



BOARD OF VARIANCE REFERRAL LETTER

DATE: November 28, 2014	DEADLINE: December 9, 2014 for the January 8, 2015 hearing	<i>This is <u>not</u> an application. Please take letter to Board of Variance. (Clerk's office - Ground Floor)</i>	
NAME OF APPLICANT: Gurcharan Minhas			
ADDRESS OF APPLICANT: 7518-115A Street Delta, B.C. V4C 5P8			
TELEPHONE: 604.897.1933			
PROJECT			
DESCRIPTION: New Two Family Dwelling			
ADDRESS: 7689/91 Rosewood Street			
LEGAL:	LOT: 11	DL: 30	PLAN: 19519

The above mentioned application, which includes the attached plan of the proposal, has been refused by the Building Department on the basis of contravention of:

Zone/Section(s) R5 [105.9]
of the Burnaby Zoning Bylaw No. 4742

COMMENTS:

The applicant is proposing to build a new two family dwelling. The following relaxation is being requested.

- 1) The front yard setback will be 23.5 feet to the post where a minimum front yard setback of 26.55 feet is required based on front yard averaging. The roof overhang will be 2.0 feet beyond the post.

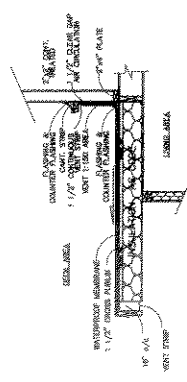
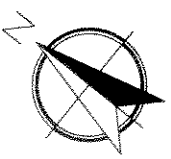
Note: The applicant recognizes that should the project contain additional characteristics in contravention of the zoning by-law a future appeal(s) may be required.

DS

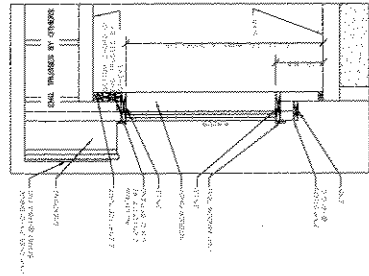
Peter Kushnir
Assistant Chief Building Inspector, Permits and Customer Service

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BUILDING DEPARTMENT

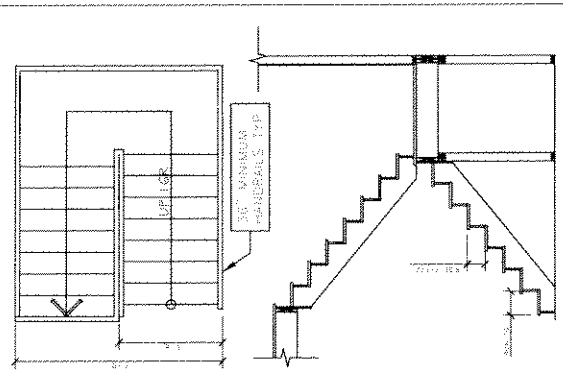


CROSS VENTILATION DETAIL
FOR ENCLOSED ROOFS
SCALE: 1/2"=10"



WINDOW SEAT
SECTION
SCALE: 1/2"=1'

AREA STATEMENT (R5 ZONING)			
ITEM	EXISTING	PROPOSED	NOTES
TOTAL AREA 2212.50 SQ. FT.	2212.50 SQ. FT.	2212.50 SQ. FT.	
LOT COVERAGE	33.00 SQ. FT.	33.00 SQ. FT.	
FLOOR AREA RATIO			
UNIT A	1286 SQ. FT.	1286 SQ. FT.	
UNIT B	1286 SQ. FT.	1286 SQ. FT.	
TOTAL	2572 SQ. FT.	2572 SQ. FT.	
GARAGE			
UNIT A	230 SQ. FT.	230 SQ. FT.	
UNIT B	152 SQ. FT.	152 SQ. FT.	
TOTAL	382 SQ. FT.	382 SQ. FT.	
DECK AREA @ 5%			
UNIT A	152 SQ. FT.	152 SQ. FT.	
UNIT B	152 SQ. FT.	152 SQ. FT.	
TOTAL	304 SQ. FT.	304 SQ. FT.	
SCREEN			
UNIT A	30 SQ. FT.	30 SQ. FT.	
UNIT B	30 SQ. FT.	30 SQ. FT.	
TOTAL	60 SQ. FT.	60 SQ. FT.	



STAIR DETAIL
SCALE: 1/2"=1'

NOTES:

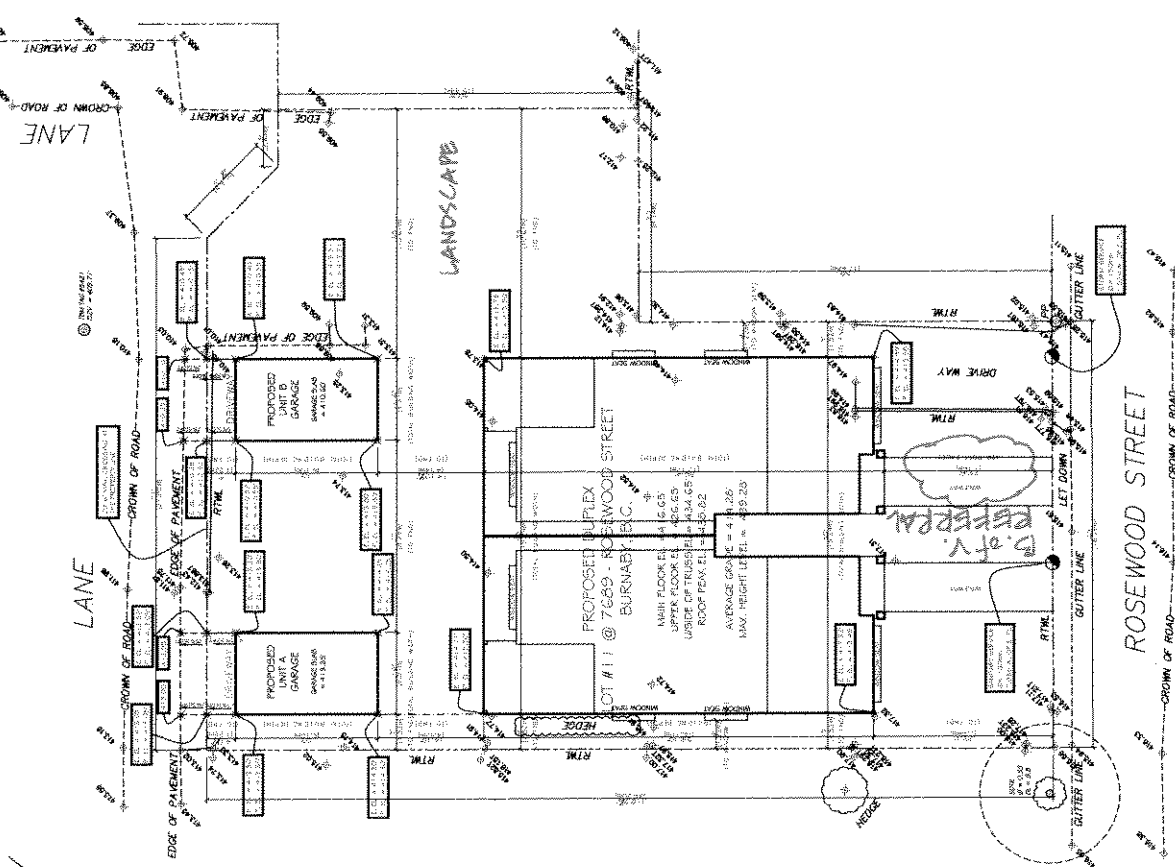
1. WRITTEN DIMENSION SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.
2. CONDITIONS PRIOR TO COMMENCEMENT OF THE WORK.
3. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE BRITISH COLUMBIA BUILDING CODE, 2012 EDITION.
4. ALL CONCRETE WORK SHALL CONFORM TO THE REQUIREMENTS OF CSA (2012) LATEST EDITION.
5. ALL FRAMING SHALL BE DOUGLAS FIR, MINIMUM 3,000 PSI.
6. ALL FRAMING AND NAILING SHALL CONFORM TO THE REQUIREMENTS OF THE BRITISH COLUMBIA BUILDING CODE, 2012 EDITION.
7. ALL FRAMING LUMBER SHALL BE DOUGLAS FIR #2 OR BETTER.
8. ALL JOISTS SHALL BE DESIGN AND SEALED BY P.E. REGISTERED IN B.C.
9. ALL PLYWOOD SHALL BE DOUGLAS FIR CONFORM TO CSA (2012) LATEST EDITION.
10. ALL DIMENSIONS ARE TO BE CHECKED ON SITE BEFORE WORK COMMENCES.
11. ALL DIMENSIONS ARE TO BE CHECKED ON SITE BEFORE WORK COMMENCES.

TOORA HOME PLANS

12468 107 AVE. TEL: (604) 961-4343
SUITE 110 B.C. 215 215 FAX: (604) 961-4343

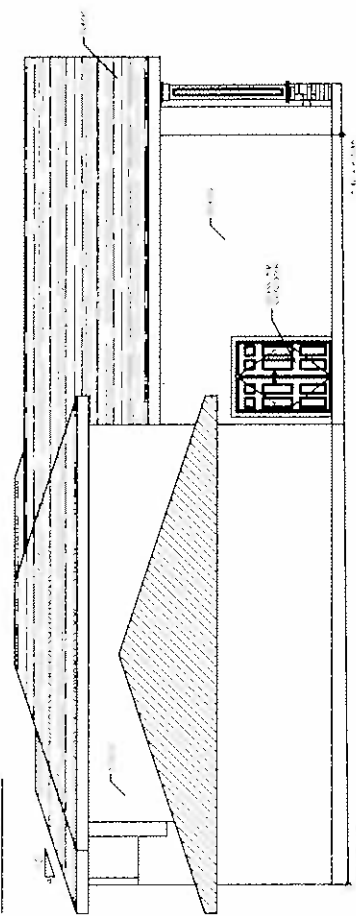
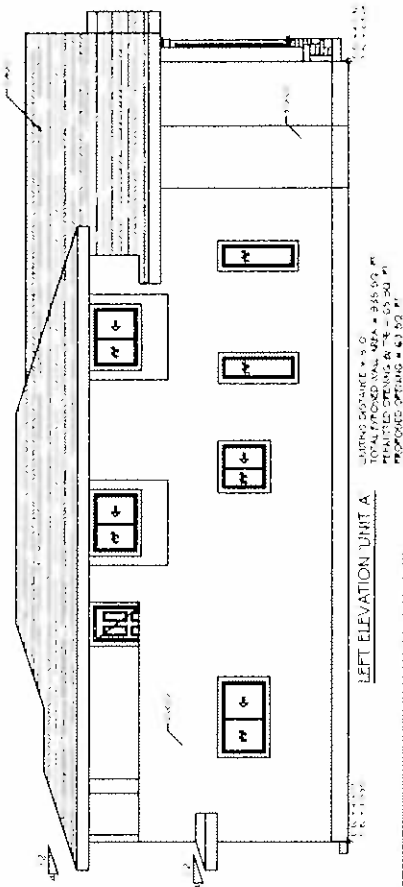
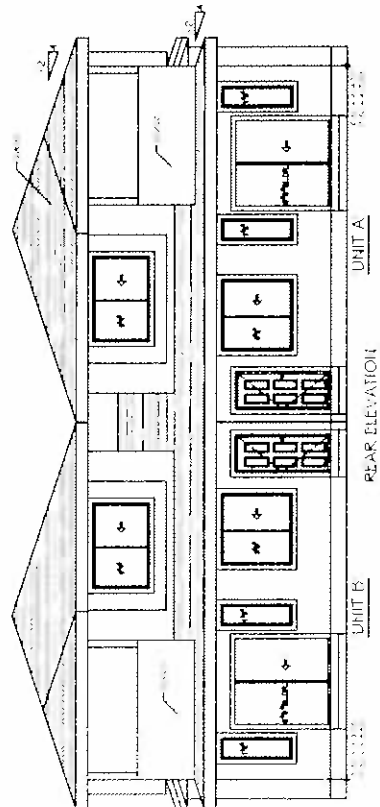
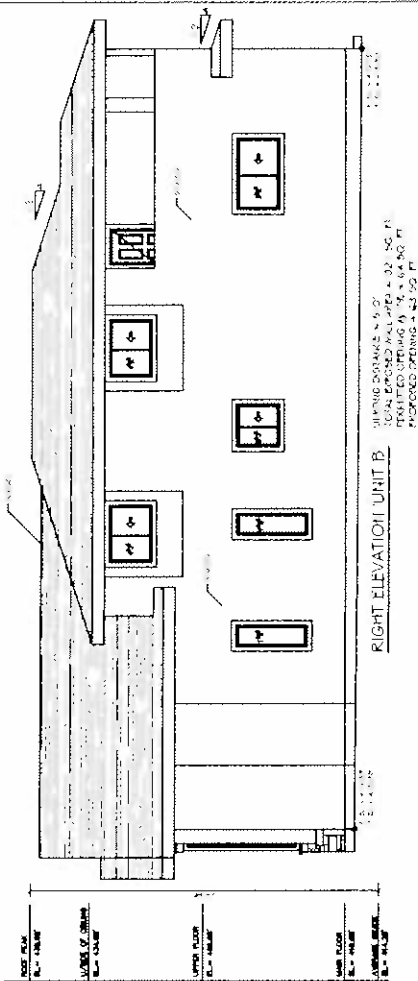
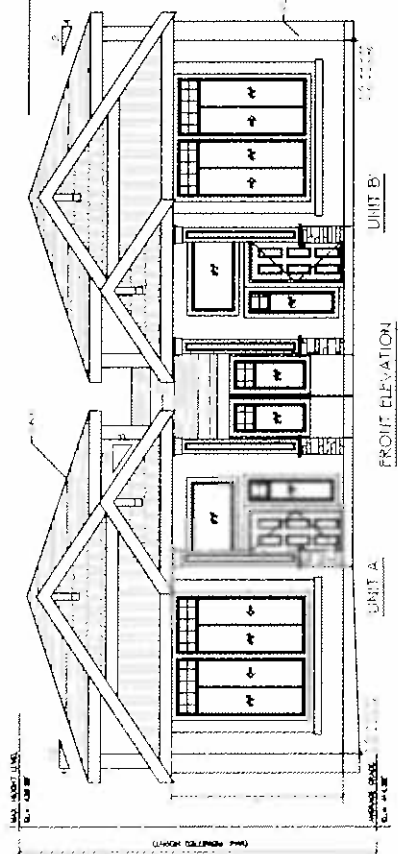
PROPOSED DUPLEX
LOT #11 @ 7689 - ROSEWOOD STREET
BURNABY, B.C.

SITE PLAN/NOTES/DETAILS	
SCALE	AS NOTED
DATE	06/14
DRAWN	R44 TOORHA
CHECKED	MRI BONGAR
A1	



SITE PLAN
SCALE: 1/8"=1'

NOV 18 2014



RIGHT ELEVATION UNIT A
LEFT ELEVATION UNIT B

TOORA HOME PLANS

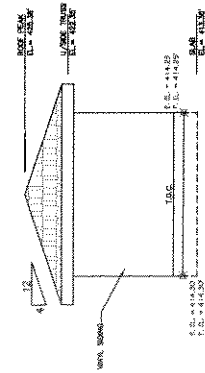
PROPOSED DUPLEX
LOT #11 • 7689 - ROSEWOOD STREET
BURNABY, B.C.

ELEVATIONS, PLAN			
STATION	INSTRUMENT	HEIGHT OF INSTRUMENT	HEIGHT OF OBJECT
1000	1/4"	1000	1000
1001	1/4"	1001	1001
1002	1/4"	1002	1002
1003	1/4"	1003	1003
1004	1/4"	1004	1004
1005	1/4"	1005	1005
1006	1/4"	1006	1006
1007	1/4"	1007	1007
1008	1/4"	1008	1008
1009	1/4"	1009	1009
1010	1/4"	1010	1010
1011	1/4"	1011	1011
1012	1/4"	1012	1012
1013	1/4"	1013	1013
1014	1/4"	1014	1014
1015	1/4"	1015	1015
1016	1/4"	1016	1016
1017	1/4"	1017	1017
1018	1/4"	1018	1018
1019	1/4"	1019	1019
1020	1/4"	1020	1020
1021	1/4"	1021	1021
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1080	1/4"	1080	1080
1081	1/4"	1081	1081
1082	1/4"	1082	1082
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1084	1/4"	1084	1084
1085	1/4"	1085	1085
1086	1/4"	1086	1086
1087	1/4"		

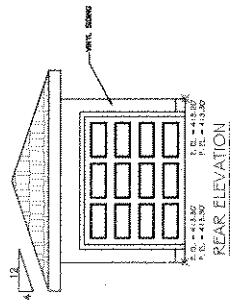
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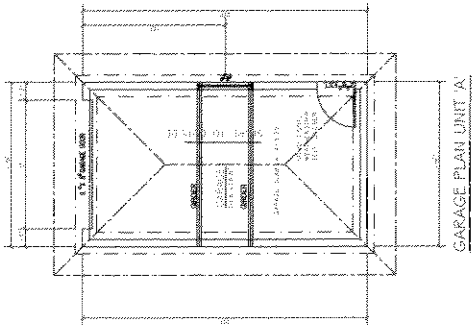
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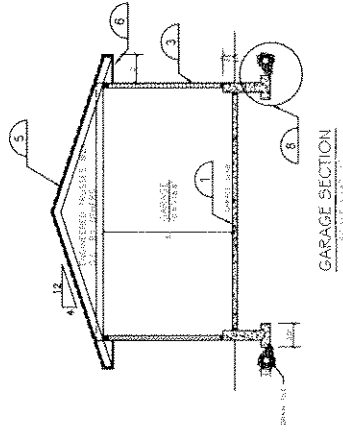
FRONT ELEVATION



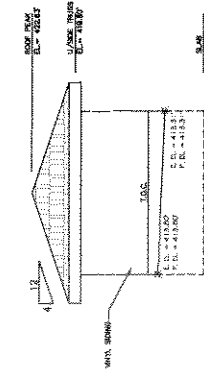
REAR ELEVATION



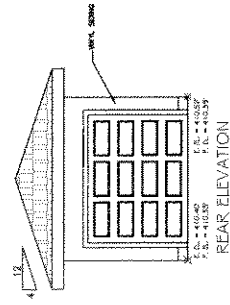
GARAGE FLOOR AREA = 230 SQ. FT.
SCALE: 1/4" = 1'-0"



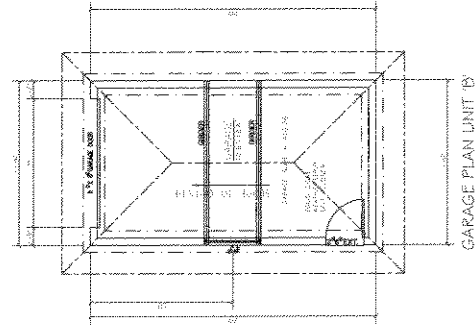
GARAGE SECTION



FRONT ELEVATION



REAR ELEVATION



GARAGE FLOOR AREA = 230 SQ. FT.
SCALE: 1/4" = 1'-0"

THESE PLANS CONFORM TO REQUIREMENTS IN THE B.C. BUILDING CODE 2012.	
TOORA HOME PLANS	
13648 - 1077 AVENUE	TEL: (604) 993-4342
13648 - 1077 AVENUE	TEL: (604) 993-4342
SUBJECT: B.C. 321.2.9 FAX: (604) 993-4342	
PROPOSED DUPLEX	
LOT #11 @ 7669 - ROSEWOOD STREET	
BURNABY, B.C.	
PROJECT #	
DATE: 11/14/14	DESIGN: RAL TOORA
BY: MC/14	REVIEW: MARY BONDAR
A 4	

POSTING PLAN OF LOT 11 DISTRICT LOT 30 GROUP 1 NEW WESTMINSTER DISTRICT PLAN 19519

PLAN EPP46602

PURSUANT TO SECTION 68 OF THE LAND TITLE ACT
B.C.G.S. 92G.026

INTEGRATED SURVEY AREA NO. 25,
CITY OF BURNABY, NAD83 (CSRS)

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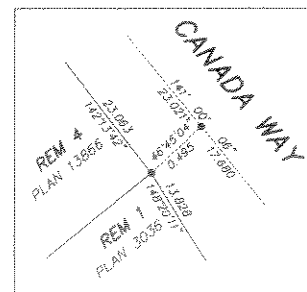
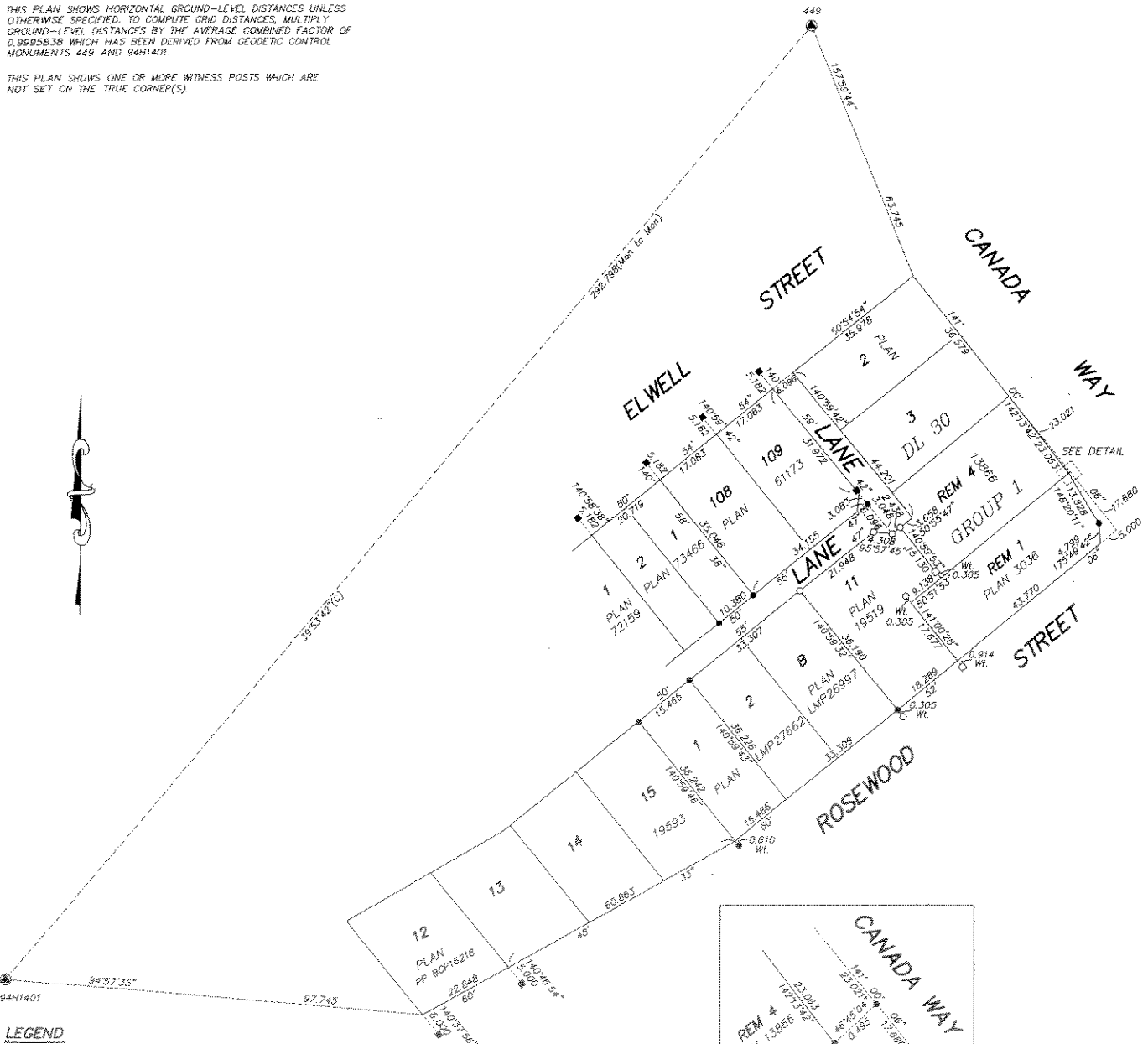
SCALE 1 : 750 DISTANCES ARE IN METRES

THE INTENDED PLOT SIZE OF THIS PLAN
IS 580mm IN HEIGHT BY 432mm IN WIDTH
(C SIZE) WHEN PLOTTED AT A SCALE OF 1:750

GRID BEARINGS ARE DERIVED FROM OBSERVATIONS BETWEEN
GEODETIC CONTROL MONUMENTS 449 AND 94H1401.

THIS PLAN SHOWS HORIZONTAL GROUND-LEVEL DISTANCES UNLESS
OTHERWISE SPECIFIED. TO COMPUTE GRID DISTANCES, MULTIPLY
GROUND-LEVEL DISTANCES BY THE AVERAGE COMBINED FACTOR OF
0.9995936 WHICH HAS BEEN DERIVED FROM GEODETIC CONTROL
MONUMENTS 449 AND 94H1401.

THIS PLAN SHOWS ONE OR MORE WITNESS POSTS WHICH ARE
NOT SET ON THE TRUE CORNER(S).



DETAIL
(NOT TO SCALE)

LEGEND

FOUND PLACED

- DENOTES CONTROL MONUMENT
- DENOTES IRON POST
- DENOTES LEAD PLUG
- W. DENOTES WITNESS
- C DENOTES CALCULATED
- PP DENOTES POSTING PLAN

THE FIELD SURVEY REPRESENTED BY THIS PLAN WAS
COMPLETED ON THE 10th DAY OF NOVEMBER, 2014.
LAKHJOT S. GREWAL B.C.L.S. #809

THIS PLAN LIES WITHIN THE GREATER VANCOUVER REGIONAL DISTRICT

GREWAL & ASSOCIATES
PROFESSIONAL LAND SURVEY
UNIT 204, 15299-68th AVE
SURREY, B.C. V3S 2C1
TEL: 604-597-8567
EMAIL: Office@GrewalSurveys.ca
FILE: 1409-039
DWG: 1409-039 P2

TOPOGRAPHICAL SURVEY PLAN OF LOT 11 DISTRICT LOT 30 GROUP 1 NWD PLAN 19519

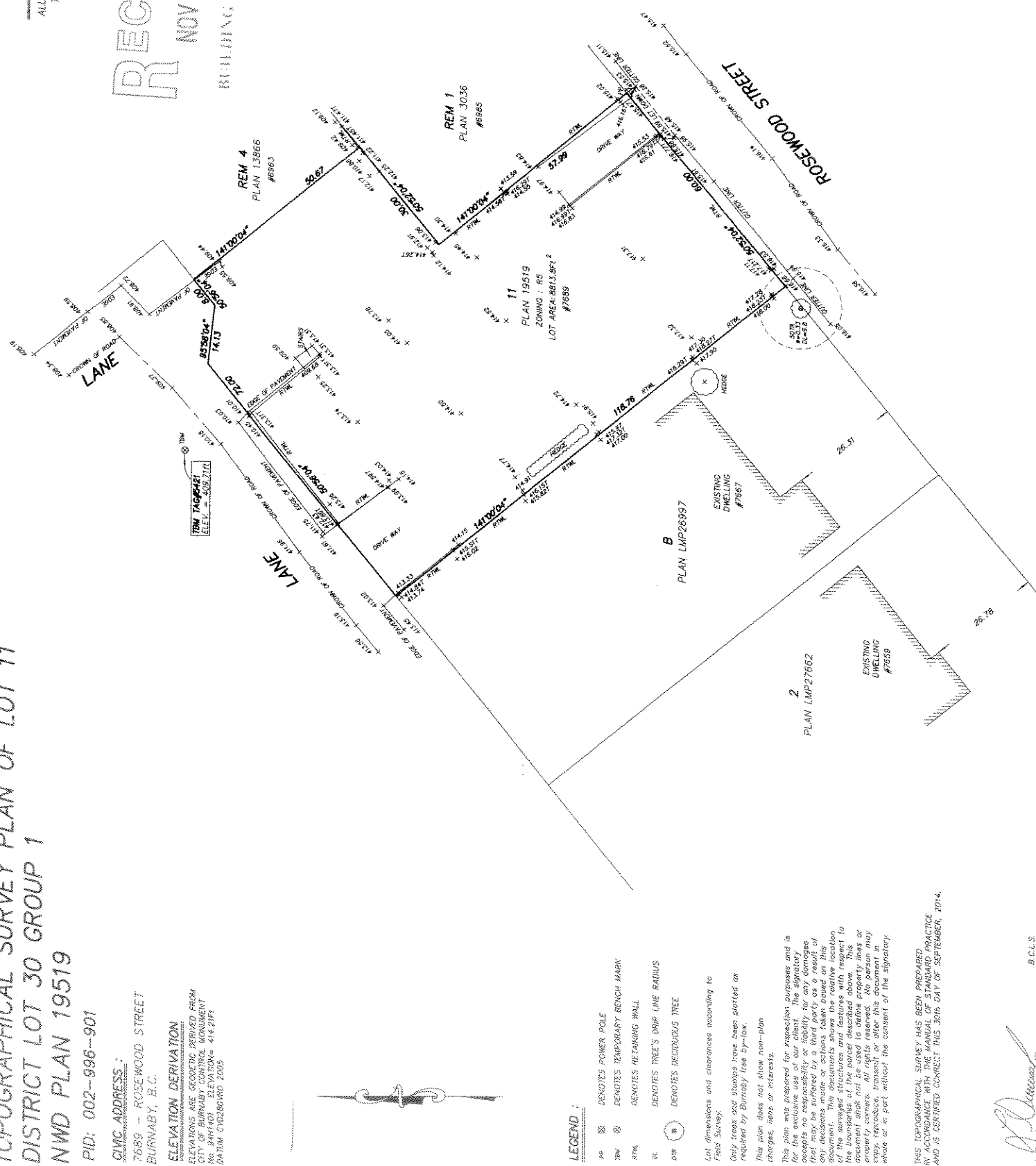
PID: 002-996-901

CIVIC ADDRESS:
7689 - ROSEWOOD STREET
BURNABY, B.C.

ELEVATION DERIVATION
ELEVATIONS ARE GEODETIC DERIVED FROM
CITY OF BURNABY CONTROL MONUMENT
No. 94H1403 ELEVATION= 414.21F1
DATUM: CY2000/2005

SCALE 1"=16'
ALL DIMENSIONS ARE IN FEET AND DECIMALS
THEREOF UNLESS OTHERWISE INDICATED

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BURNING BURNABY



- LEGEND:**
- PP 88 DENOTES POWER POLE
 - TM 88 DENOTES TEMPORARY BENCH MARK
 - RTM 88 DENOTES RETAINING WALL
 - BL 88 DENOTES TREE'S DROP LINE RADIUS
 - DTM 88 DENOTES DECIDUOUS TREE

Lot dimensions and clearances according to Field Survey.
Only trees and stumps have been plotted on required by Burnaby line by-law.
This plan does not show non-plan changes, vents or interests.
This plan was prepared for inspection purposes and is for the exclusive use of our client. The signatory hereby warrants that the survey was conducted in accordance with the standards of the profession and that the information contained herein is true and correct to the best of their knowledge and belief. No liability shall be assumed by the signatory for any damages or losses resulting from the use of this plan for any purpose other than that for which it was prepared. The documents show the relative location of the surveyed structures and features with respect to the surveyed boundaries. This plan is not to be used as a legal document and should not be relied upon for any legal purpose. All rights reserved. No person may copy, reproduce, transmit or alter this document in whole or in part without the consent of the signatory.

THIS TOPOGRAPHICAL SURVEY HAS BEEN PREPARED IN ACCORDANCE WITH THE MANUAL OF STANDARD PRACTICE AND IS CERTIFIED CORRECT THIS 26th DAY OF SEPTEMBER, 2014.

[Signature]
B.C.L.S.