

BOARD OF VARIANCE REFERRAL LETTER

DATE: December 29, 2014	DEADLINE: January 13, 2015 for the February 5, 2015 hearing	<i>This is not an application. Please take letter to Board of Variance. (Clerk's office - Ground Floor)</i>	
NAME OF APPLICANT: Dave Ghataurah			
ADDRESS OF APPLICANT: 4055 Lister Court, Burnaby V5G 2C3			
TELEPHONE: 604-760-3500			
PROJECT			
DESCRIPTION: New single family dwelling			
ADDRESS: 4084 Fir Street			
LEGAL:	LOT: 70	DL: 35	PLAN: 27645

The above mentioned application, which includes the attached plan of the proposal, has been refused by the Building Department on the basis of contravention of:

Zone/Section(s) R4 [104.9]
of the Burnaby Zoning Bylaw No. 4742

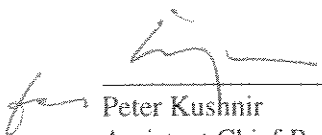
COMMENTS:

The applicant is proposing to build a new single family dwelling. The following relaxation is being requested.

- 1) The front yard setback, to the foundation, will be 24.70 feet where a minimum front yard setback of 42.67 feet is required based on front yard averaging. The overhang projects 2 feet beyond the foundation. The porch stairs project 6.0 feet beyond the foundation.

Note: The applicant recognizes that should the project contain additional characteristics in contravention of the zoning by-law a future appeal(s) may be required.

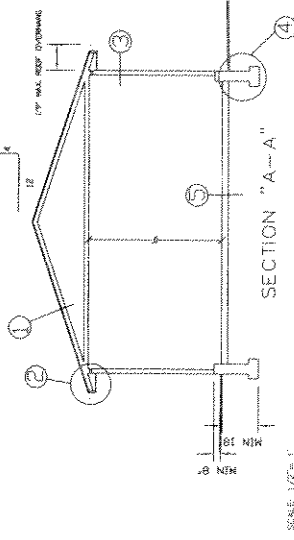
BHS


Peter Kushnir
Assistant Chief Building Inspector, Permits and Customer Service

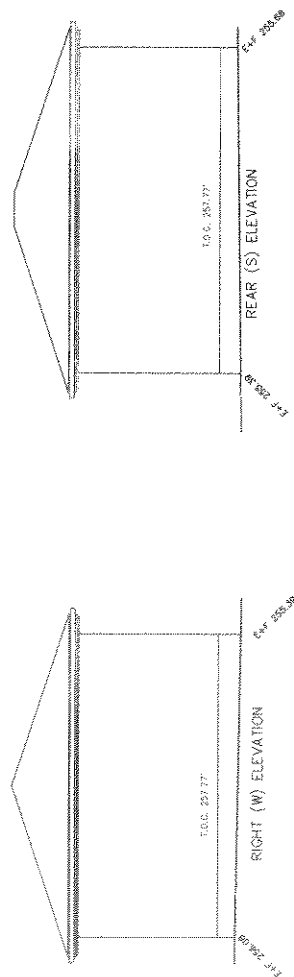
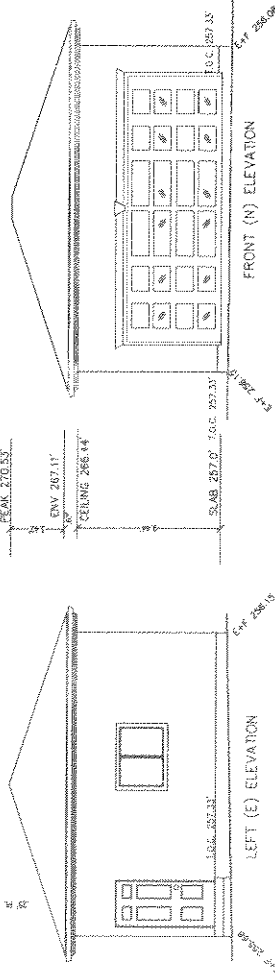
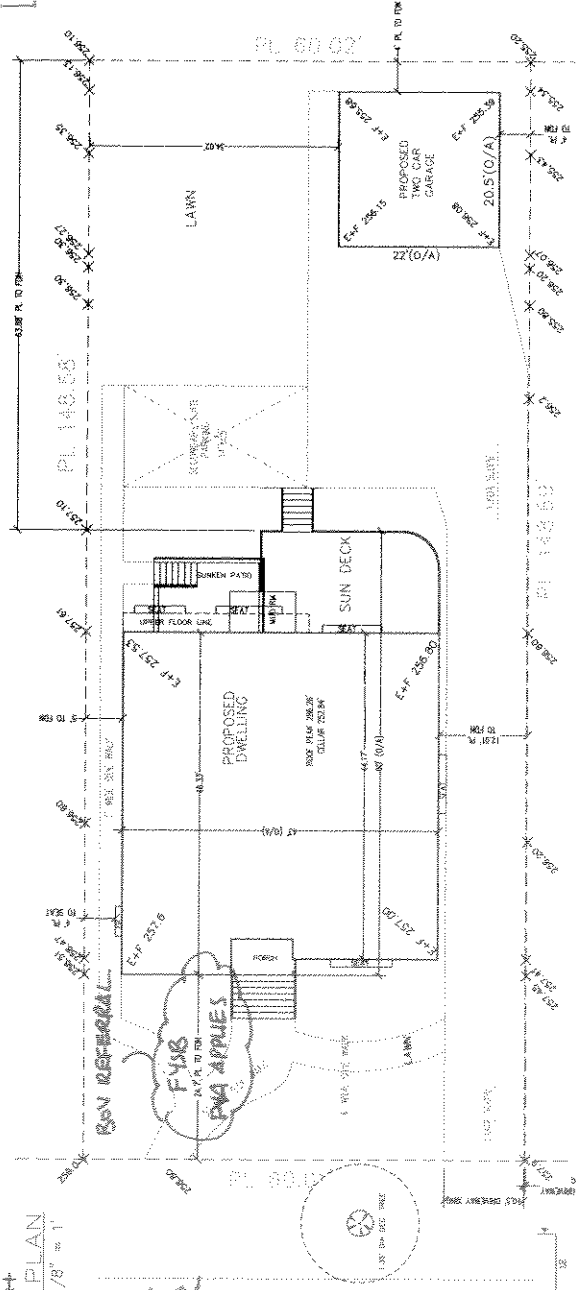
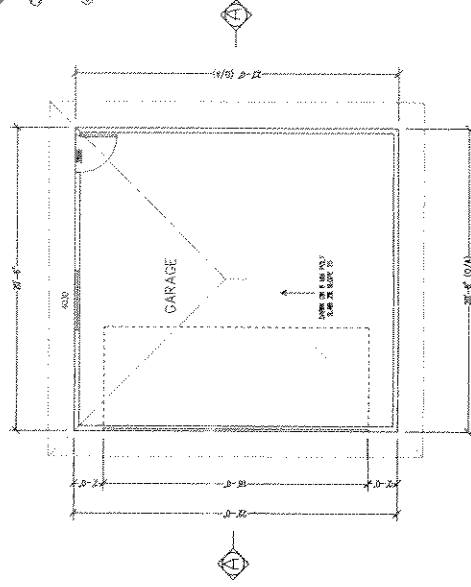
RECEIVED
IN
DEC 30 2014

LEGAL DESCRIPTION
LOT 70
DISTRICT LOT 35, GP 1 NMO
PLAN 27645
CIVIC ADDRESS
4084 FIR STREET
BURNABY, B.C.
BUILDING DEPARTMENT
ZONING: R4

LOT AREA: 8920 SQ. FT.	PROPOSED
ALLOWED	
G.F.A.	4736
A.G.F.A.	3484
LOT COVERAGE	7495
GARAGE	451
DECK	379
PORCH	40



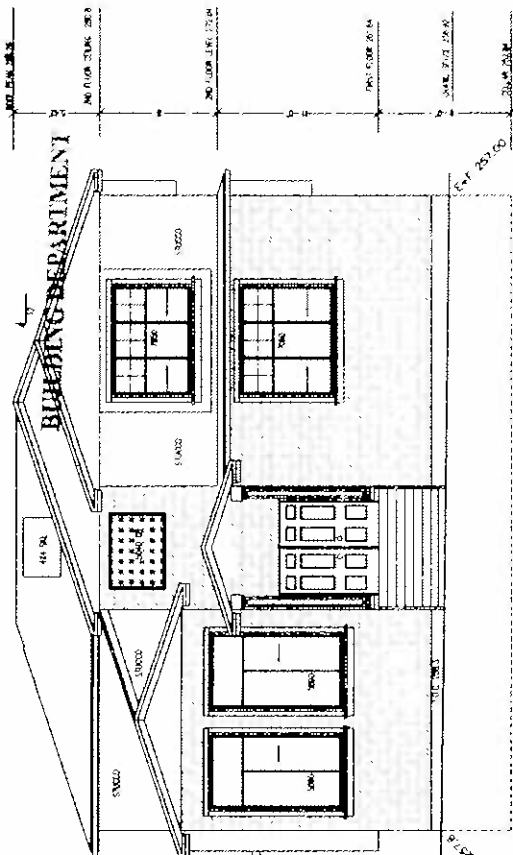
- SPECIFICATIONS
- 1. COLUMBIA CONCRETE ROOF TILE
 - 2. 17x4\"/>



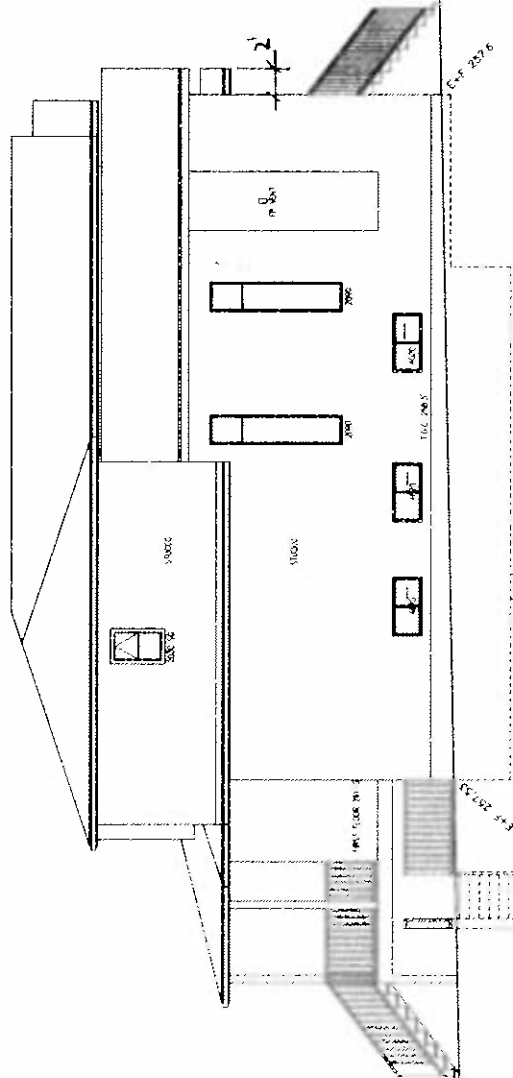
SHIKDER DESIGN & DRAFTING		SDD		DATE: 25/11/2014		1 OF 4	
B-1-50145_4084_FIR_STREET_DRAW		SA		SCALE: 1/4\"/>		4084 FIR STREET BURNABY, B.C.	
SITE PLAN AND GARAGE		B-1-50145_4084_FIR_STREET_DRAW		SCALE: 1/4\"/>		4084 FIR STREET BURNABY, B.C.	
DRAWING TITLE		DATE		SCALE		SHEET NO.	
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RECEIVED

DEC 30 2014

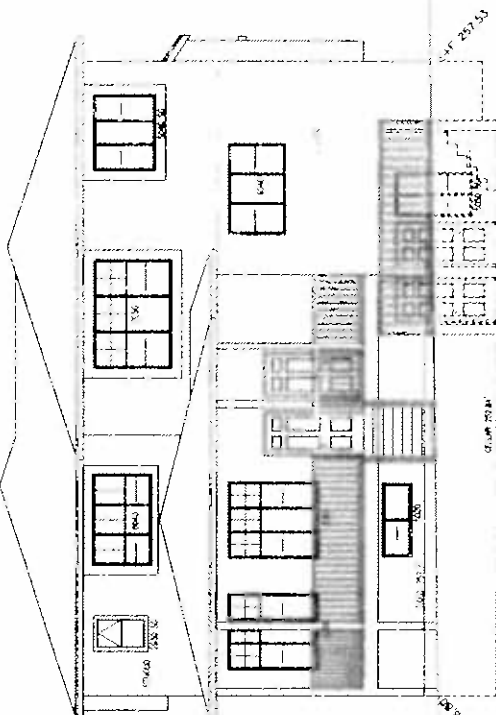


FRONT (N) ELEVATION

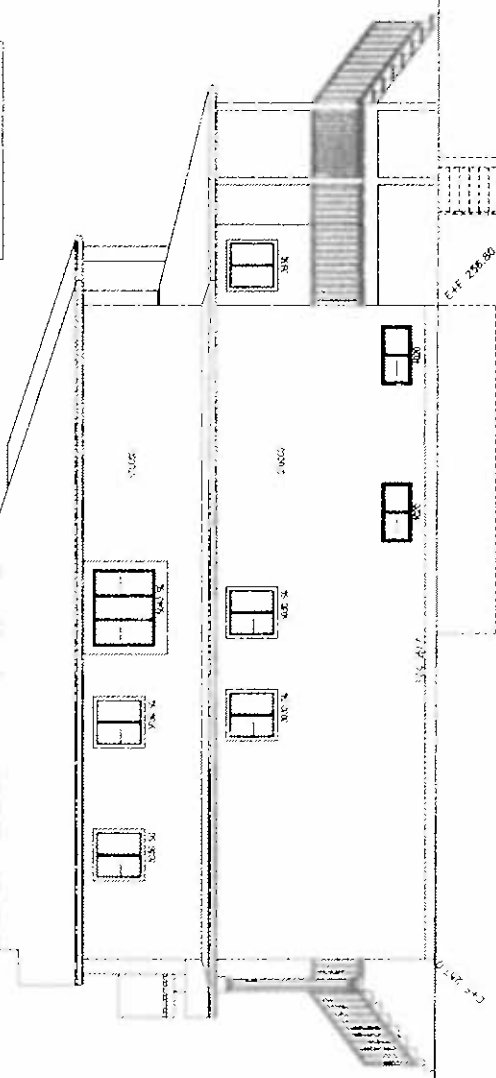


LEFT (W) ELEVATION

MINIMUM DISTANCE: 4'-0\"/>



REAR (S) ELEVATION



RIGHT (W) ELEVATION

MINIMUM DISTANCE: 4'-0\"/>

ELEVATIONS

4004 1/4\"/>

SA 25/11/2014

4 OF 4



SHIKDER DESIGN & DRAFTING

UNIT-112, 1004 PAGER STREET
BIRMINGHAM, AL 35204
PHONE: (205) 988-2140

POSTING PLAN OF LOT 70
DISTRICT LOT 35 GROUP 1
NEW WESTMINSTER DISTRICT PLAN 27645

PLAN EPP45796

Pursuant to Sec 58 Land Title Act
BCGS 926.026
City of Burnaby

PID: 008-917-221

FIR STREET



CARLETON AVENUE

LISTER COURT

ALL SURVEY EVIDENCE IS INTACT
AS OF THIS 16th DAY OF NOV / 2014

[Signature]
BCL/S

- | | |
|-------|----------------------|
| Found | Placed |
| ■ | □ Load Plug |
| ● | ○ Standard Iron Post |
| ⊙ | Control Monument |
| ✕ | Witness |

This plan lies within the
Greater Vancouver Regional District



The intended print size of this plan is
290mm in width by 430mm in height (B size)
when plotted at a scale of 1:500

LEGEND



LEAD PLUG
IRON PIN
WT. WITNESS

SCALE: 1 INCH = 20 FEET

(E) top
(B) bottom

TO SET OUT ANY ELEVATIONS FOR
CONSTRUCTION, REFER TO THE
POINT MARKED "BENCH MARK".

ALL TREES HAVE BEEN PLOTTED AS
REQUIRED.

ALL ELEVATIONS ARE BASED ON THE
CITY OF BURNABY - DATUM, AND
ARE DERIVED FROM DATUM N-804 2957
ELEVATION = 259.54 FEET

LOCATION:

N 4084 FIR STREET

THE BUILDING ENVELOPE(S) SHOWN
HEREON ARE SUBJECT TO BURNABY
CITY HALL VERIFICATION.

WE CAN ASSURE NO RESPONSIBILITY
FOR CHANGES MADE IN THE DIMEN-
SIONING OF THE BUILDING ENVELOPE,
AND SUGGEST PRIOR APPROVAL FROM
THE CITY OF BURNABY'S APPROPRIATE
DEPARTMENTS PRIOR TO ANY INITIAL
HOUSE OR BUILDING DESIGNS.

THIS DOCUMENT IS NOT VALID UNLESS
ORIGINALLY SIGNED AND SEALED ©

CERTIFIED CORRECT THIS 15th
DAY OF NOVEMBER, 2014

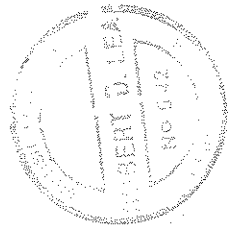
Robert D. Lea
ROBERT D. LEA, B.C.C.S.

SURVEY PLAN SHOWING THE LOCATION
OF THE ADJACENT HOUSE SETBACKS,
THE PROPOSED BUILDING ENVELOPE,
ELEVATIONS AND TREES ON:
LOT 70, DC 35, GPI, MWD.
PLAN 27645.

PID N 008 917 221

ADDRESS: 4084 FIR STREET

FILE: 5578

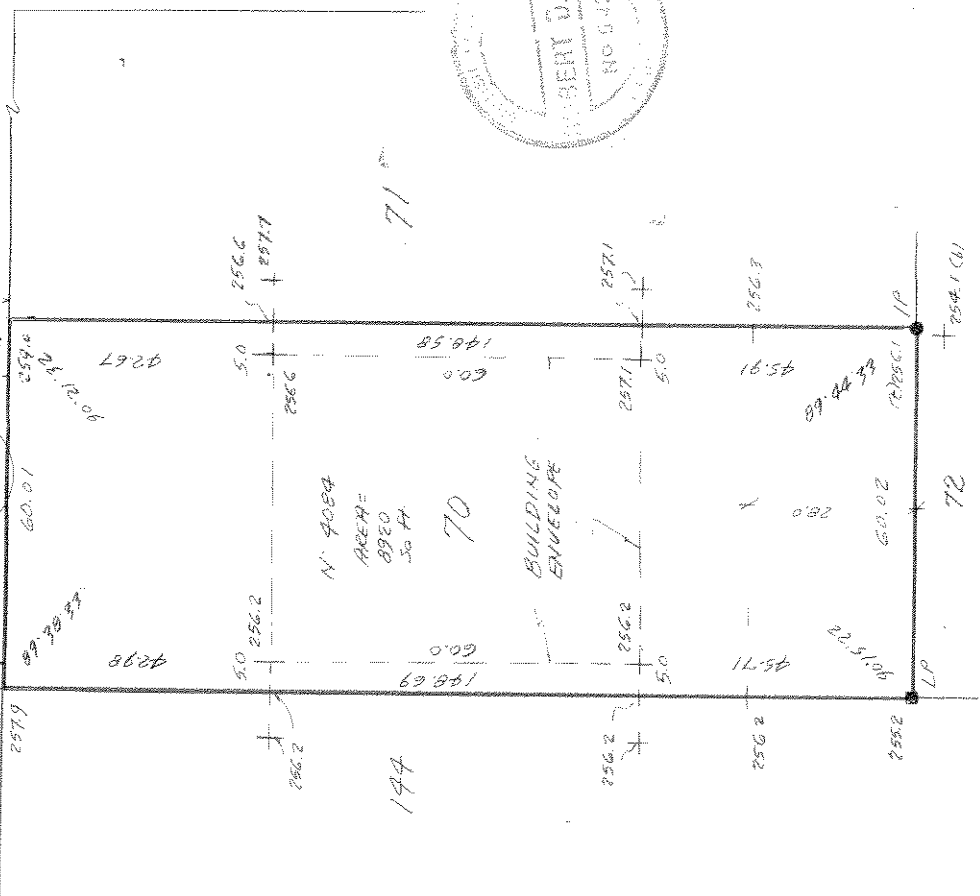


BENCH MARK

LEAD PLUG
ELEVATION:
258.2

LP (CONC. SPHERE) 259.2 - 1LP

AVERAGE HOUSE SETBACK	
ADDRESS:	SETBACK
N 4068 FIR ST	37.7
4078	37.0
4088	57.3
N 4084	
AVERAGE	42.67



LEA & ASSOCIATES

LAND SURVEYING LTD
2186 W 12th AVE VANCOUVER, B.C. V6K 2B7
TEL: 604 603 4344