

ABBREVIATIONS

ACOUS.

A.D.A.

ADJ.

A.F.F.

ALUM.

ALT.

APPROX.

ARCH.

B.A.F.

BD.

BLDG.

BLKG.

BOT.

B.O.

CAB.

CLG.

CL.

CLR.

COL.

CONC.

CONSTR.

CONT.

CTR.

DBL.

DIA.

DIM.

DN.

DWG.

(E)

EA.

EL.

ELEC.

EMER.

EQ.

EQUIP.

EXT.

F.A.

F.D.

F.E.F.

FIN.

F.H.C.

FLR.

FLASH.

FLOUR.

F.O.F.

F.O.M.

F.O.S.

F.R.T.

GA.

GC.

GYP.

H.C.

HDCP.

HDW.

HT.

HORIZ.

H.P.

HPC.

HR.

IN.

INSUL.

INT.

JST.

ACOUSTICAL

AMERICANS WITH DISABILITIES ACT

ADJUSTABLE

ABOVE FINISHED FLOOR

ALUMINUM

ALTERNATE

APPROXIMATE

ARCHITECTURAL

BIG ASS FAN

BOARD

BUILDING

BLOCKING

BOTTOM

BOTTOM OF

CABINET

CEILING

CLOSET

CLEAR

COLUMN

CONCRETE

CONSTRUCTION

CONTINUOUS

CENTER

DOUBLE

DIAMETER

DIMENSION

DOWN

DRAWING

EXISTING

EACH

ELEVATION

ELECTRICAL

EMERGENCY

EQUAL

EQUIPMENT

EXTERIOR

FIRE ALARM

FLOAT DIMENSION

FIRE EXTINGUISHER CABINET

FINISH

FIRE HOSE CABINET

FLOOR

FLASHING

FLUORESCENT

FACE OF FINISH

FACE OF MASONRY

FACE OF STUDS

FIRE RETARDANT TREATED

GAUGE

GENERAL CONTRACTOR

GYPSUM

HOLLOW CORE

HANDICAP

HARDWARE

HEIGHT

HORIZONTAL

HIGH POINT

HIGH POWER CONNECTOR

HOOR

INSULATION

INTERIOR

JOIST

JT.

LAM.

LAV.

LIN.

L.L.

L.P.

LT.

MAX.

MDO.

MECH.

MFR.

MIN.

MISC.

M.O.

MTD.

MTL.

(N)

N/A

N.I.C.

NOM.

NO. or #

N.T.S.

O

O.C.

OPNG.

OPP.

P.LAM.

PLYWD.

PR.

P.T.

RCP

REC.

REV.

REQ'D.

RM.

R.O.

S.C.

SCHED.

SF

SIM.

SPEC.

S.S.

S.T.C.

STD.

STL.

STOR.

STRL.

SUSP.

SYM.

TEMP.

THK.

T.O.

T.O.C.

TYP.

U.N.

U.S.

V

VERT.

V.I.F.

W.C.

WD.

W.R.

W/

JOINT

LAMINATE

LAVATORY

LINEAR

LANDLORD

LOW POINT

LIGHT

MAXIMUM

MEDIUM DENSITY OVERLAY

MECHANICAL

MANUFACTURER

MINIMUM

MISCELLANEOUS

MASONRY OPENING

MOUNTED

METAL

NEW

NOT APPLICABLE

NOT IN CONTRACT

NOMINAL

NUMBER

NOT TO SCALE

OWNER - TESLA PM

ON CENTER

OPENING

OPPOSITE

PLASTIC LAMINATE

PLYWOOD

PAIR

PRESSURE TREATED

REFLECTED CEILING PLAN

RECESSED

REVISION

REQUIRED

ROOM

ROUGH OPENING

SOLID CORE

SCHEDULE

SQUARE FEET

SIMILAR

SPECIFICATION

STAINLESS STEEL

SOUND TRANSMISSION COEFFICIENT

STANDARD

STEEL

STORAGE

STRUCTURAL

SUSPENDED

SYMMETRICAL

TEMPERED

THICK

TOP OF

TOP OF CONCRETE

TYPICAL

UNLESS OTHERWISE NOTED

UNDERSIDE

VENDOR

VERTICAL

VERIFY IN FIELD

WATER CLOSET

WOOD

WATER RESISTANT

WITH

TESLA SERVICE CENTRE

TRT ID 12616

2505 Eastbrook Parkway, Burnaby, BC, Canada

-ISSUED FOR PUBLIC HEARING -

NOVEMBER 02, 2021

CODE / PROJECT INFORMATION

APPLICABLE BUILDING CODE

BRITISH COLUMBIA BUILDING CODE - 2018

MAJOR USE AND OCCUPANCY

AUTOMOTIVE REPAIR

AUTOMOTIVE SALES

OFFICES

GROUP F, DIVISION 2 - MEDIUM HAZARD INDUSTRIAL

GROUP E - MERCANTILE

GROUP D

BUILDING DESCRIPTION

2 STOREY

BUILDING AREA (GREATEST HORIZONTAL AREA ABOVE GRADE) = 2923.6 m²

NON-COMBUSTIBLE CONSTRUCTION

SPRINKLERED

MAJOR OCCUPANCY CLASSIFICATION

GROUP F, DIVISION 2

GROUP E

GROUP D

3.2.2.77

3.2.2.67

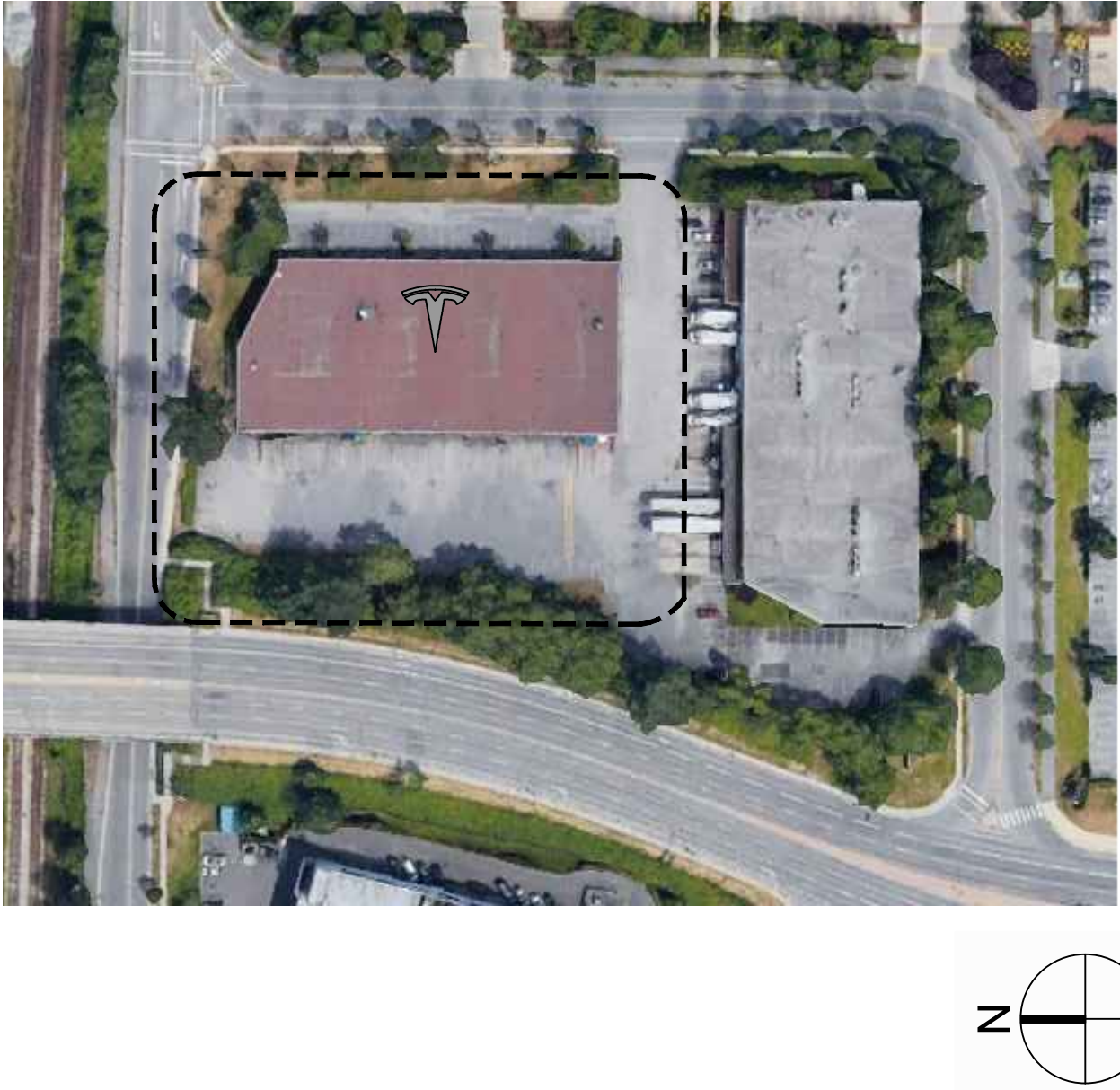
3.2.2.61

UP TO 4 STOREYS, SPRINKLERED

UP TO 3 STOREYS, SPRINKLERED

UP TO 3 STOREYS, SPRINKLERED

VICINITY MAP



REFERENCE SYMBOLS

#

KEYNOTE

ID

X'-X" A.F.F.

CEILING TYPE AND HEIGHT

#

COLUMN BUBBLE AND GRID

#

WALL TYPE

⊙

DATUM POINT

XXX

DOOR NUMBER

—

CUT LINE

XX-XX

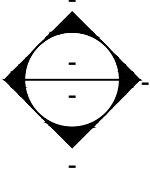
FIXTURE / EQUIPMENT TYPE

℄

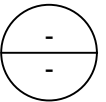
CENTER LINE SYMBOL

FINISH

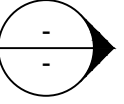
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ELEVATIONS



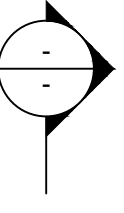
PLAN DETAIL



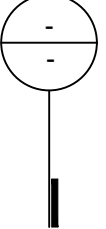
ELEVATION

ROOM

ROOM NAME



SECTION



SECTION DETAIL



ALIGN

ALIGN

DEFERRED PERMITS

SIGNAGE

REQUIRED SUBMITTALS

GC TO PROVIDE FOR TESLA REVIEW:

STOREFRONT SHOP DRAWINGS

GLASS SHOP DRAWINGS

OVERHEAD DOOR / ROLL UP DOOR W/ SHUTTER

HVAC

SECURITY

ELECTRICAL

STEEL (IF APPLICABLE)

PAINT BRUSHOUTS

PLUMBING

DOORS / HARDWARE

TOILET ACCESSORIES

MILLWORK

FIRE SHUTTER STOPS

EQUIPMENT COUNT

EQUIPMENT	QUANTITY
WALL CONNECTOR	6
14/50	7
V3 SUPERCHARGER UNITS CABINET & POST	2 POST & 1 CABINET
FANS	0

SERVICE INTENT / DESCRIPTION

TESLA MOTORS, INC. OPERATES AN ELECTRIC AUTOMOBILE REPAIR/SERVICE CENTER. SERVICING AN ELECTRIC AUTOMOBILE IS DIFFERENT FROM SERVICING A GAS-POWERED CAR. TESLA'S VEHICLES HAVE NO INTERNAL COMBUSTION ENGINE. THIS VEHICLE IS EXCLUSIVELY ELECTRIC AND IS NOT HYBRID. ACCORDINGLY, THERE IS NO EXHAUST SYSTEM, NO FUEL TANKS, NO LIQUID FUEL USAGE, NO NEW OR USED MOTOR OIL, NO NOISE FROM THE VEHICLE, AND NO EMISSIONS LIKE HYDROCARBON AND CARBON MONOXIDE THAT ARE EMITTED FROM AN AUTOMOBILE POWERED BY AN INTERNAL COMBUSTION ENGINE. INSTEAD OF AN ENGINE, AN ELECTRIC MOTOR POWERS TESLA'S VEHICLES. ELECTRIC MOTORS REQUIRE LITTLE TO NO MAINTENANCE.

PROJECT SCOPE / NOTES

-30,862 ft² (GROSS FLOOR AREA) TENANT IMPROVEMENT FOR "TESLA INC" AUTO SALES, DELIVERY & VEHICLE

-AMENDMENT TO (E) WAREHOUSE CONCRETE SLAB IS CRACKING, BUILT ON SWAMP, EXTERIOR WALL CRACKING

-STRUCTURAL BRACING LOCATION IS UNKNOWN, FURTHER INVESTIGATION REQUIRED

-SAND / OIL SEPARATOR REQUIRED

-BUILDING UPGRADES REQUIRED; EMERGENCY & EXIT LIGHTING, FIRE ALARM SYSTEM, ALL RESTROOMS

-PEST CONTROL REQUIRED

-EXISTING MAIN DISTRIBUTION CONSISTS OF A 120/208v, 800A SERVICE ENTRANCE THAT SPLITS TO (7) 100A-3P AND (1) 200A-3P PANELS, NEW MDP WILL BE REQUIRED

-NEW FINISHES, CEILING SYSTEMS AND LIGHTING IN SHOWROOM, LOUNGE, OFFICES & CUSTOMER / EMPLOYEE RESTROOMS.

-NEW FINISHES AND LIGHTING IN SERVICE

-NEW EXTERIOR SIGNAGE

-NEW PANEL UPGRADES, RTU, UNIT HEATERS, HVAC, NEW TRENCH, OIL SAND, WATER SEP.

-NEW EXTERIOR CONCRETE RAMP/STAIR, LANDSCAPING, PARKING LOT STRIPPING, DRAINAGE

PROJECT DIRECTORY

TENANT

TESLA MOTORS CANADA ULC
1325 LAWRENCE AVE EAST
TORONTO, ONT., CANADA
M3A 1C6

ARCHITECTURAL MANAGER
T: LUCIE LEE
E: LUCLEE@TESLA.COM

CONSTRUCTION PROJECT
MANAGER: KEVIN JONES
E: joneskev@tesla.com

ARCHITECT OF RECORD

T.I. STUDIOS ARCHITECTURE INC
CALGARY, AB
CONTACT: HEATHER BARNSLEY
M3A 1C6

STRUCTURAL ENGINEER

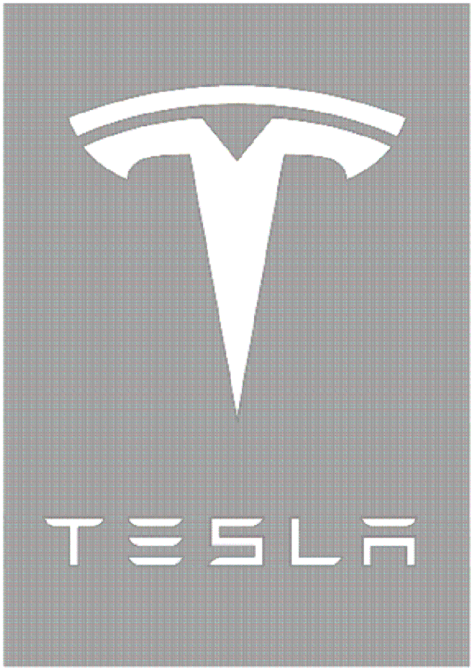
WOLSEY STRUCTURAL ENGINEERING
CALGARY, AB
CONTACT: DANNY WOLSEY

ELECTRICAL ENGINEER

AMPED CONSULTING
CALGARY, AB
CONTACT: GORD SHAW

MECHANICAL ENGINEER

MCW HEMISPHERE LTD
CALGARY, AB
CONTACT: SIMON GASNER



TESLA CENTER
TRT ID 12616

2505 EASTBROOK
PARKWAY
BURNABY, BC

ISSUE / REVISION	
2021-10-05	PUBLIC HEARING
2021-10-19	PUBLIC HEARING
2021-11-02	PUBLIC HEARING

BEFORE BID AWARD:

AFTER BID AWARD:

DRAWING TITLE

SCALE: AS NOTED
PROJECT NUMBER: 21.143

SHEET NUMBER

A0.00

A. Project Description:

Proposed Tesla Service Center; exterior finishing modificaltions and interior reno alterations. Re-Zone current site to allow vehicle servicing.

B. Civic Address(es) and Alias:

2505 Eastbrook Parkway, Burnaby, BC
Legal Address(es):
Lot: 127
Block: District Lot - 124
Plan: NWP51827

C. Zoning

From: CD (M5)
To: CD (M1, M5)

Adjacent: CD (M5)

D. Vehicular Access From:

Street access off of Eastbrook Parkway (existing shared access - **PLANS1921 R/W**)

E. Site Area

	Existing	Proposed	Total:
Gross Site Area:	8,822.2m²	8,822.2m²	
2505 Eastbrook PKWY			
Site Area for calculation of density:	8,822.2m²	8,579.4m²	
Dedication Area:	N/A	243m²	
Road Closure Area:	N/A	N/A	
Net Site Area:	8,822.2m²	8,579.4m²	

F. Floor Area Ratio (FAR)

By Use:	Permitted			Existing		
RM? Calculation	FAR	m²	sq.ft.	FAR	m²	sq.ft.
Base:						
Base Bonus:						
Supplementary Base:						
Supplementary Bonus:						
RM?r Required Rental:						
CMHC Median Rental:						
Market Rental:						
Off-Set:						
Ttl Residential RM? & r:						
Commercial C?:						
Rental C?:						
Total Residential?:						
Total Rental?:						
Industrial M1:				0.32		
Institutional P?:						
Total FAR:				0.32		
By Lot/Phase:						

G. Site Coverage Calculations (Proposed)

	Metric (m)	Imperial (f)
Total Lot Area	8,579.40	92,347.90
Building A Foot Print	2,870	30,892
Building B Foot Print	0	0
Building C Foot Print	0	0
Site Coverage %		29.9
Max. Permitted Lot Coverage %		50

I. Site Dimensions

	Width		Depth	
	Metric (m)	Imperial (f)	Metric (m)	Imperial (f)
Gross	109.4	358.9	96.3	315.9
Net				

J. Building A Height

Level(s)	Height of Floor(s)		Number of Floor(s)
	Metric (m)	Imperial (f)	
Grade	0	0	
Second Floor	3.7	12	
Roof	3.5	11.6	
Overall Height From Finished Grade			
Existing	7.2	23.6	
Permitted	12	39.37	

K. Building A Setbacks

Property Line	Required		Existing	
	Metric (m)	Imperial (f)	Metric (m)	Imperial (f)
North	9	29.5	7.1	23.3
South	6	19.7	3	9.8
East	6	19.7	22.4	73.5
West	6	19.7	23.9	78.4

Use	Existing GFA		Proposed GFA	
	Metric	Imp.	Metric	Imp.
Warehouse (service):	0	0	2,030.70	21,858.30
Office:	688.3	7,408.80	375.6	4,042.90
Retail:	311.8	3,356.20	310.7	3,344.50
Warehouse (storage):	1,827.70	19,673.30	110.8	1,192.60
Total:	2,827.80	30,438.30	2,827.80	30,438.30
By Floor:				
By Lot/Phase:				

N. Vehicle Parking - Proposed (Required)

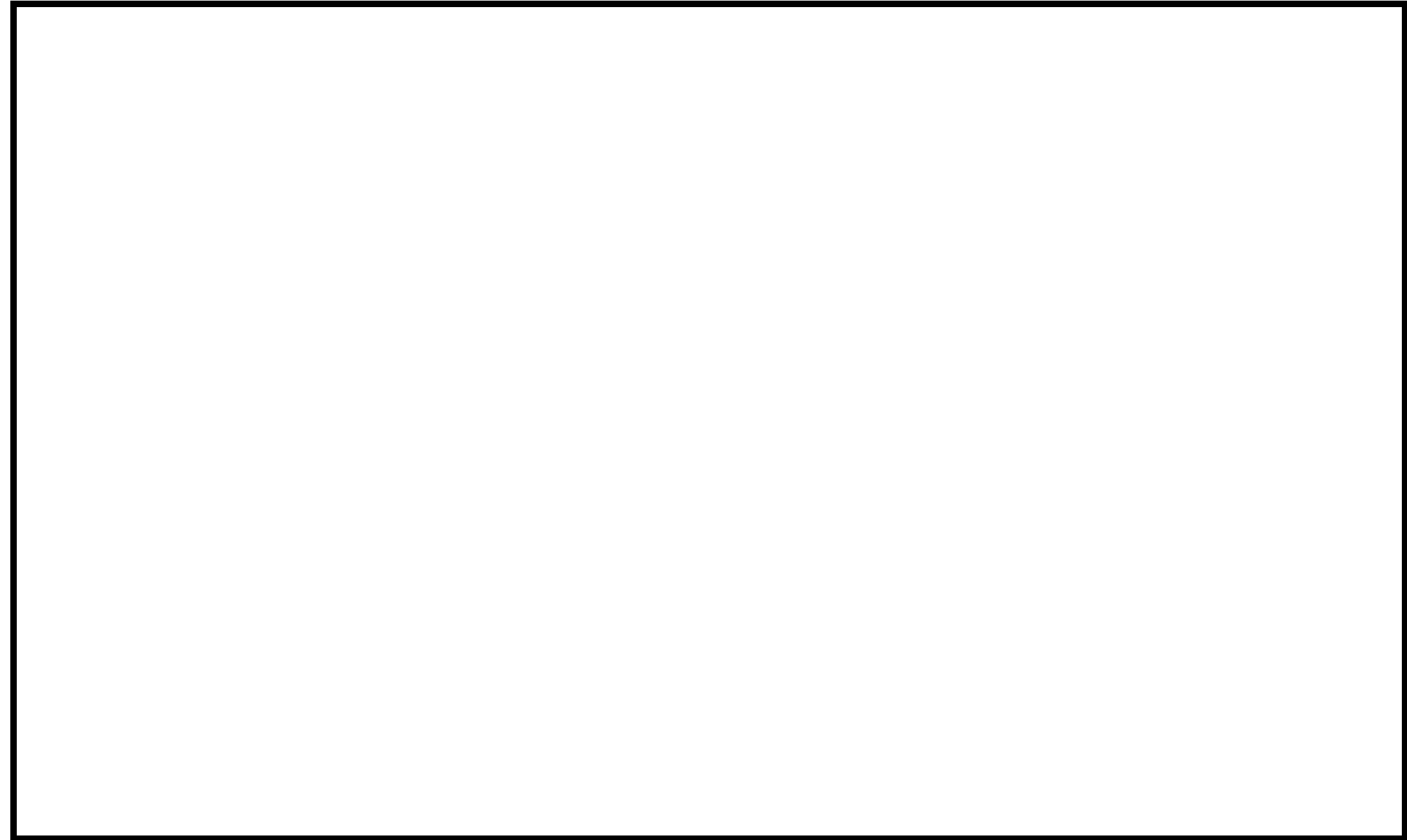
Combined									
Use	Resident / Occupant	Residential Visitor	Small Car	3/100 (non-adaptable)	H/C		Car Wash	Car Share	Total
					1/2 (adaptable)				
					2/3 Car	1/3 Van			
Prov'd Perm.*	50	N/A	N/A	N/A	2	1	N/A	N/A	53
Warehouse									
Total	50	N/A	N/A	N/A	2	1	N/A	N/A	53

Prov'd Perm.* = Provided Permanent

Use	Residential	Residential Visitor	Bike Wash	Bike Share	Commercial Class A	Commercial Class B	Total	
							Locker	Rack
Apartment								
Townhouse								
Commercial								
Industrial						4		1
Total						4		1

Other Bicycle						
Shower Stalls					0	
Clothes Lockers					12	
Repair m2					0	

Loading						
Use	Requirement	Units	GFA	Req'd	Provided	
Residential	1/200 Units					
Commercial	1/460 m2			3	5	
Industrial	3/4,600 m2		2,828			



*

Reserve for City of Burnaby Stamps & Comments

Q. Declaration:

I attest that the outlined statistics represent as accurate a presentation as possible at this time, of the subject proposal. The subject statistics will be rechecked and reaffirmed as accurate prior to the final adoption of the requisite rezoning bylaw and release of the Preliminary Plan Approval.

I confirm that all parking area dimensions are in accordance with the Zoning Bylaw requirements.

Dated: 2021-11-05

Signed:


Architect

(Co-signed by Applicant if different)



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ARCHITECTURE

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STATISTICAL
INFORMATION
SHEET

SCALE: AS NOTED
PROJECT NUMBER: 21.143

SHEET NUMBER

A0.01a

10



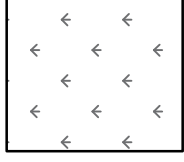
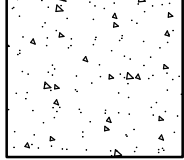
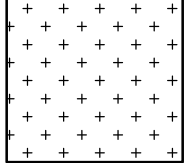
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SITE LOCATION	EXISTING GFA
MUNICIPAL ADDRESS 2505 Eastbrook Parkway, Burnaby, BC, Canada	GROSS FLOOR AREAS (DOES NOT INCLUDE NEIGHBOURING TENANT)
LEGAL DESCRIPTION LOT 127 BLOCK: DISTRICT LOT: 124 PLAN: NWP51872	MAIN FLOOR AREA 2,550.8 m ²
EXISTING ZONING CD (M5)	SECOND FLOOR AREA 277 m ²
SITE AREA 2.18 ACRES	TOTAL GROSS AREA 2,827.8 m ²
EXISTING BUILDING HEIGHT 2 STOREY (7.2m)	TOTAL FLOOR AREA (NET) 2,870.1 m ²
	INCLUDING NEIGHBOURING TENANT

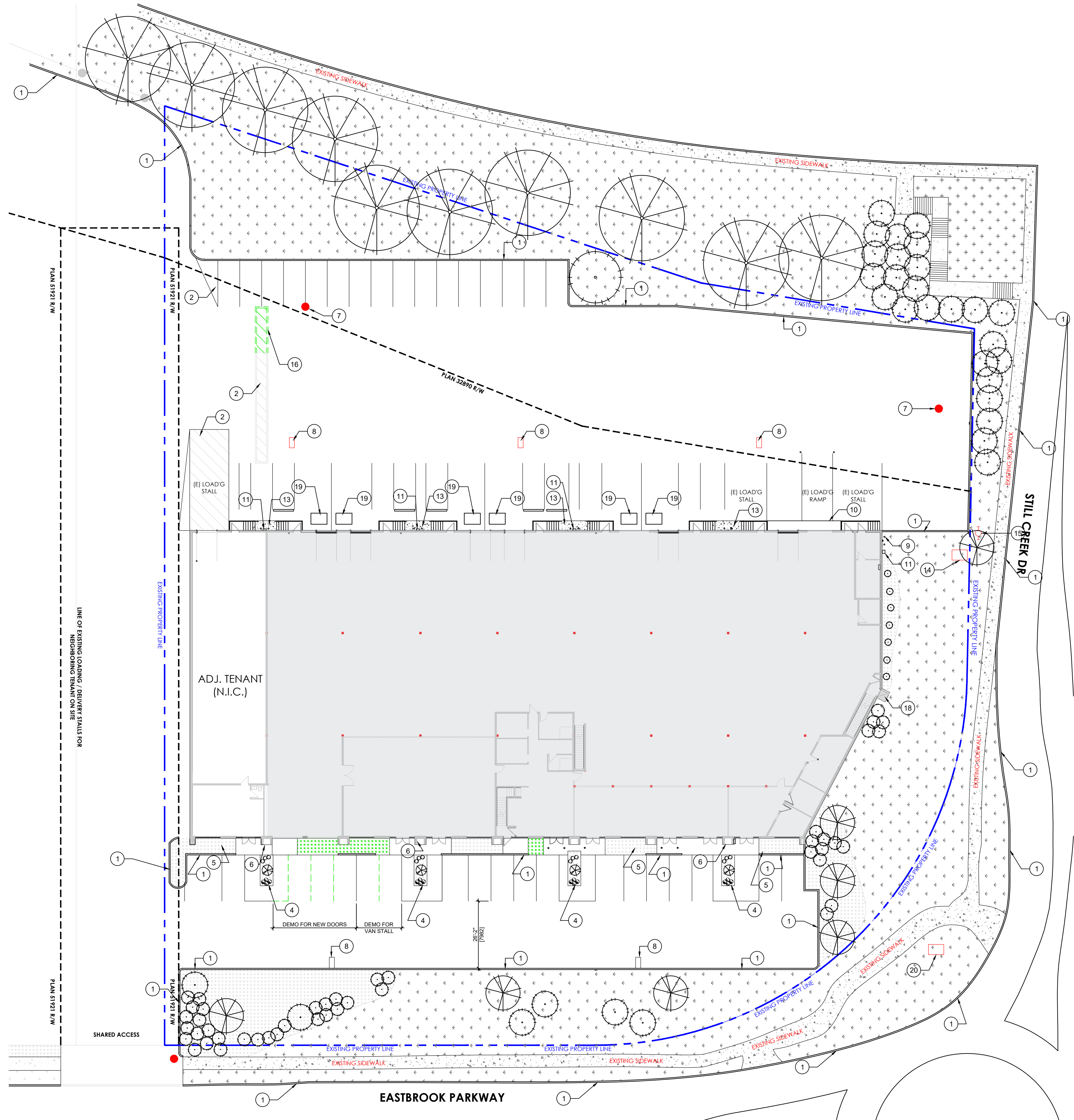
EXISTING PARKING STALLS
TOTAL EXISTING PARKING STALLS:
REAR: 26
FRONT: 19
BARRIER FREE: 0
LOADING: 3 (1 IS EXISITING FOR NEIGHBOURING TENANT)
BIKE PARKING: 0

LEGEND
LANDSCAPING & TREES TO REMAIN AS IS UNLESS NOTED OTHERWISE. REFER TO HATCHING LEGEND

	EXISTING PROPERTY LINE
	EXISTING CITY SIDE WALK
	EXISTING SITE GRASS
	EXISTING SHRUBBED / LANDSCAPE AREA - SITE AREA
	EXISTING CONCRETE PAD - REAR OF BUILDING
	EXISTING SHRUBBED / LANDSCAPE AREA - CITY AREA

EXISTING KEY NOTES

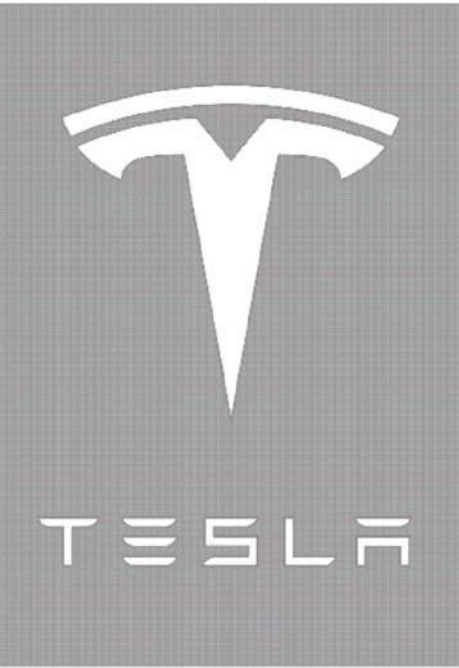
- 01 EXISTING CONCRETE CURB.
- 02 EXISTING NO PARKING PAINTED CROSS HATCH LINES.
- 03 EXISTING CONCRETE WHEEL STOP.
- 04 EXISTING PLANT AREA WITH TREES, SHRUBS & MULCH.
- 05 EXISTING LANDSCAPE AREA.
- 06 EXISTING WALK-WAY
- 07 EXISTING MAN HOLE LOCATION
- 08 EXISTING CATCH BASIN
- 09 EXISTING FIRE DEPARTMENT CONNECTION
- 10 EXISTING RAISED LOADING DOCK
- 11 EXISTING GAS METER
- 12 EXISTING FIRE-HYDRANT
- 13 EXISTING CONCRETE PAD (RAISED)
- 14 EXISTING ELECTRICAL TRANSFORMER & CONCRETE PAD
- 15 EXISTING CITY FIRE HYDRANT
- 16 EXISTING 'NO PARKING' CROSS HATCH TO BE REMOVED - REMAINING LINES TO BE REPAINTED.
- 17 RESERVED
- 18 EXISTING EXTERIOR CONCRETE PAD AT EXIT DOOR
- 19 EXISTING TENANT GARBAGE DISPOSAL BIN
- 20 EXISTING ELECTRICAL EQUIPMENT



EXISTING SITE PLAN

SCALE: N.T.S.

1



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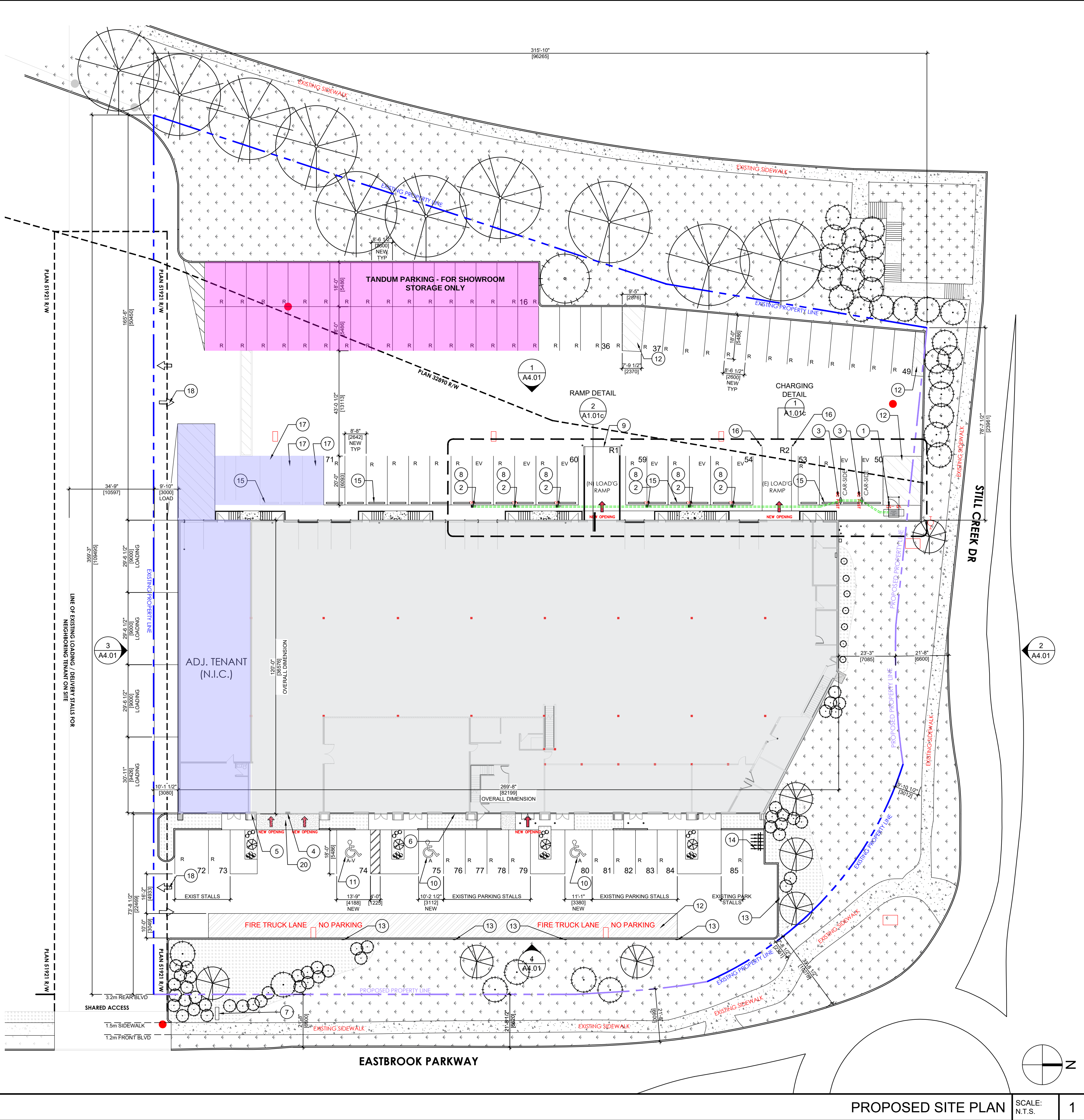
A1.01a

SITE LOCATION	PROPOSED GFA
MUNICIPAL ADDRESS 2505 Eastbrook Parkway, Burnaby, BC, Canada	GROSS FLOOR AREAS (DOES NOT INCLUDE NEIGHBOURING TENANT)
LEGAL DESCRIPTION LOT 127 BLOCK: DISTRICT LOT: 124 PLAN: NWP51872	MAIN FLOOR AREA 2,550.8 m ²
EXISTING ZONING CD (M5)	SECOND FLOOR AREA 277 m ²
PROPOSED ZONING CD (M1, M5)	TOTAL GROSS AREA 2,827.8 m ²
SITE AREA 2.18 ACRES	TOTAL FLOOR AREA (NET) 2,870.1 m ²
EXISTING BUILDING HEIGHT 2 STOREY (7.2m)	INCLUDING NEIGHBOURING TENANT

PARKING CALCULATIONS		
PARKING SPACES REQUIRED FOR SERVICE AND REPAIR ESTABLISHMENTS		
1 PARKING STALL FOR EVERY 93 m ² OF GROSS FLOOR AREA, PLUS 1 FOR EACH 46m ² OF GROSS FLOOR ARE USED FOR SHOWROOM DISPLAY		
TOTAL GROSS AREA	2,827.8m ² / 93 = 30.4	31 STALLS REQUIRED
TOTAL SHOWROOM AREA	214.0m ² / 46 = 4.6	5 STALLS REQUIRED
		36 STALLS REQUIRED
ACCESSIBLE PARKING		
2 REQUIRED FOR EVERY 26-50 SPACES REQUIRED PARKING SPACES		
VAN ACCESSIBLE ACCESSIBLE PARKING		
FOR EVERY 3 ACCESSIBLE PARKING SPACES REQUIRED, 1 SHALL BE VAN ACCESSIBLE		
BICYCLE PARKING		
10% OF VEHICLE PARKING SPACES REQUIRED. 10% OF 36 STALLS = 3.6 BICYCLE PARKING = 4 SPACES		
	REQUIRED	PROVIDED
AUTOMOBILE SHOWROOM	2	11
SERVICE WAREHOUSE	36	39
TANDUM STORAGE	0	32
ACCESSIBLE	2	2
ACCESSIBLE VAN	1	1
LOADING	3	5
TOTAL	44	90

LEGEND		
LANDSCAPING & TREES TO REMAIN AS IS UNLESS NOTED OTHERWISE. REFER TO HATCHING LEGEND - REFER TO A1.01a		
	EXISTING PROPERTY LINE	
	PROPOSED PROPERTY LINE	
	ACCESSIBLE ROUTE. 4'-0" WIDE MINIMUM, 5'-0" WIDE AT DOORWAYS. 4" WHITE PAINTED STRIPING, SPACED AT 3'-0" ON CENTER, AT 30 DEGREE ANGLE.	
	HIGH POWER POST MOUNTED WALL CONNECTOR AND DISCONNECT	
EV	ELECTRIC CAR CHARGING STALL	
A	ACCESSIBLE PARKING STALL	
A-V	ACCESSIBLE VAN PARKING STALL	
R	REGULAR CAR STALLS	

PROPOSED KEY NOTES	
1	(N) V3 CHARGING CABINET ON CONCRETE PAD, BOLLARDS IN FRONT
2	POST-MOUNTED WALL CONNECTOR, SEE ELECTRICAL DRAWINGS, INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
3	(N) CHARGING POSTS FOR V3 CABINET ON CONCRETE PADS.
4	NON-ILLUMINATED SERVICE SIGN - 12"H (PAINTED CHANTILLY LACE)
5	S981 AFTER HOURS KEY DROP OFF SIGN
6	S112 EXTERIOR FACE LIT (WORDMARK - 10%, SPACING - 2'-6" H -PAINTED CHANTILLY LACE)
7	S301 EXTERIOR MONUMENT - 12'-0" HIGH TO BE LOCATED IN LOCATION OF EXISTING SIGN.
8	S711 AUTHORIZED VEHICLE ONLY SIGN
9	NEW CONCRETE LOADING RAMP REFER TO DETAILS ON A1.01b
10	NEW ACCESSIBLE PARKING SPOT, CG TO PROVIDE SIGNAGE (REFER TO A0.03)
11	NEW VAN ACCESSIBLE PARKING SPOT, GC TO PROVIDE SIGNAGE (REFER TO A0.03)
12	PROPOSED PAINTED LINES ON ASPHALT
13	PROPOSED FIRE LANE / NO PARKING SIGNS
14	(N) BIKE RACK (TO HOUSE 4 BICYCLES MINIMUM)
15	PROPOSED WHEEL STOPS, REFER TO DETAIL 9 / A0.03
16	PROPOSED NEW BOLLARDS
17	EXISTING PARKING LINE TO BE REPAINT TO ALLOW FOR MORE PARKING - PARKING STALLS ARE NOT IN TESLA TENANCY.
18	PROPOSED PAINTED LINES, REFER TO SHEET A0.03
19	PROPOSED GARBAGE ENCLOSURE; REFER TO SHEET A1.01k
20	REMOVE LANDSCAPING AND FILL WITH CONCRETE WALKWAY IN FRONT OF NEW OVERHEAD DOORS



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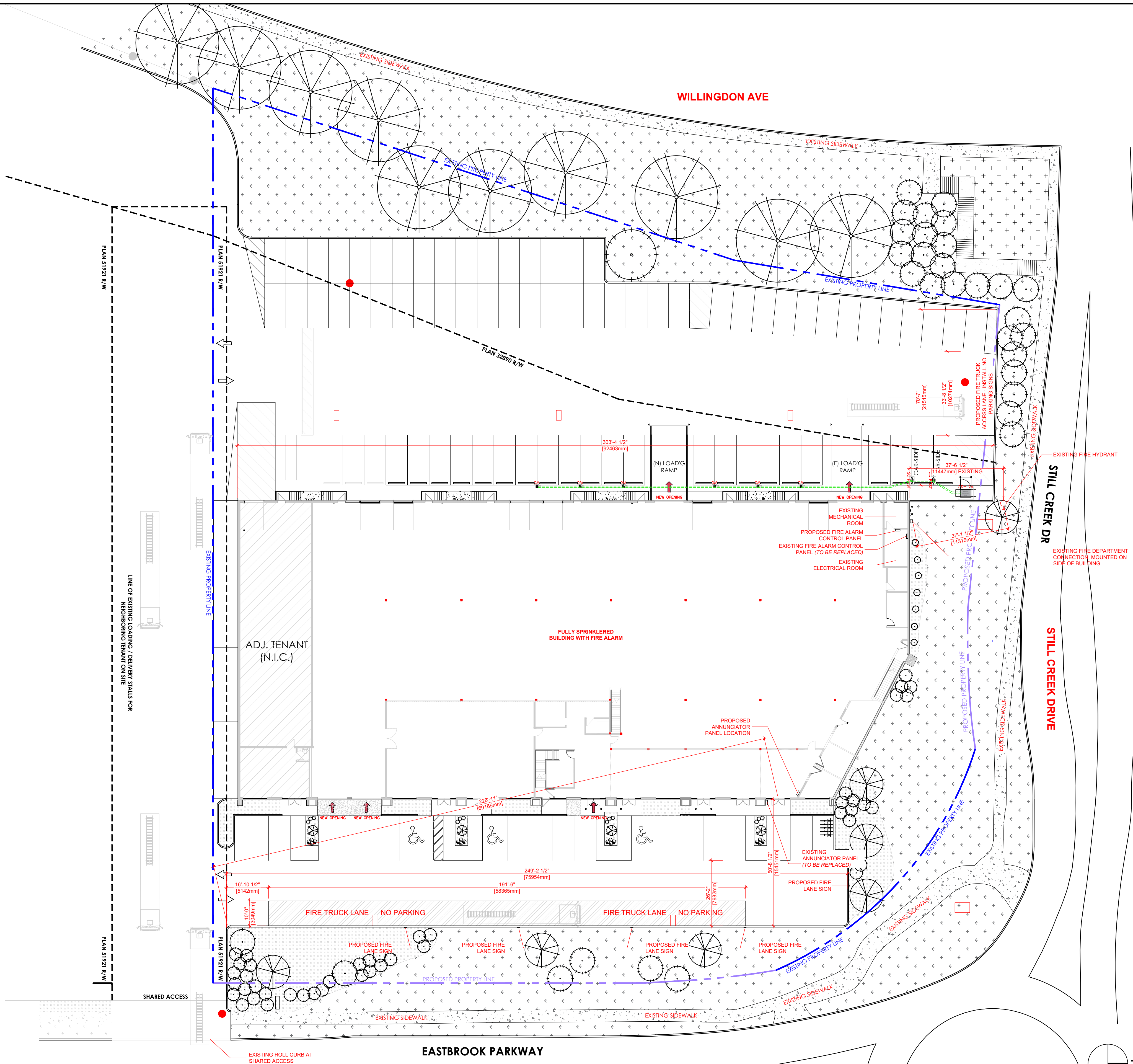
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PROPOSED SITE PLAN

SCALE: AS NOTED
PROJECT NUMBER: 21.143

SHEET NUMBER

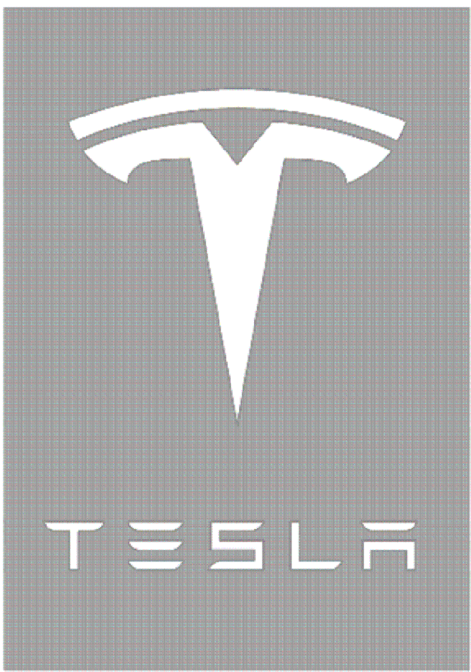
A1.01b



FIRE TRUCK ACCESS PLAN

SCALE:
3/64" = 1'-0"

1



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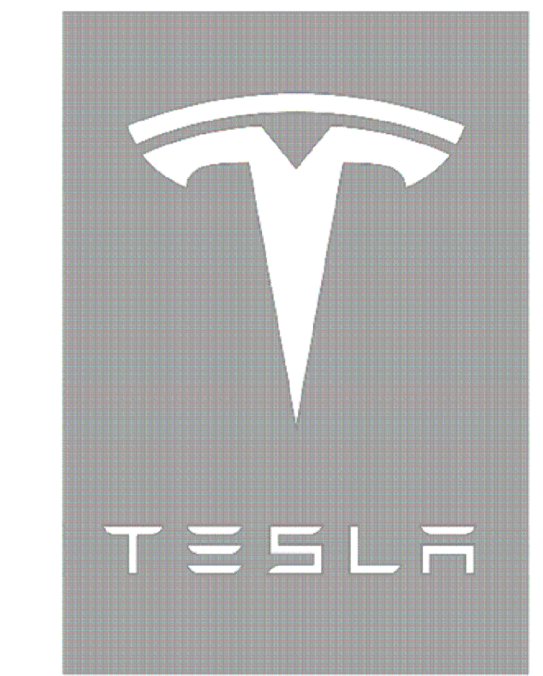
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FIRE TRUCK ACCESS
PLAN

SCALE: AS NOTED
PROJECT NUMBER: 21.143

SHEET NUMBER

A1.01d



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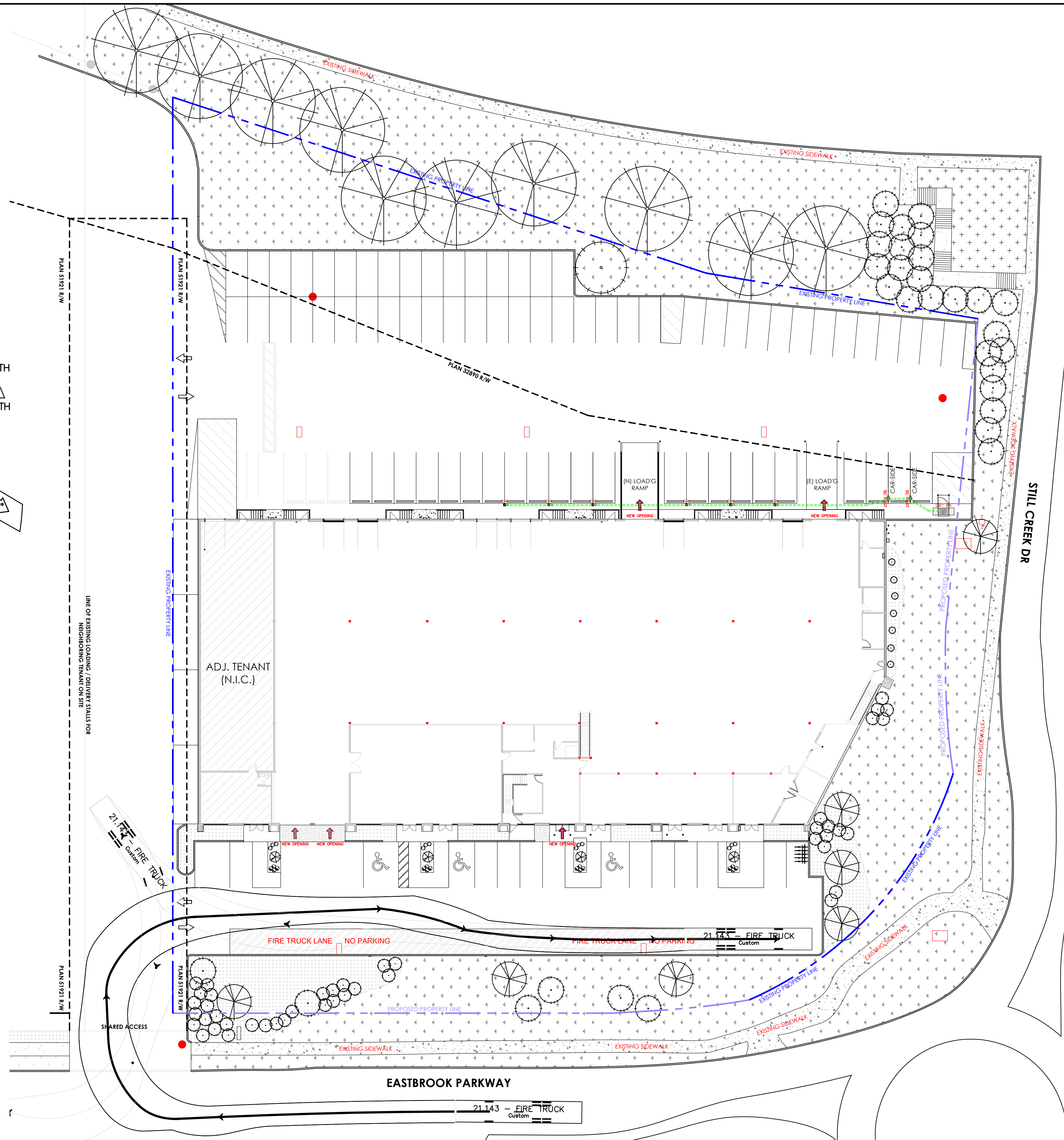
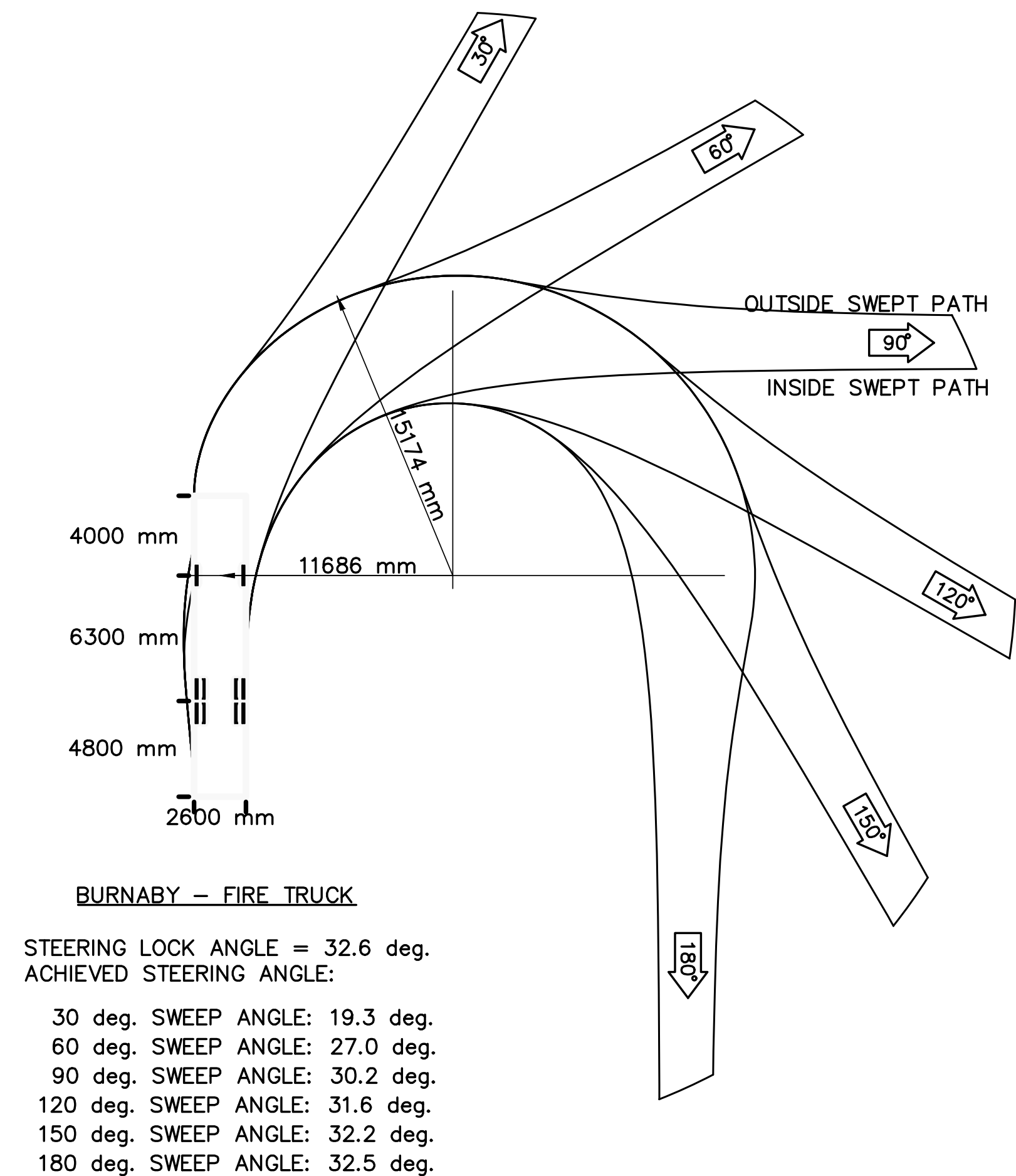
DRAWING TITLE

VEHICLE DRIVE PATHS (FIRE TRUCK)

SCALE: AS NOTED
PROJECT NUMBER: 21.143

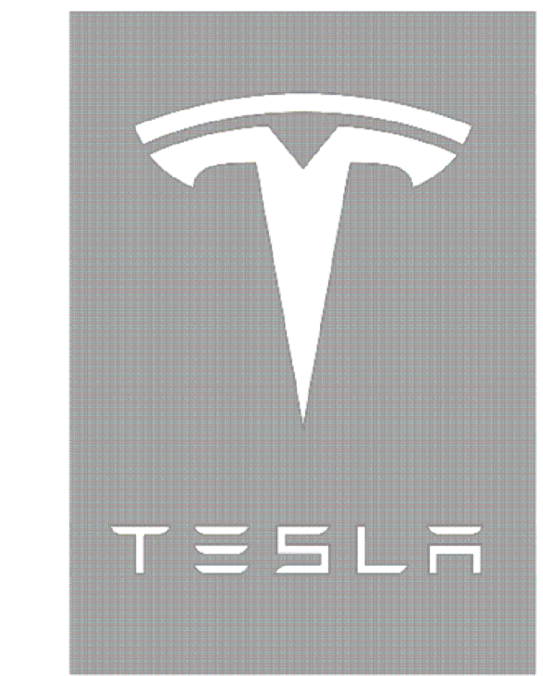
SHEET NUMBER

A1.01e



SITE PLAN

SCALE:
N.T.S.



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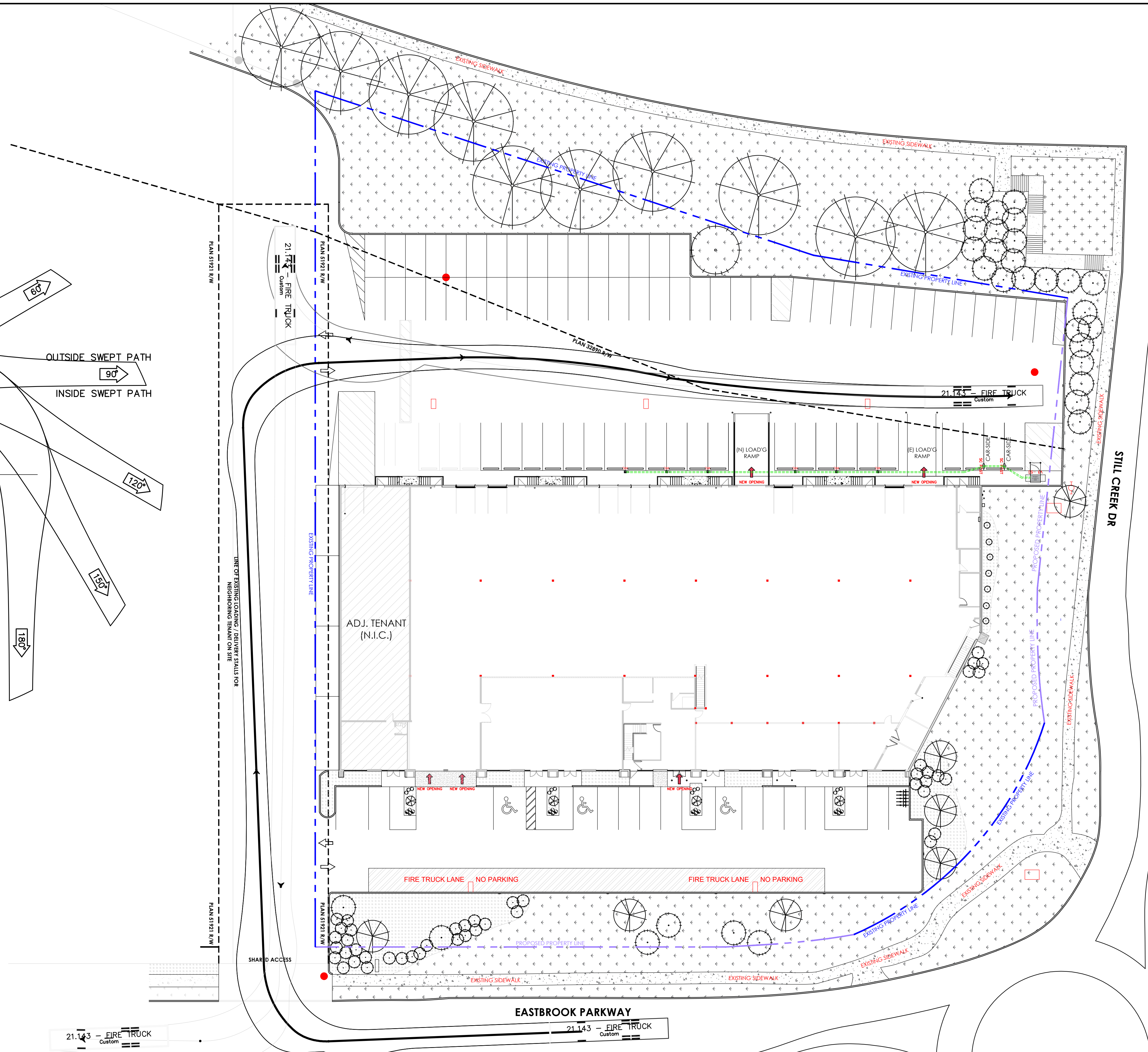
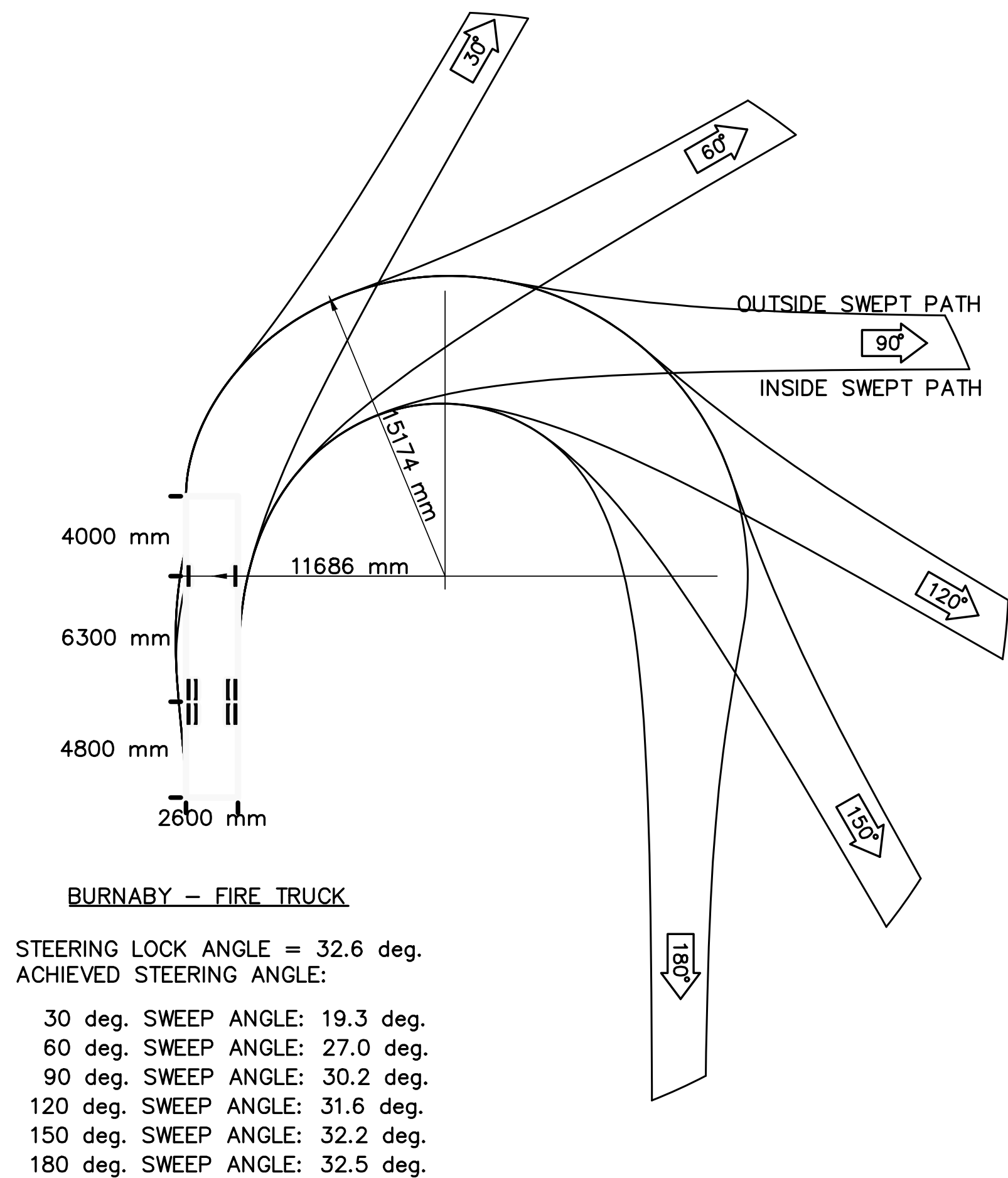
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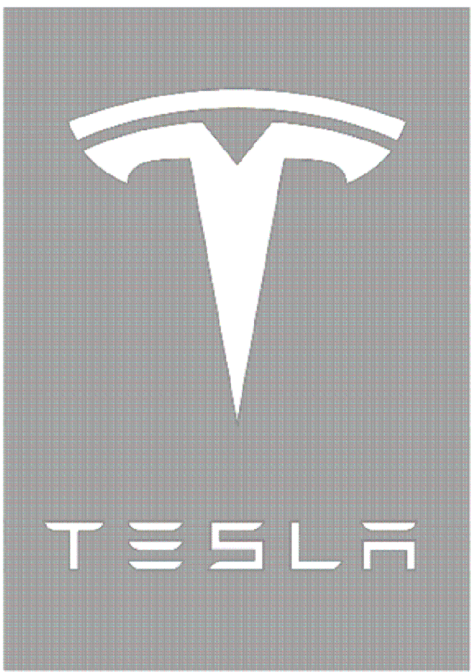
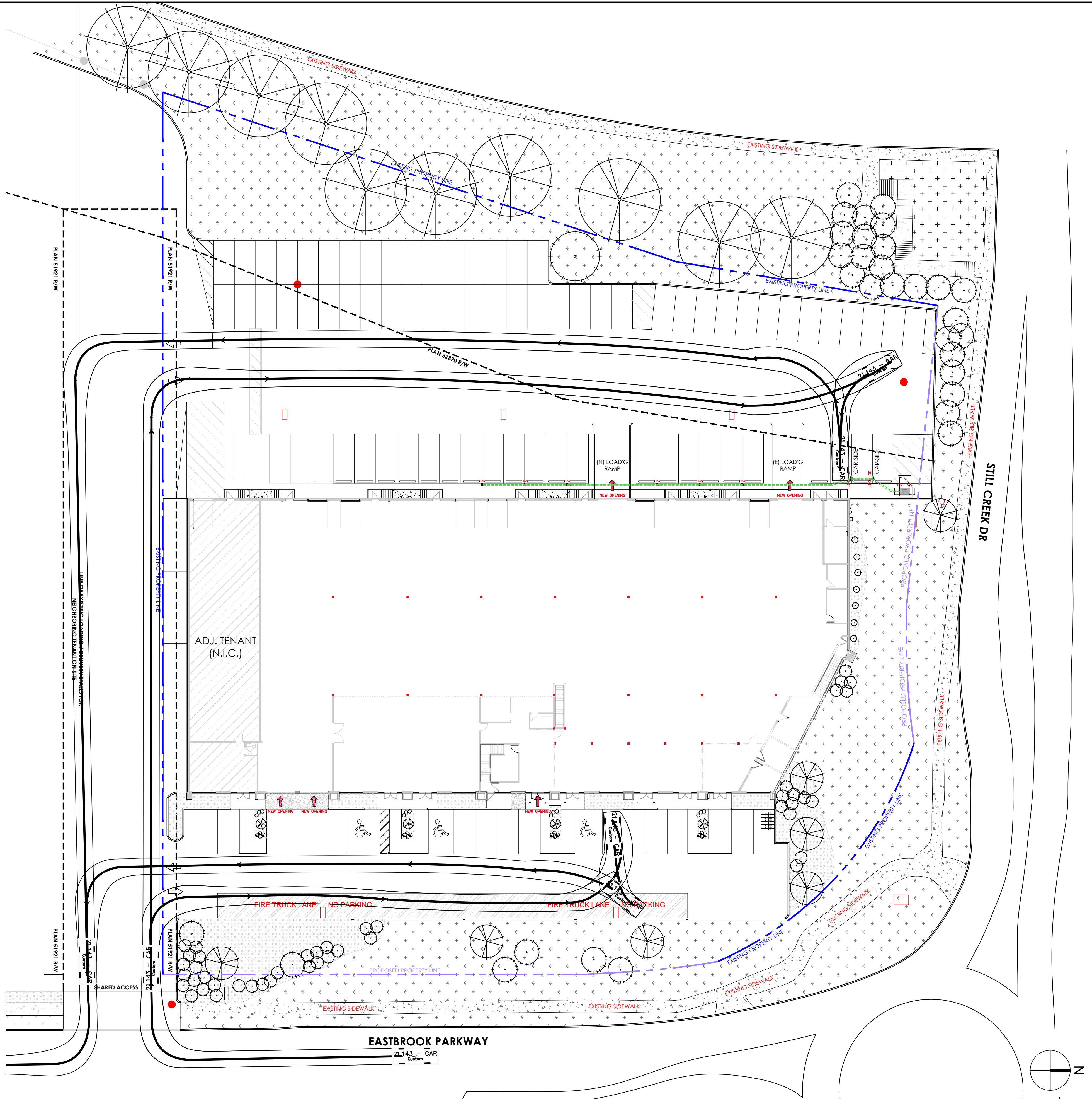
VEHICLE DRIVE PATHS (FIRE TRUCK)

SCALE: AS NOTED
PROJECT NUMBER: 21.143

SHEET NUMBER

A1.01f





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DRAWING TITLE

VEHICLE DRIVE PATHS
(PASSENGER CAR)

SCALE: AS NOTED
PROJECT NUMBER: 21.143

SHEET NUMBER

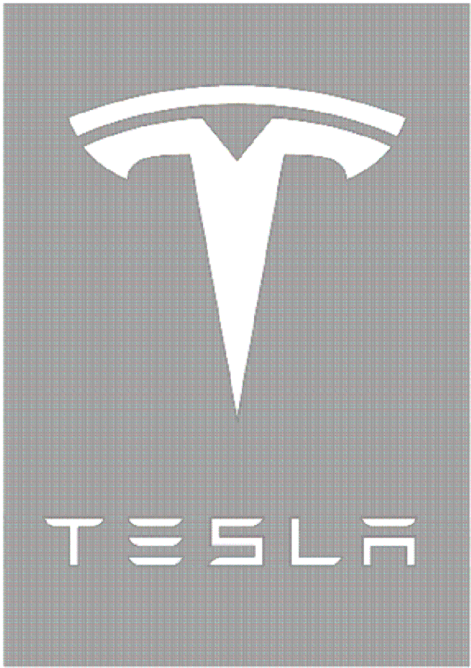
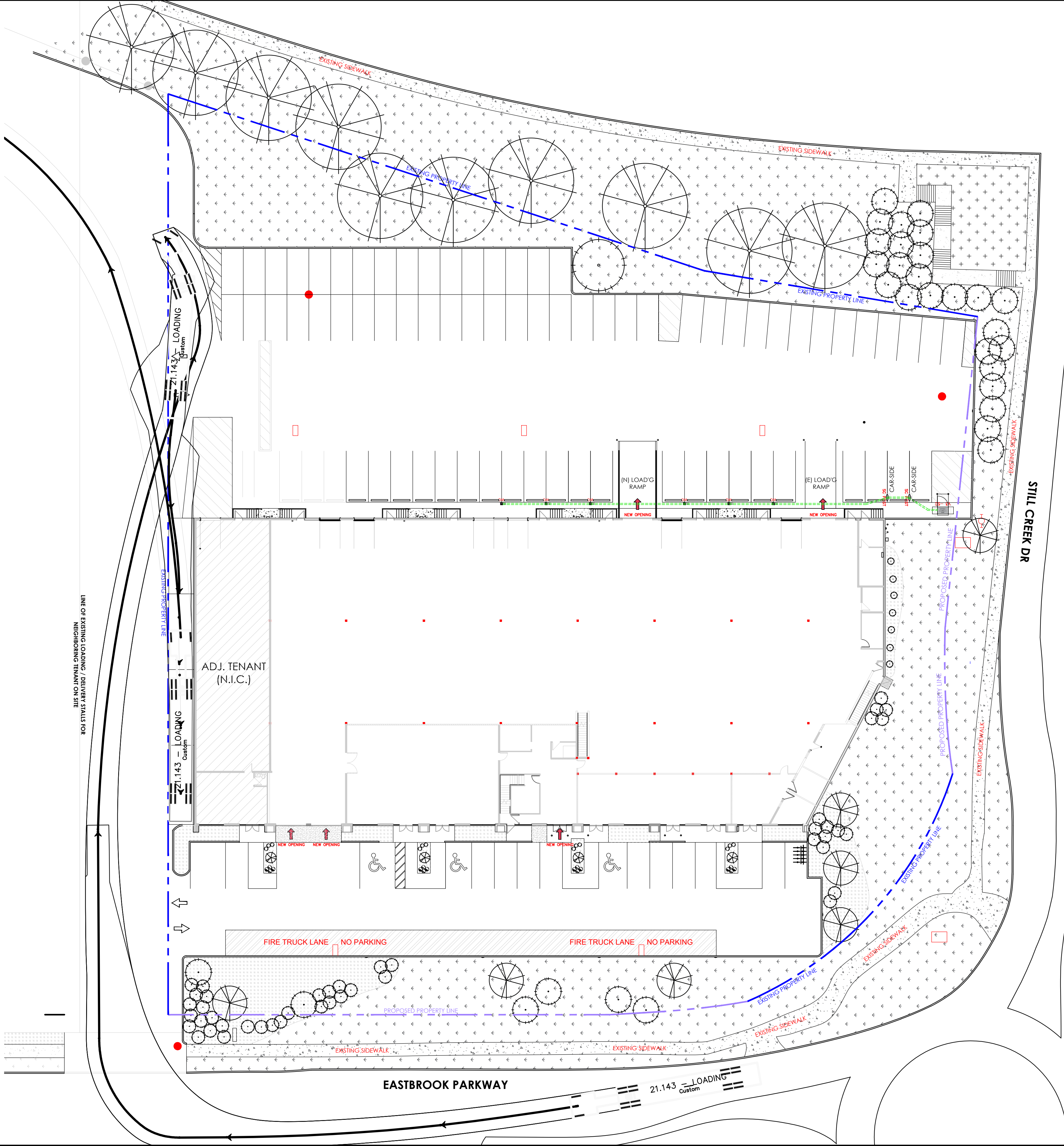
A1.01g

VEHICLE DRIVE PATHS (PASSENGER CAR)

SCALE: N.T.S.

1

LOADING PLAN VEHICLE USES WB-20 (53' TRAILER & TRACTOR)



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VEHICLE DRIVE PATHS
(LOADING)

SCALE: AS NOTED
PROJECT NUMBER: 21.143

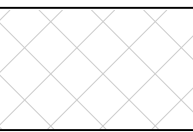
SHEET NUMBER

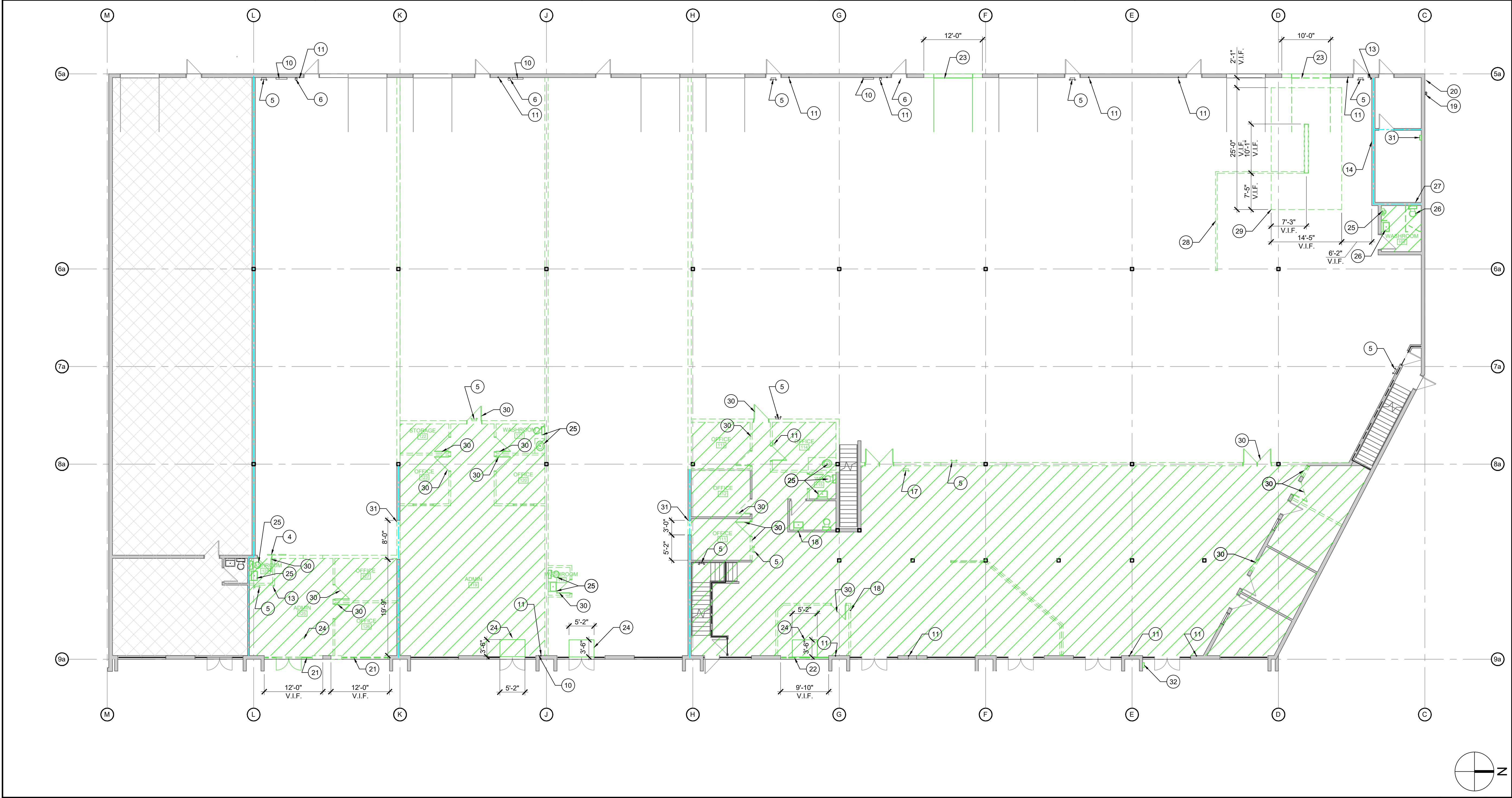
A1.01h

VEHICLE DRIVE PATHS (LOADING)

SCALE: N.T.S.

1

LEGEND		KEY NOTES					
	(E) CONSTRUCTION TO REMAIN. G.C. TO PATCH AND REPAIR AS REQUIRED TO "LIKE-NEW" CONDITION		(E) CONSTRUCTION TO BE REMOVED		(E) DOOR & FRAME TO REMAIN		EXISTING FLOORING AND BASE CONDITION TO BE REMOVED. GC TO ENSURE SURFACE IS FREE FROM ALL GLUE AND DEBRIS. REFER TO FINISHES PLAN.
	EXISTING FIRE RATED WALL = 4 HR		EXISTING FIRE RATED WALL = 2 HR		EXISTING FIRE RATED WALL = 1 HR		EXISTING FIRE RATED WALL = 45 MIN
	DENOTES AREA OUT OF SCOPE						
	REMOVE WALLS BELOW. (12'-0" AFF MAIN FLOOR, SHOWN FOR REFERENCE ONLY)		(E) SERVER REPLACE WITH NEW TENANT SERVER		(E) GAS-FIRED HVAC UNIT		(E) INTERNET / TELEPHONE BOARD -RELOCATE TO ELECTRICAL ROOM 101
	(E) EMERGENCY LIGHT FIXTURE TO BE REMOVED		(E) FIRE EXTINGUISHER REPLACED WITH NEW		(E) WALLS BELOW, SHOWN FOR REFERENCE ONLY.		(E) ROOF ACCESS LADDER.
	(E) ROOF ACCESS HATCH.		(E) FIRE ALARM.		(E) PULL STATION.		(E) ELECTRICAL PANEL.
	(E) CCTV CAMERA.		(E) EXISTING BLOCK WALL TO 12'-0" AFF, GYPSUM BD ABOVE. WALL NOT CONSTRUCTED TO U/S OF DECK.		(E) EXISTING BLOCK WALL TO 12'-0" AFF, GYPSUM BD ABOVE. WALL NOT CONSTRUCTED TO U/S OF DECK.		(E) PARTITION TO 12'-0" AFF
	(E) EMERGENCY LIGHTING - CEILING MOUNTED		(E) THERMOSTAT		(E) FIRE DEPARTMENT CONNECTION		(E) GAS METER
	REMOVE & RELOCATE STOREFRONT GLAZING SYSTEM, ENLARGE OPENING AND PREP FOR NEW ROLL UP DOORS (REFER TO A4.01)		REMOVE STOREFRONT GLAZING SYSTEM, PREP FOR RELOCATED STOREFRONT GLAZING WITH DOORS (REFER TO A4.01)		REMOVE EXISTING ROLL UP DOORS, ENLARGE OPENING AND PREP FOR NEW ROLL UP DOORS		MODIFY (E) SLAB AS REQUIRED FOR PEDIMAT.
	REMOVE SINK AND FIXTURES. REMOVE PLUMBING, FILL AND PREPARE SURFACES FOR NEW FINISHES		REMOVE SINK AND FIXTURES. AND PREPARE CONNECTIONS TO BE RE-USED FOR NEW FIXTURES		RELOCATED INTERNET / TELEPHONE BOARD		TO (E) SERVICE SEWER
	SAW CUT (E) CONCRETE SLAB FOR WASHBAY INSTALLATION, INFILL AS NEEDED		REMOVE EXISTING DOOR OR WINDOW		REMOVE PORTION OF 1 HOUR FIRE RATED WALL AND PREPARE FOR NEW FIRE RATED DOOR INSTALLATION		EXISTING FIRE ALARM CONTROL PANEL TO BE REPLACED - REFER TO PROPOSED PLAN FOR NEW LOCATION.
	EXISTING FIRE ALARM ANNUNCIATOR PANEL TO BE REPLACED - REFER TO PROPOSED PLAN FOR NEW LOCATION.						
						MAIN FLOOR GFA (INCLUDING NEIGHBOURING TENANT): 2,870.1m² (NOT INCLUDING NEIGHBOURING TENANT): 2,550.8m²	



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DEMOLITION
FLOOR PLAN
-MAIN FLOOR

SCALE: AS NOTED
PROJECT NUMBER: 21.143

SHEET NUMBER

A1.03a



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SCALE: AS NOTED
PROJECT NUMBER: 21.143

SHEET NUMBER

A1.03b

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(E) CONSTRUCTION TO REMAIN. G.C. TO PATCH AND REPAIR AS REQUIRED TO "LIKE-NEW" CONDITION.

NEW PARTITION

EXISTING DOOR & FRAME

NEW DOOR & FRAME

#

DOOR NUMBER

PT-#

FINISH, SEE SHEET

#

PARTITION TYPE

14/50

RECEPTACLE

H.B. ↑

HOSE BIBB

***GENERAL NOTE: EXISTING MAN DOOR TO BE PAINTED PT-2 ON INTERIOR UNLESS NOTED OTHERWISE (AND FRAME)

EXISTING FIRE RATED WALL = 4 HR

PROPOSED FIRE RATED WALL = 2 HR
EXISTING PARTITION REQUIRED TO HAVE ADDITIONAL TYPE-X GWB ADDED TO ACHIEVE 2HR REQUIRED WALL RATING.

EXISTING FIRE RATED WALL = 1 HR

EXISTING FIRE RATED WALL = 45 MIN

DENOTES AREA OUT OF SCOPE

ROLL UP DOOR SPEED TABLE

ASSA ABLOY HIGH SPED RR3000GL VISION WITH AUTOMATIC DOOR OPENING SENSORS.

1

1ST FLOOR TILE TO BE CENTERED ON DOOR OPENING

2

NEW KEY DROP

3

NEW METAL CHANGING ROOM PARTITION REQUIRED

4

NEW SERVICE PEDESTAL

5

PROPOSED WORK STATION DESK - REFER TO ELECTRICAL.

6

LOCATION IN SHOWROOM FOR DEMO WALL CONNECTOR. NO POWER OR DATA REQUIRED.

7

PROPOSED INFILL OF EXISTING DOOR OPENING. EXISTING WALL THICKNESS ROUGHLY 5". GC TO PROVIDE NEW 92mm STUD WITH 1 LAYER 13mm GWB EACH SIDE TO U/S EXISTING CEILING.

8

PROVIDE 3/8" WATER LINE WITH SHUT OFF FOR COFFEE MACHINE AND WATER DISPENSER BY GC. SEE PLUMBING DRAWINGS.

9

CLEAN AND REFURBISH (E) STOREFRONT OR (E) DOOR TO LIKE NEW-CONDITION", TYP.

10

FLOORING WHERE INDICATED TO REMAIN, PATCH AND REPAIR CRACKED SEALED FLOOR AS NEEDED TO ACCOMMODATE NEW LIFTS. RE-SEAL WITH EPOXY SEALER TO MATCH EXISTING.

11

FLOOR AREAS AS INDICATED WITH THIS NUMBER ARE TO REMAIN AS IS UNLESS NOTED OTHERWISE.

12

FLOOR TRANSITION STRIP TO BE INSTALLED WHERE NOTED FOR NEW FLOORING TRANSITIONS.

13

1ST CARPET TILE TO BE CENTERED ON DOOR OPENING, CARPET TILE PATTERN TO BE ASHLAR

14

PROPOSED LOCATION OF FORKLIFT AND CHARGING

15

(E) LINE OF BULKHEAD ABOVE, PATCH AND REPAIR REFER TO SECTIONS FOR MORE INFORMATION ON HEIGHT.

16

(N) NEW ASSA ALBOY FULL VISION PANEL OVERHEAD DOORS (REFER TO A4.01b)

17

RELOCATED STOREFRONT ENTRY DOORS

18

FOR COLUMN LESS THAN 12" DIA, INSTALL RED ROUND OR SQUARE PADDING TO 3H, PAINT COLUMN TO PT-2; FOR COLUMN LARGER THAN 12" DIA, PAINT PT-1 TO DECK, NO PADDING, TYP.

19

(E) FIRE DEPARTMENT CONNECTION (SIAMESE CONNECTION)

20

ALL POWERS TO BE TERMINATED WITH 10' WHIP IN J BOXES ABOVE FUTURE LIFTS, TYP.

21

PROPOSED FULL HEIGHT PARTITION TO U/S DECK

22

NEW HOSE BIBB

23

PROPOSED TRENCH DRAIN WITH OIL GRIT INTERCEPTOR.

24

PROPOSED LOCATION OF FIRE ALARM CONTROL PANEL.

25

PROPOSED LOCATION OF FIRE ALARM ANNUNCIATOR PANEL.

26

FLOOR: ABRASIVE ACTION II BROADLOOM - 6', WINTER GRAY - WIDE POWERBOND RS BACKING

27

EXISTING DEMISING WALL TO HAVE ADDITIONAL LAYERS OF TYPE-X GYPSUM BOARD ADDED TO BRING WALL RATING TO 2 HOURS.

MAIN FLOOR GFA - PROPOSED (NO CHANGE)
(NOT INCLUDING NEIGHBOURING TENANT):
2,550.8m²

WASHROOM
WALLS: PT-2
FLOOR: CT-1
BASE: CT-1

CONFERENCE RM
WALLS: PT-2
FLOOR: CPT-5
BASE: VB-1

SERVICE
WALLS: PT-2
FLOOR: SC-1
BASE: VB-1

WASHBAY
WALLS: PT-2
FLOOR: SC-1
BASE: VB-1

MECH. ROOM
WALLS: EXISTING
FLOOR: EXISTING
BASE: EXISTING

ELECT. ROOM
WALLS: EXISTING
FLOOR: EXISTING
BASE: EXISTING

WASHROOM
WALLS: PT-2
FLOOR: VCT-1
BASE: VB-1

WASHROOM
WALLS: PT-2
FLOOR: VCT-1
BASE: VB-1

STAIR ST-1
WALLS: PT-2
FLOOR: SEE NOTE 26
BASE: VB-1

LOCKER ROOM
WALLS: PT-2
FLOOR: VT1-A
BASE: VB-1

CONFERENCE RM
WALLS: PT-2
FLOOR: CPT-5
BASE: VB-1

CONFERENCE RM
WALLS: PT-2
FLOOR: CPT-5
BASE: VB-1

SHOWROOM
WALLS: PT-2
FLOOR: CPT-5
BASE: VB-1

OFFICE
WALLS: PT-2
FLOOR: CPT-5
BASE: VB-1

STAIR ST-2
WALLS: PT-2
FLOOR: VT1-A
BASE: VB-1

LOUNGE
WALLS: PT-2
FLOOR: CPT-5
BASE: VB-1

STAIR ST-3
WALLS: PT-2
FLOOR: VCT-1
BASE: VB-1

PARTS & STORAGE
WALLS: PT-2
FLOOR: SC-1
BASE: VB-1

PDI AREA
WALLS: PT-2
FLOOR: SC-1
BASE: VB-1

BREAKROOM
WALLS: PT-2
FLOOR: SC-1
BASE: VB-1

DROP OFF
WALLS: PT-2
FLOOR: SC-1
BASE: VB-1

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CONSTRUCTION
& FINISH PLAN
-MAIN FLOOR

SCALE: AS NOTED
PROJECT NUMBER: 21.143

SHEET NUMBER

A2.01a

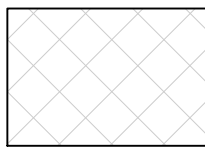
CONSTRUCTION & FINISH -MAIN FLOOR PLAN

SCALE:
3/32" = 1'-0"

1

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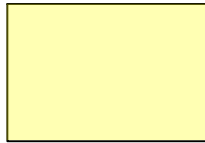
 DENOTES AREA OUT OF SCOPE

 SERVICE SHOP - GROUP F, DIV 2
AREA: 2,007.1m²

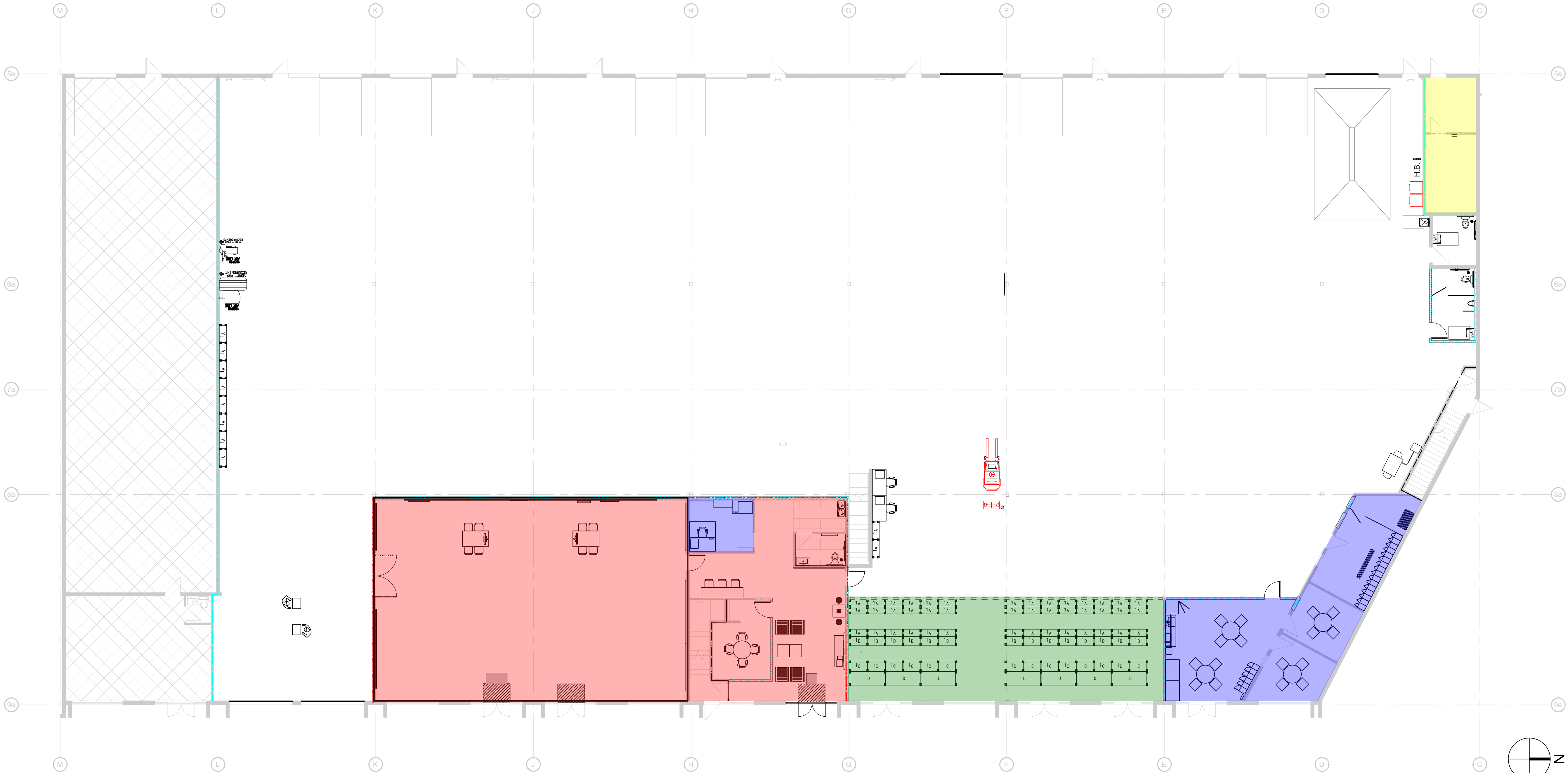
 SHOWROOM & CUSTOMER LOUNGE - GROUP F, DIV 3
AREA: 310.7m²

 PARTS STORAGE - GROUP F, DIV 2
AREA: 110.8m²

 OFFICE AREA (MAIN FLOOR) - GROUP D
FOR SECOND FLOOR AREA SHOWN ON A2.01d
AREA: 98.6m²

 BUILDING SERVICES
AREA: 23.6m²

MAIN FLOOR GFA - PROPOSED (NO CHANGE)
(NOT INCLUDING NEIGHBOURING TENANT);
2,550.8m²



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PROPOSED
FLOOR PLAN
AREAS

SCALE: AS NOTED
PROJECT NUMBER: 21.143

SHEET NUMBER

A2.01c

PROPOSED FLOOR PLAN AREAS

SCALE:
3/32" = 1'-0"

1

DENOTES AREA OUT OF SCOPE

OFFICE AREA (SECOND FLOOR) - GROUP D
AREA: 245.0m²

I.T. ROOM
AREA: 21.4m²

STAIRWELL SHOWROOM - GROUP F, DIV 3
AREA: 10.6m²

SECOND FLOOR GFA (PROPOSED - NO CHANGE)
(NOT INCLUDING NEIGHBOURING TENANT):
277m²



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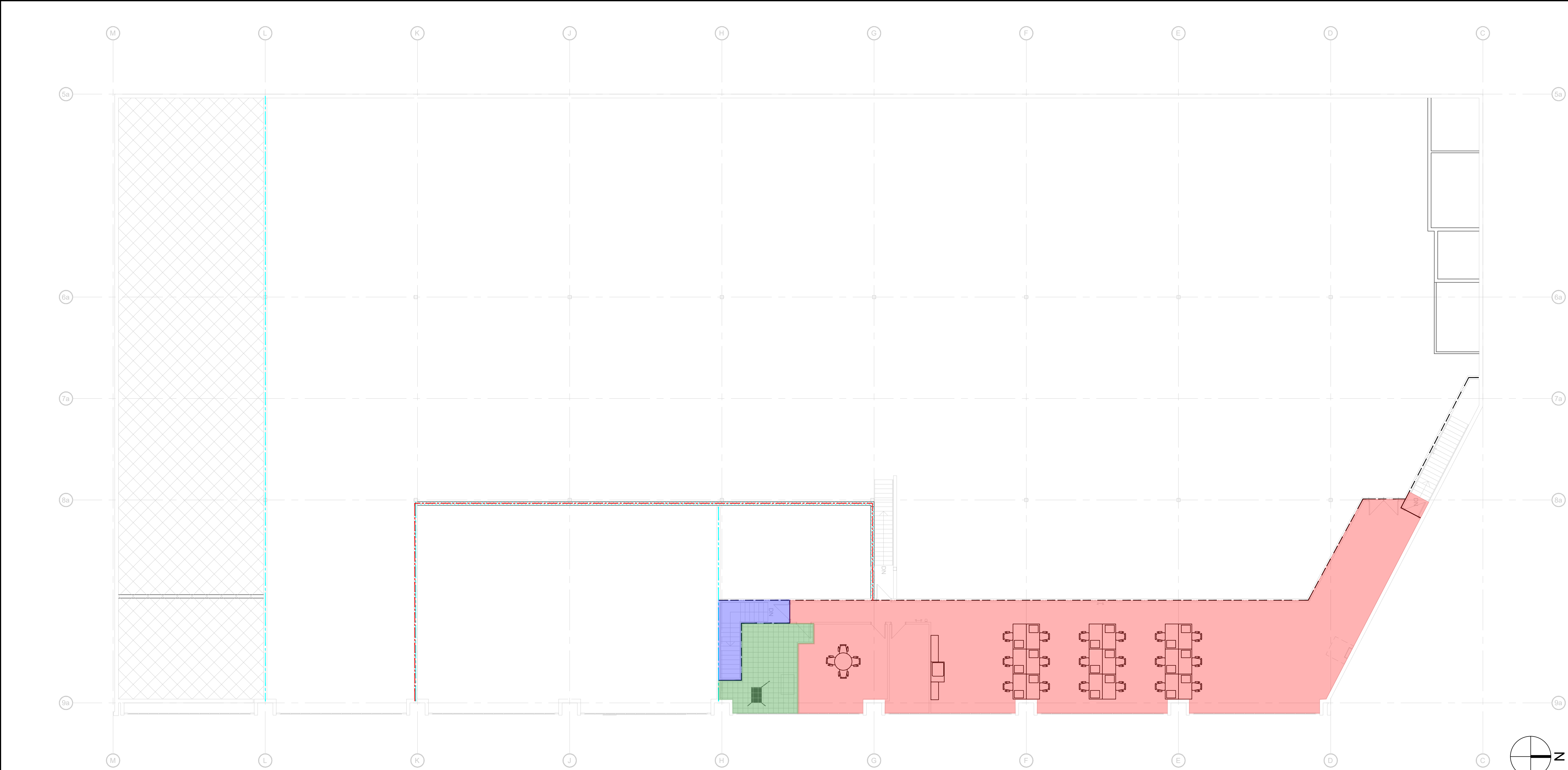
DRAWING TITLE

PROPOSED
FLOOR PLAN
AREAS -
SECOND FLOOR

SCALE: AS NOTED
PROJECT NUMBER: 21.143

SHEET NUMBER

A2.01d



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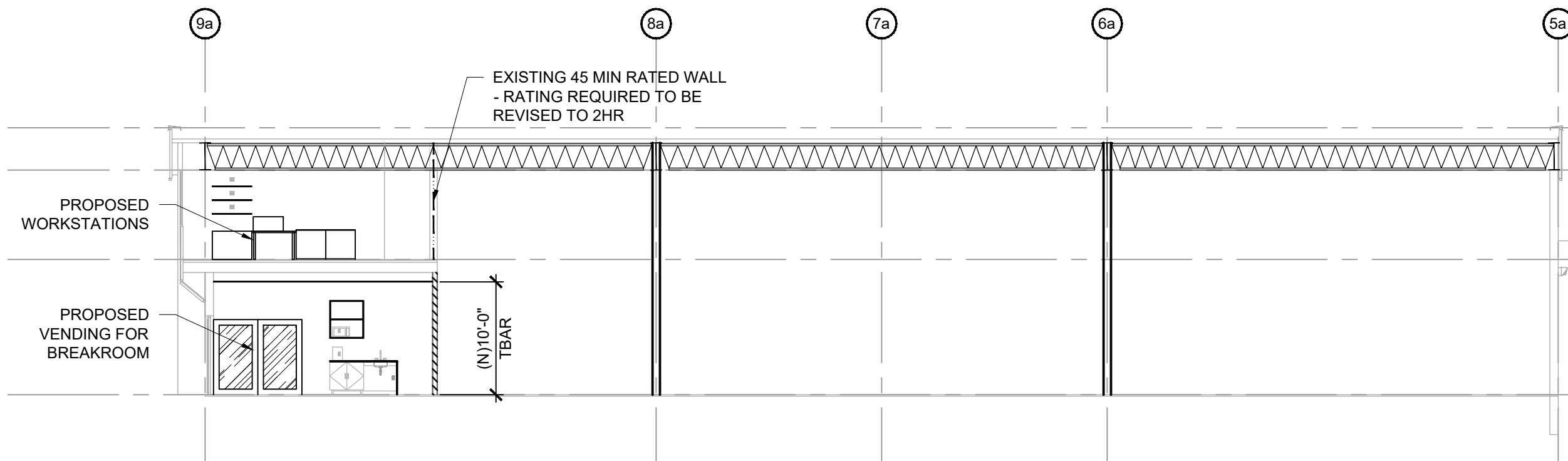
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INTERIOR
ELEVATIONS

SCALE: AS NOTED
PROJECT NUMBER: 21.143

SHEET NUMBER

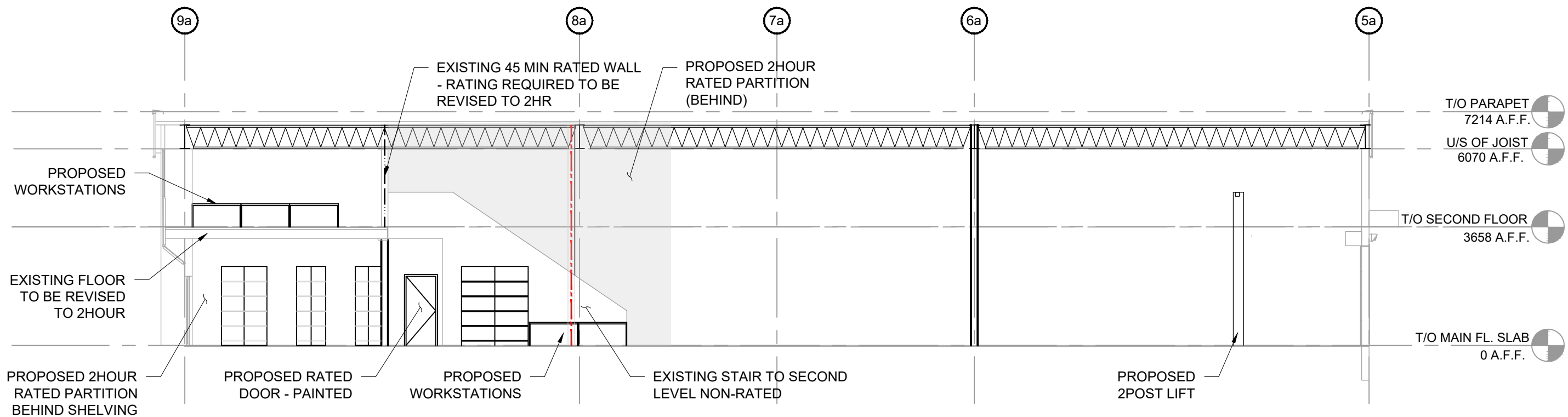
A2.01e



INTERIOR SECTION / ELEVATION

SCALE:
3/32" = 1'-0"

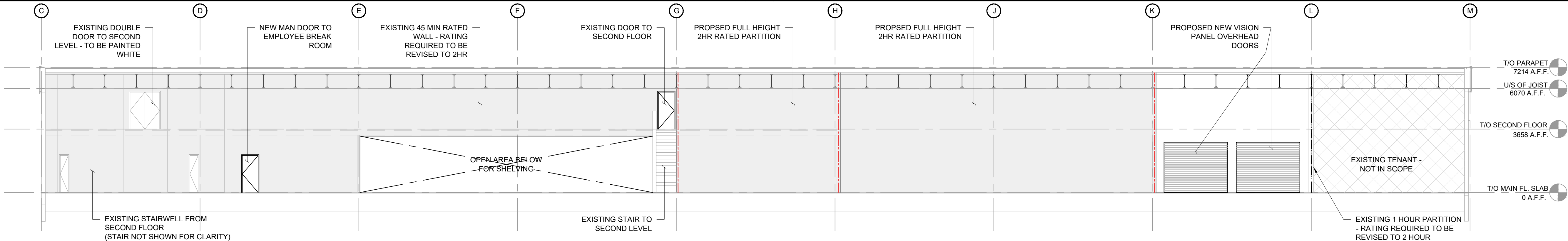
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INTERIOR SECTION / ELEVATION

SCALE:
3/32" = 1'-0"

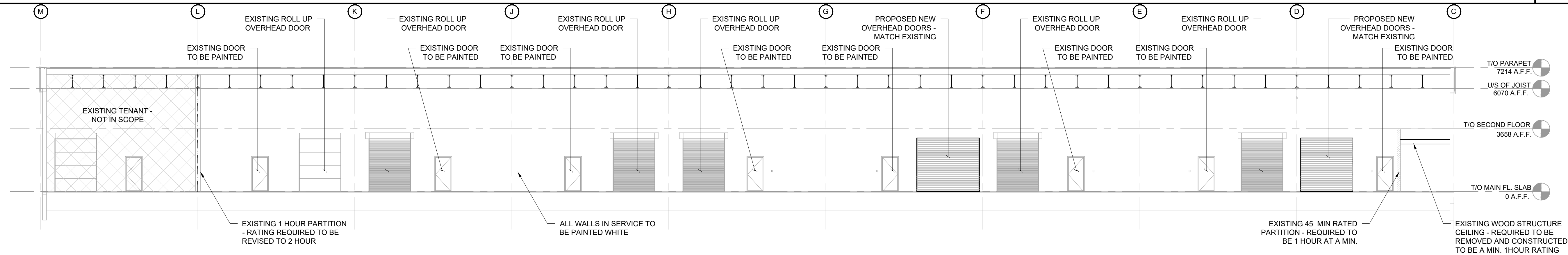
3



INTERIOR SECTION / ELEVATION

SCALE:
3/32" = 1'-0"

2



INTERIOR SECTION / ELEVATION

SCALE:
3/32" = 1'-0"

1



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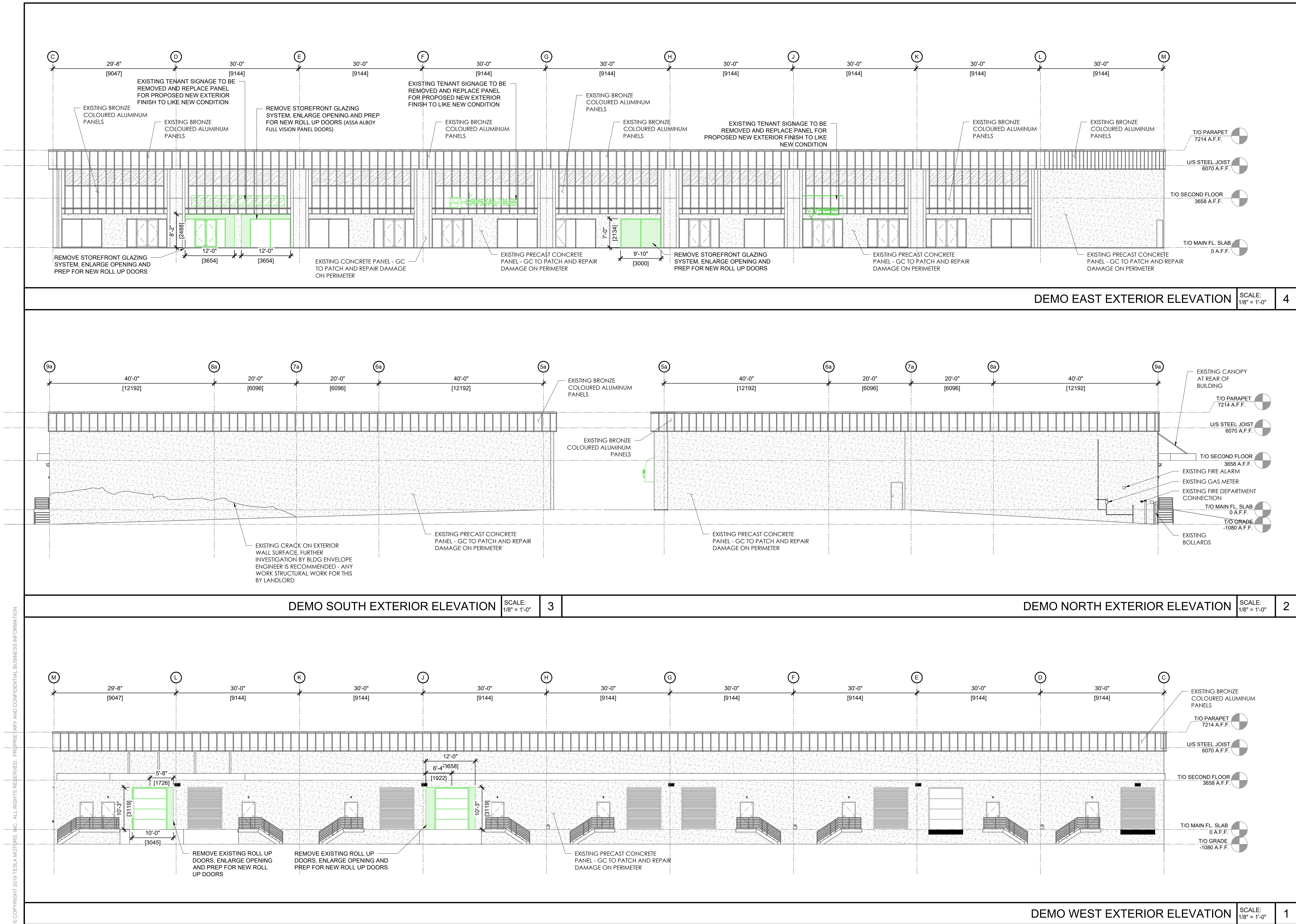
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EXTERIOR
ELEVATIONS -
DEMO

SCALE: AS NOTED
PROJECT NUMBER: 21.143

SHEET NUMBER

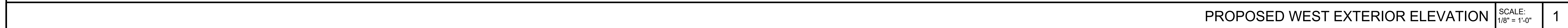
A4.01a





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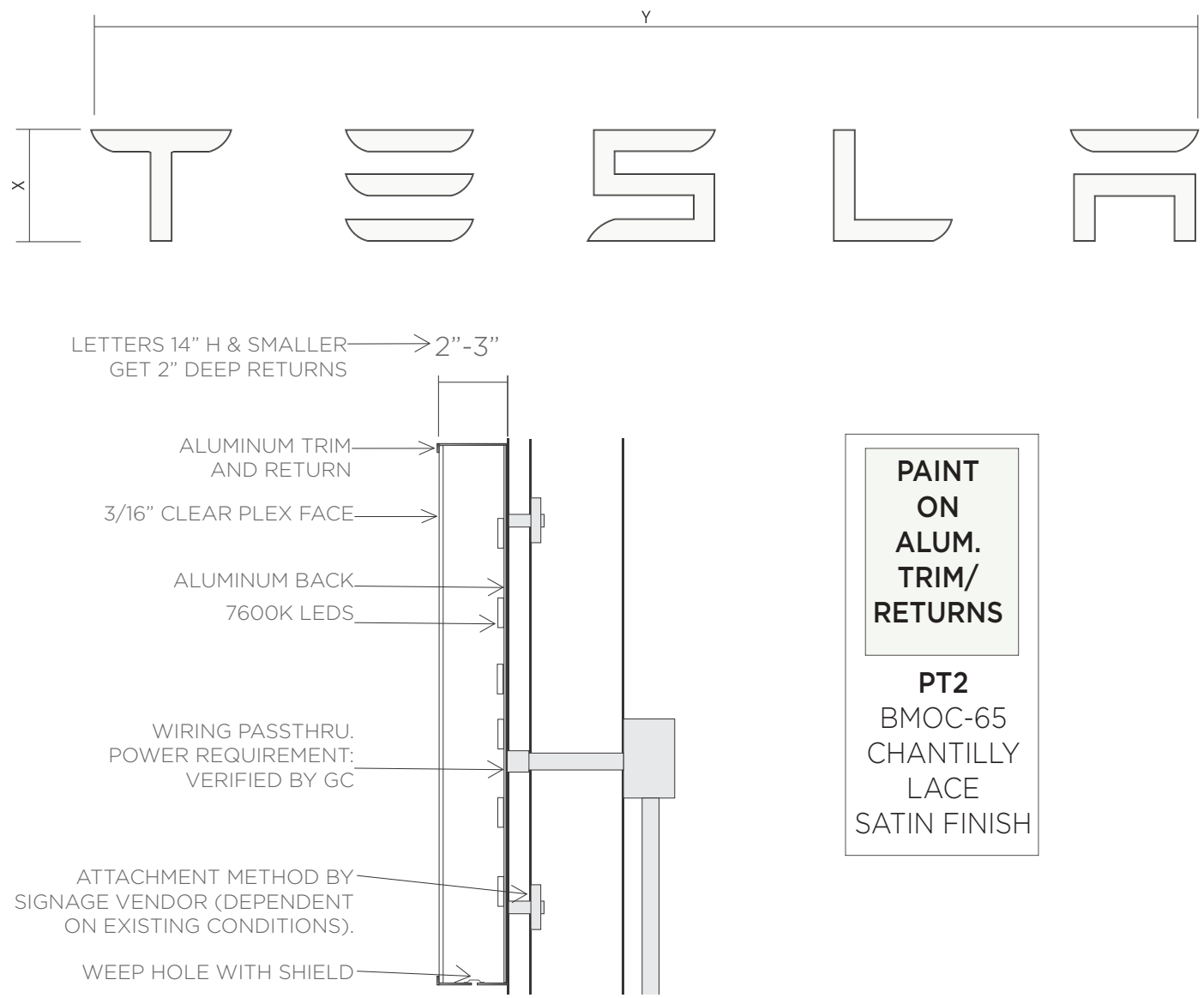


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PART NO.	ITEM DESCRIPTION	VENDOR	VENDOR ID	FINISH	REMARKS
EXTERIOR PAINT FINISHES					
PT-5	PAINT	BENJAMIN MOORE	BM 2124-20 "TROUT GRAY"	SEE SPECS	INTERIOR: FLAT MATTE, EGGSHELL PEARL/SATIN EXTERIOR: FLAT LOW LUSTRE, SOFT GLOSS/SATIN SEMI GLOSS
PT-8	PAINT	BENJAMIN MOORE	BM 2124-50 "BUNNY GRAY"	SEE SPECS	INTERIOR: FLAT MATTE, EGGSHELL PEARL/SATIN EXTERIOR: FLAT LOW LUSTRE, SOFT GLOSS/SATIN SEMI GLOSS

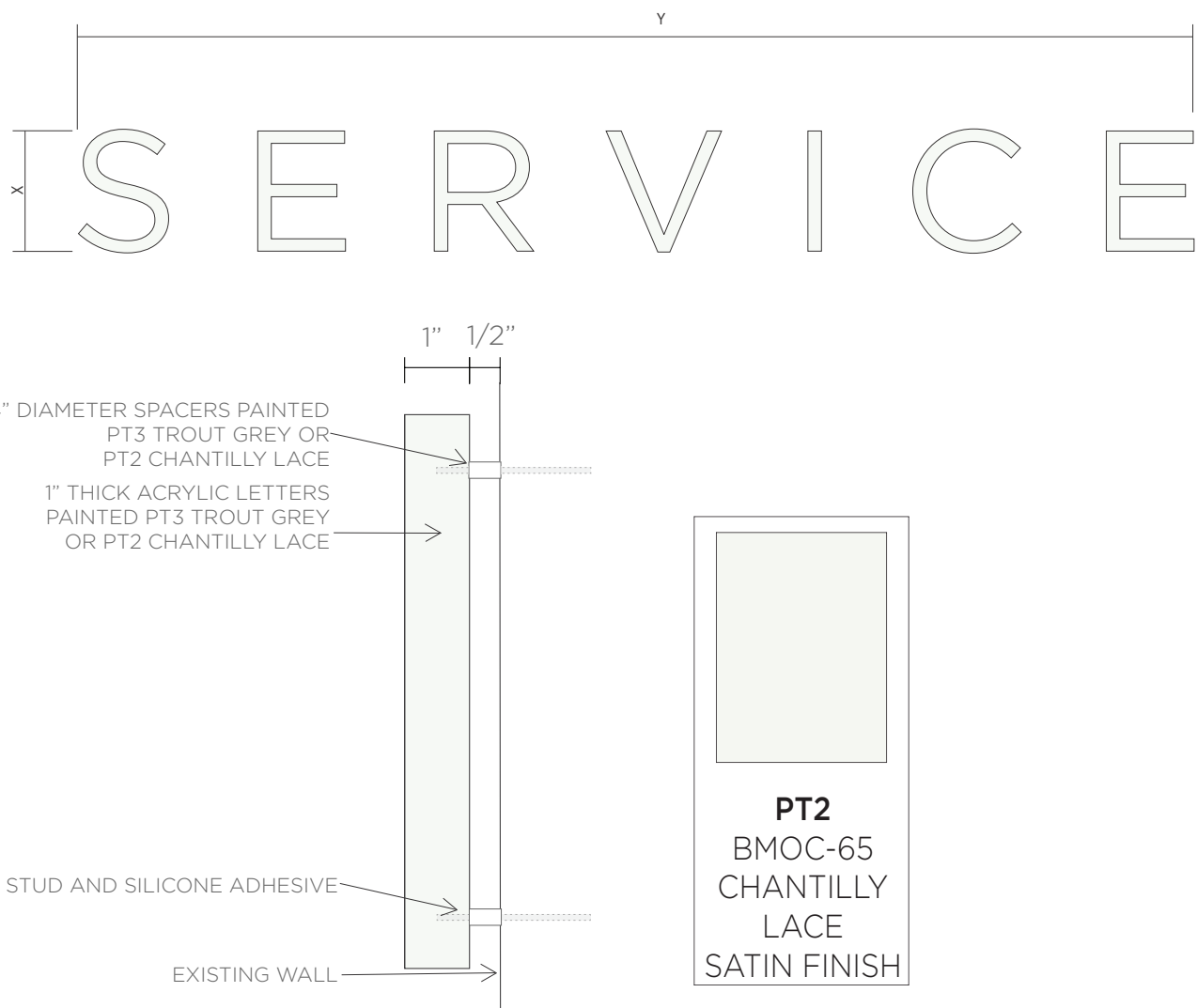
REFER TO SHEET A4.01b FOR PROPOSED EXTERIOR ELEVATIONS & FINISHING CALL OUTS.

REALISTIC VIEWS SHOW AMBIENT SHADOWS WHICH CAN APPEAR AS DIFFERENT SHADES DEPENDING ON THE SURFACE PLANE.
REFER TO THE DETAILED EXTERIOR ELEVATIONS ON SHEET A4.01b FOR EXTACT FINISH SPECIFICATION AND PLACEMENT.



STANDARD SPACING		
X	Y	SQ. FT.
2'-6"	24'-7 1/8"	61.48

**PROPOSED 'TESLA' SIGNAGE
BY OTHERS FOR REFERENCE
(ILLUMINATED)**



SERVICE		
X	Y	SQ. FT.
1'-0"	9'-3 3/8"	9.28

**PROPOSED 'SIGNAGE'
BY OTHERS FOR REFERENCE
(NON-ILLUMINATED)**



TI STUDIOS
ARCHITECTURE

TESLA CENTER
TRT ID 12616

2505 EASTBROOK
PARKWAY
BURNABY, BC

ISSUE / REVISION

2021-10-05	PUBLIC HEARING
2021-10-19	PUBLIC HEARING
2021-11-02	PUBLIC HEARING

BEFORE BID AWARD:

AFTER BID AWARD:

DRAWING TITLE

EXTERIOR
RENDERINGS
AND FINISHING
SCHEDULES

SCALE: AS NOTED
PROJECT NUMBER: 21.143

SHEET NUMBER

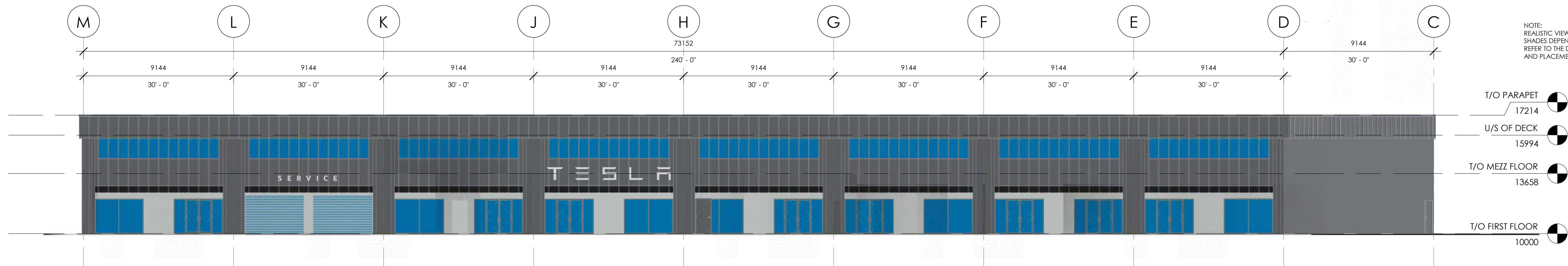
A4.01c

PROPOSED EXTERIOR RENDERING ISO

SCALE:
NTS

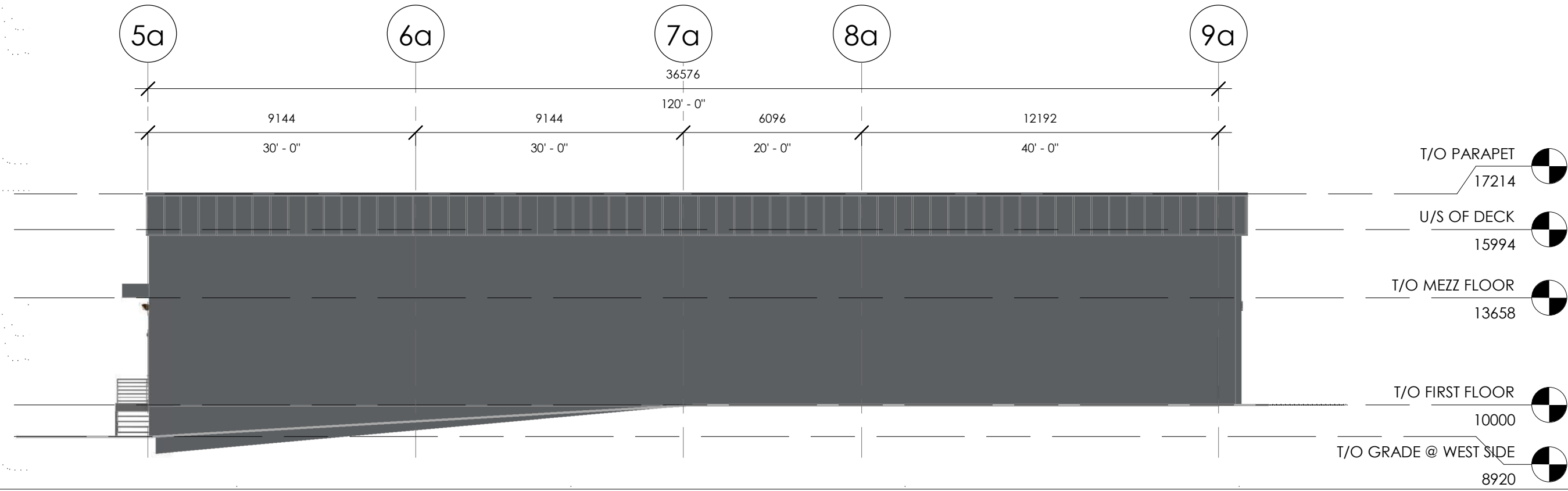
1

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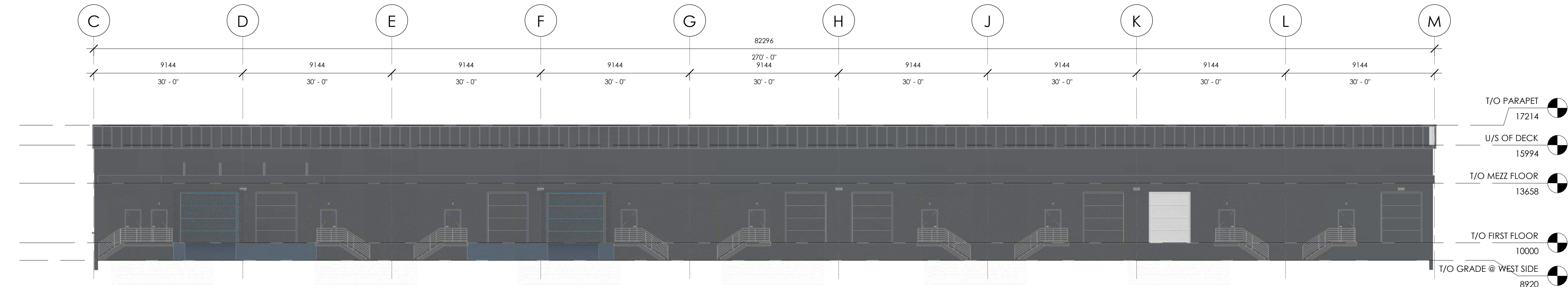
PROPOSED EAST EXTERIOR ELEVATION
NTS

1



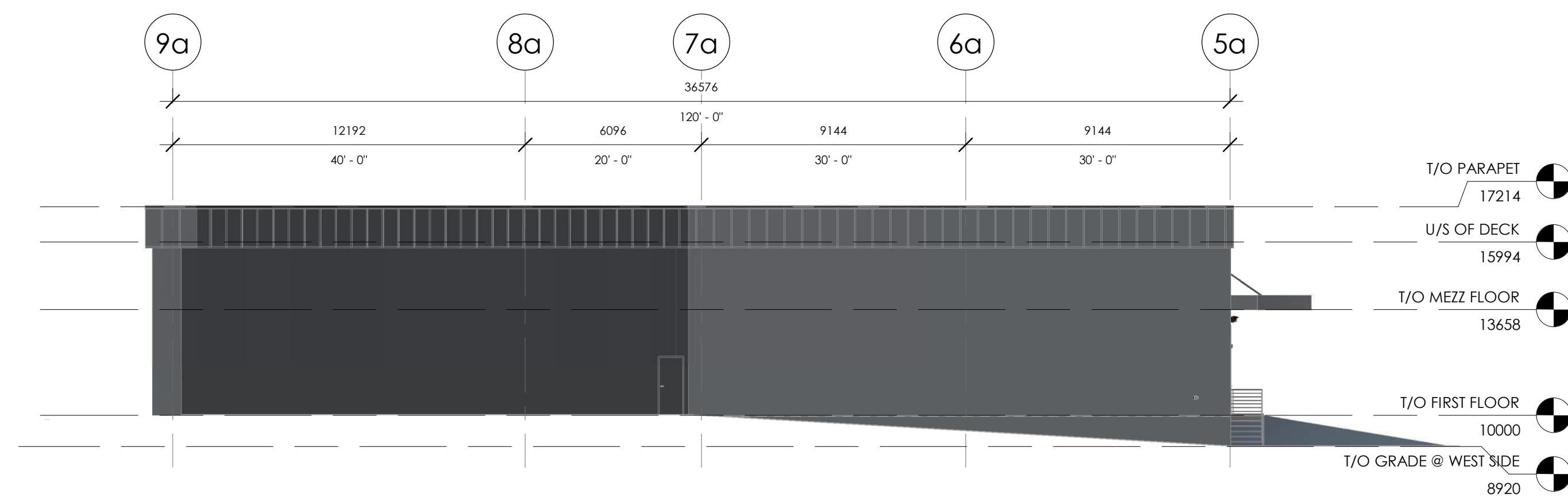
PROPOSED SOUTH EXTERIOR ELEVATION
NTS

2



PROPOSED WEST EXTERIOR ELEVATION
NTS

3



PROPOSED NORTH EXTERIOR ELEVATION
NTS

4



TESLA CENTER
TRT ID 12616

2505 EASTBROOK
PARKWAY
BURNABY, BC

ISSUE / REVISION	
2021-08-05	RE-ISSUED FOR BIDDING
2021-10-05	PUBLIC HEARING
2021-10-09	PUBLIC HEARING
BEFORE BID AWARD:	
AFTER BID AWARD:	

DRAWING TITLE

EXTERIOR
ELEVATIONS -
PROPOSED

SCALE: AS NOTED
PROJECT NUMBER: 21.143

SHEET NUMBER

A4.01d