETAINING WALL REPLACEMENT
398 NORTH HYTHE AVE, BURNABY, BC

NOTES 1/2

DATE: FEB 06, 2018
PROJECT NO: P129
REV. NO.: REV.3
DWG No. G005

GUIDE SPECIFICATION FOR GEOSYNTHETIC REINFORCEMENT MATERIALS

Where geosynthetic reinforcements are used for the construction of MSE walls with modular block facings (MBW) or segmental precast concrete units, the primary specification under Materials, Soil Reinforcement and Attachment Devices shall be as follows:

1.0 Geotextiles and Thread for Sewing

Woven or non woven geotextiles shall consist only of long chain polymeric filaments or yarns formed into a stable network such that the filament or yarns retain their position relative to each other during handling, placement, and design service life. At least 95 percent by weight of the long chain polymer shall conform as a minimum to the properties indicated for Class 1 under AASHTO M288, Geotextile Specification for Highway Applications

2.0 Geogrids

The geogrid shall be a regular network of integrally connected polymer tensile elements with aperture geometry sufficient to permit significant mechanical interlock with the surrounding soil or rock. The geogrid structure shall be dimensionally stable and able to retain it's geometry under manufacture, transport, and installation.

3.0 Required Properties

Geogrid should conform to the specification shown on the sections and plans prepared by Davies Geotechnical Inc. No substitutions shall be allowed unless otherwise indicated in writing by Davies Geotechnical Inc. prior to their usage.

4.0 Certification

The contractor shall submit a manufacturer's certification for each type of geogrid employed on the project.

The manufacturer's certificate shall state that the furnished geosynthetic meets the requirements of the specifications as evaluated by the manufacturer's quality control program. The certificates shall be attested to by a person having legal authority to bond the manufacturer. In case of dispute over the validity of values, the engineer shall require the contractor to supply test data from and agency approved laboratory to support the certificate values submitted, at the contractor's cost.

5.0 Manufacturing Quality Control

The geosynthetic reinforcement shall be manufactured with a high degree of quality control. The manufacturer is responsible for establishing and maintaining a quality control program to ensure compliance with the requirements of the specification. The purpose of the QC testing program is to verify that the reinforcement geosynthetic being supplied to the project is representative of the material used for performance testing and approval by the agency.

Conformance testing shall be performed as part of the manufacturing process and may vary for each type of product. As a minimum the following index tests shall be considered as applicable for an acceptable QA/QC program:

Property	Test Procedure
Specific Gravity (HDPE only)	ASTM D1505
Ultimate tensile strength	ASTM D4595: GRI: GG1
Melt flow (HDPE and PP only)	ASTM D 1238
Intrinsic viscosity (PET only)	ASTM D 4603
Carboxyl end group (PET only)	ASTM D 2455

6.0 Sampling and Testing, Acceptance

Sampling and conformance testing shall be in accordance with ASTM D4354. Conformance testing procedures shall be established under 5.0. Geosynthetic product acceptance shall be based on ASTM D 4759.

The quality control certificate shall include:

- roll numbers and identification
- sampling procedures
- result of quality control tests, including a description of test methods used.

7.0 Granular Backfill

The backfill shall consist of well graded sand or sand and gravel with less than 5% passing the # 200 sieve. The maximum size of backfill shall be 20mm, unless full scale installation damage tests are conducted in accordance with ASTM D5818.

7.1 Site Excavation

All areas immediately beneath the installation damage area for the geosynthetic reinforcement shall be properly prepared as detailed on the plans and sections, specified elsewhere within the specifications, or directed by the engineer. Subgrade surface shall be level, free from deleterious materials, loose or otherwise unsuitable soils. Prior to placement of geosynthetic reinforcement, subgrade shall be proof rolled to provide a uniform and firm surface. Any soft areas, as determined by the owner's engineer, shall be excavated and replaced with suitable compacted soils. The foundation surface shall be inspected and approved by the owners geotechnical engineer prior to fill placement. Benching the backcut to competent soil shall be performed as shown on the plans or as directed, in a manner that ensures stability.

7.2 Geosynthetic Placement

The geosynthetic reinforcement shall be installed in accordance with The manufacturer's recommendations, unless otherwise modified by these specifications. The geosynthetic reinforcement shall be placed within the layers of the compacted soil as shown on the plans or as directed.

- The geosynthetic reinforcement shall be placed in continuous longitudinal strips in the direction of main reinforcement. Joints in the design strength direction (perpendicular to the slope or wall) shall not be permitted with the geotextile or geogrid, except as indicated on the drawings.
- Horizontal coverage of less than 100 percent shall not be allowed unless specifically detailed in the construction drawings. In the case of 100 percent coverage in plan view adjacent strips need not be overlapped.
- Adjacent rolls of geosynthetic reinforcement shall be overlapped or mechanically connected where exposed in a wrap around face system, as applicable.
- Placed only the amount of geosynthetic reinforcement require for immediately pending work to prevent undue damage. After a layer of geosynthetic reinforcement has been place, the next succeeding layer of soil shall be placed and compacted as appropriate. After the specified soil layer has been placed, the next geosynthetic reinforcement layer shall be installed. The process shall be repeated for each subsequent layer of geosynthetic reinforcement and soil.
- Geosynthetic reinforcement shall be placed to lay flat and pulled tight prior to backfilling. After a layer of geosynthetic reinforcement has been placed, suitable means such as pins or small piles shall be used to hold the geosynthetic reinforcement in position until the subsequent soil layer can be placed. Under no circumstances shall a track type vehicle be allowed on the geosynthetic reinforcement before at least 150mm of soil has been placed. Sudden braking and sharp turning - sufficient to displace fill shall be avoided.
- During construction, the surface of the fill should be kept approximately horizontal. Geosynthetic reinforcement shall be placed directly on the compacted horizontal fill surface. Geosynthetic reinforcements are to be placed within 75 mm of the design elevations and extend the length as shown on the elevation view or sections unless otherwise directed by the owners' engineer. Correct orientation of the geosynthetic reinforcement shall be verified by the contractor.

7.3 Fill Placement

- Fill shall be compacted as specified by project specifications or to at least 95 percent of Modified Proctor maximum dry density.
- Density testing shall be completed by Davies Geotechnical Inc. at regular intervals during the construction process.
- Backfill shall be placed, spread, and compacted in such a manner to minimize the development of wrinkles and/or displacement of the geosynthetic reinforcement.
- Fill shall be placed in 300mm maximum lift thickness where heavy compaction equipment is used and 150mm maximum uncompacted lift thickness where hand operated equipment is used.
- Backfill shall be graded away from the slope crest and rolled at the end of the day to prevent ponding of water on the surface of the reinforced soil mass.
- Tracked excavation equipment shall not be operated directly upon the geosynthetic reinforcement. A minimum fill thickness of 150 mm is required prior to operation of tracked vehicles over the geosynthetic reinforcement. Turning tracked vehicles should be kept to a minimum to prevent tracks from displacing the fill and the geosynthetic reinforcement.
- If approved by the engineer rubber tired equipment may pass of the geosynthetic reinforcement at speeds of less than 16 km/hr. Sudden braking and sharp turning shall be avoided.
- In the event that density testing indicates that a lift of backfill has failed to meet the project specification, the lift shall be re-compacted and retested until the specification is met or the lift shall be removed and replaced with suitable fill compacted to the minimum specified level.

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RETAINING WALL REPLACEMENT
398 NORTH HYTHE AVE, BURNABY, BC

NOTES 2/2

DATE: FEB 06, 2018
PROJECT NO: P129
REV. NO.: REV.3
DWG No. G006