



BOARD OF VARIANCE REFERRAL LETTER

DATE: December 16, 2014	DEADLINE: January 13, 2015 for the February 5, 2015 hearing	<i>This is <u>not</u> an application. Please take letter to Board of Variance. (Clerk's office - Ground Floor)</i>	
NAME OF APPLICANT: Nirmal Takhar			
ADDRESS OF APPLICANT: 103-12889 8 th Ave, Surrey B.C. V3K 0K5			
TELEPHONE: 604.889.1875			
PROJECT			
DESCRIPTION: New Two Family Dwelling			
ADDRESS: 7060/7062 Ramsay Avenue			
LEGAL:	LOT: 115	DL: 30	PLAN: 64617

The above mentioned application, which includes the attached plan of the proposal, has been refused by the Building Department on the basis of contravention of:

Zone/Section(s) R5 [105.9]
of the Burnaby Zoning Bylaw No. 4742

COMMENTS:

The applicant is proposing to build a new two family dwelling. The following relaxation is being requested.

- 1) The front yard setback will be 20.00 feet to the foundation where a minimum front yard setback of 28.02 feet is required based on front yard averaging. The roof overhang will be 2.95 feet beyond the foundation.

Note: The applicant recognizes that should the project contain additional characteristics in contravention of the zoning by-law a future appeal(s) may be required.

DS

Peter Kushnir
Assistant Chief Building Inspector, Permits and Customer Service

LEGAL DESCRIPTION
 TOPOGRAPIHICAL PLAN OF LOT 12
 DISTRICT LOT 204, GROUP 1
 NEW WESTMINSTER DISTRICT
 PLAN 17311

CIVIC ADDRESS
 7060 RAMSAY AVENUE
 BURNABY, B.C.
ZONING
 RD

EXISTING FENCE LINE TO BE REMOVED

LOT AREA: 7215 SQ. FT.

	ALLOWED	PROPOSED
GFA	3441.50	3008.50
LC (40%)	3441.50	2841.13
COVERED DECK	318	180.03
GARAGE	482	440.91

EXISTING FENCE LINE TO REMAIN

EXISTING CONC. LID CONFLICTING WITH
 PROPOSED BUILDING ENVELOPE

3.0' CONCRETE WALKWAY-1

EXISTING HEDGE TO REMAIN

PROTECTION BARRIER FOR
 460mm (NORTH) &
 280mm (SOUTH) ALDER TREES

EXISTING HEDGE TO BE TRIMMED
 ON PROPOSED SIDEWALK

SITE PLAN
 SCALE 1/8" = 1'

RECEIVED
 DEC 09 2014

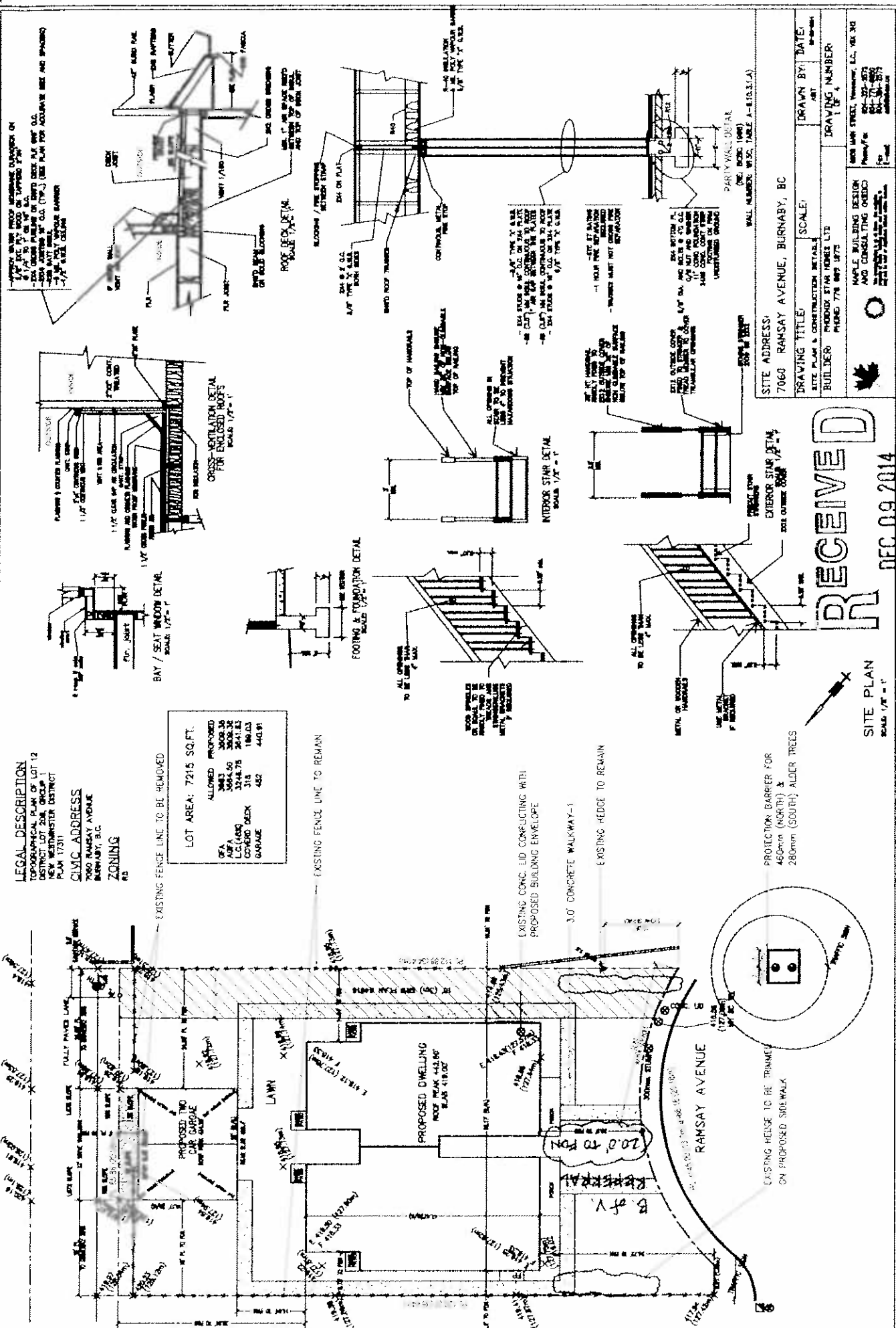
EXTERIOR STAIR DETAIL
 SCALE 1/8" = 1'

SITE ADDRESS:
 7060 RAMSAY AVENUE, BURNABY, BC

DRAWING TITLE:
 SITE PLAN & CONSTRUCTION DETAILS
BUILDER:
 PHOENIX STAIN HOMES LTD
 PHOENIX 778 887 1873

DRAWN BY:
 DATE:
DRAWING NUMBER:
 10-0000

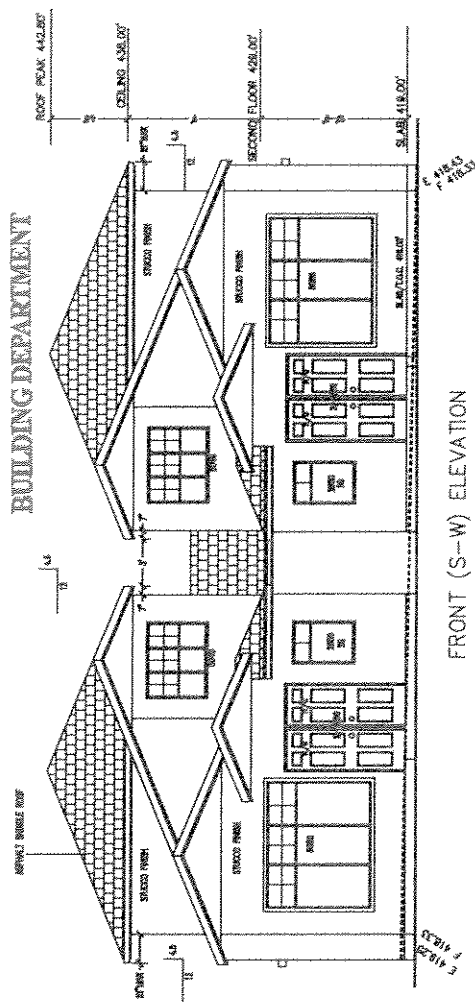
**MAPLE BUILDING DESIGN
 AND CONSULTING GROUP**
 1000 WEST STREET, VANCOUVER, BC V6E 3K3
 PHOENIX 604-273-8873
 FAX 604-273-8873
 www.maplebuildingdesign.com



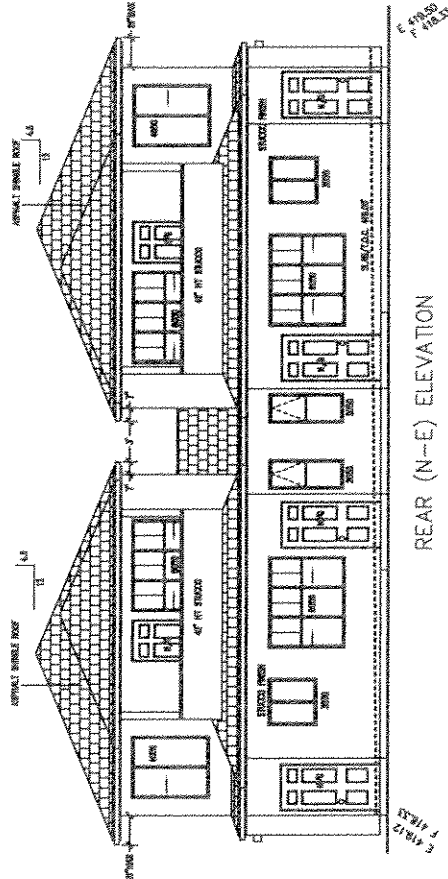
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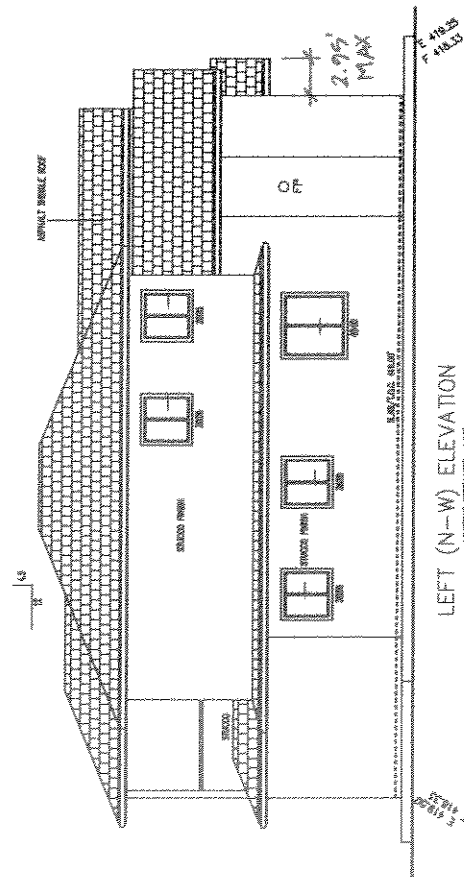
BUILDING DEPARTMENT



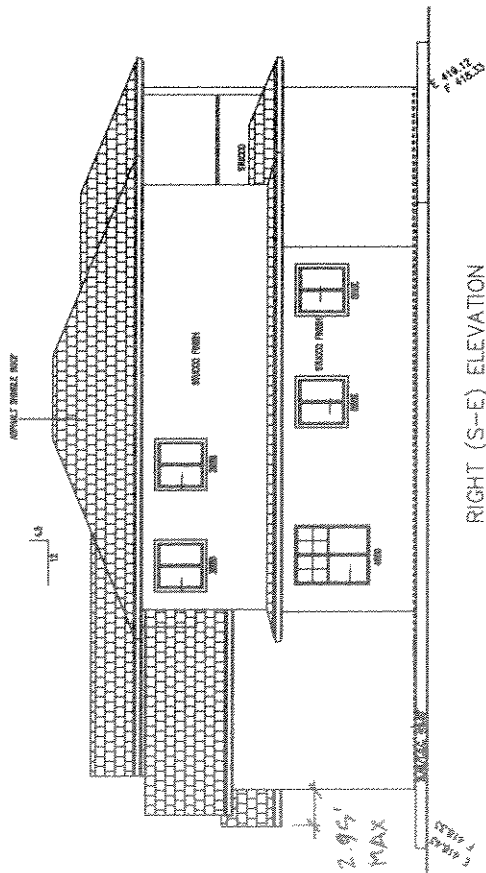
FRONT (S-W) ELEVATION



REAR (N-E) ELEVATION



LEFT (N-W) ELEVATION



RIGHT (S-E) ELEVATION

LIMITING DISTANCE: 10.00'
EXPOSED WALL AREA: 751.53 S.F.
LIMITED EXPOSED WALL AREA: 15.00 S.F.
PROPOSED OPENING: 10.00 S.F.

SITE ADDRESS: 7060 RAMSAY AVENUE, BURNABY, BC		DRAWN BY: DATE: ASST	
DRAWING TITLE: ELEVATIONS	SCALE: 1/4\"=1'-0"	DRAWING NUMBER: 4 OF 4	
BUILDER: PHOENIX STAR HOMES LTD	MAPLE BUILDING DESIGN AND CONSULTING GROUP 4008 MAR STREET, VICTORIA, B.C. V8M 3K2 Phone/Fax: 250-363-2572 250-363-2573 For: 250-363-2573		

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DEC 09 2014

SKETCH PLAN OF TOPOGRAPHIC SURVEY OF LOT 115, DISTRICT LOT 30, GROUP 1, NEW WESTMINSTER DISTRICT, PLAN 64617

BUILDING DEPARTMENT

CMC ADDRESS 7080 RAMSAY AVENUE, BURNABY, BC
PARCEL IDENTIFIER 003-237-109

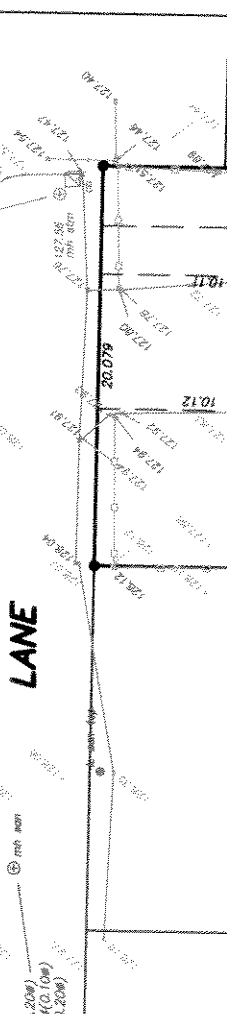


SCALE 1 : 250
ALL DISTANCES ARE IN METRES

R/W=128.08m
Inv. SE=125.55(0.20m)
Inv. S=123.54(0.10m)
Inv. NW=123.53(0.20m)

LANE

R/W=127.56m
Inv. NE=125.30(0.15m)
Inv. SE=125.28(0.20m)
Inv. SW=125.27(0.20m)



ADJACENT HOUSE	FRONT YARD
7040/7042 RAMSAY AVENUE	8.93m
7050/7052 RAMSAY AVENUE	8.15m
AVERAGE	8.54m

REM 1
PLAN 82278

BCS4446

BCS2727

NOTES:

ALL ELEVATIONS AND DISTANCES SHOWN ARE IN METRES.
LEGAL BOUNDARIES ARE BASED ON LAND TITLE OFFICE RECORDS AND FIELD SURVEY
ELEVATIONS ARE DERIVED FROM OCM 448, LOCATED ON EASTERN SIDE OF CANADA WAY, JUST NORTHEASTERLY FROM HOUSE #6890
ELEVATION = 120.552 METRES, GEODETIC DATUM.

THIS PLAN SHOWS THE LOCATION OF VISIBLE FEATURES ONLY, AND DOES NOT INDICATE BURIED SERVICES THAT MAY EXIST ON OR AROUND THE SUBJECT SITE

TREE SPECIES AND DIMENSIONS TO BE CONFIRMED BY A QUALIFIED ARBORIST. TREE SYMBOLS ARE NOT AN INDICATION OF DRIP LINE LOCATION UNLESS SPECIFICALLY LABELLED.

LEGEND:

- INDICATES LEAD PLUG FOUND
- INDICATES STANDARD IRON POST FOUND

MURRAY & ASSOCIATES
201-12448 82nd AVENUE
SURREY, B.C.
V3W 3E9
(604) 597-9189

RAMSAY AVENUE

CERTIFIED CORRECT ACCORDING TO SURVEY
DATED THIS 24th DAY OF SEPTEMBER, 2014.

[Signature]

B. C. L. S.

FILE 10068-TOPO