



BOARD OF VARIANCE REFERRAL LETTER

DATE: January 15, 2015	DEADLINE: January 13, 2015 for the February 5, 2015 hearing	<i>This is not an application. Please take letter to Board of Variance. (Clerk's office - Ground Floor)</i>	
NAME OF APPLICANT: John Rogic			
ADDRESS OF APPLICANT: 13699 – 32 Avenue Surrey B.C. V4P 3C8			
TELEPHONE: 604.786.6254			
PROJECT			
DESCRIPTION: New single family dwelling			
ADDRESS: 5850 Braemar Avenue			
LEGAL:	LOT: 4	DL: 86	PLAN: 18705

The above mentioned application, which includes the attached plan of the proposal, has been refused by the Building Department on the basis of contravention of:

Zone/Section(s) R1 [101.6(1)(a); 101.7(a); 101.8]
of the Burnaby Zoning Bylaw No. 4742

COMMENTS:

The applicant is proposing to build a new single family dwelling. The following relaxations are being requested.

- 1) The principal building height, measured from the rear average elevation will be 34.89 feet. The principal building height, measured from the front average elevation will be 28.75 feet. The maximum building height of 29.5 feet is permitted.
- 2) The depth of the principal building will be 63.5 feet where a maximum depth of 60.0 feet is permitted.
- 3) The front yard setback will be 27.59 feet to the post where a minimum front yard setback of 49.06 feet is required based on front yard averaging. The roof overhang will be 2.0 feet beyond the post.

Note: The applicant recognizes that should the project contain additional characteristics in contravention of the zoning by-law a future appeal(s) may be required

DS

Peter Kushnir
Assistant Chief Building Inspector, Permits and Customer Service

JAN 15 2015

BUILDING DEPARTMENT

GENERAL NOTES:

- [illegible]

[illegible]

LEGEND:

- EXISTING GRADE ELEVATIONS
FINISHED GRADE ELEVATIONS
T.O. CONCRETE WALL ELEVATIONS
T.O. CONCRETE SLAB ELEVATIONS
T.O. FLOOR ELEVATIONS
DIRECTION OF DRAINAGE
EXISTING TREES TO REMAIN



oscar woodman design
1782 view st., port moody.
british columbia V3H3Y2
604-937-7640

Examined title

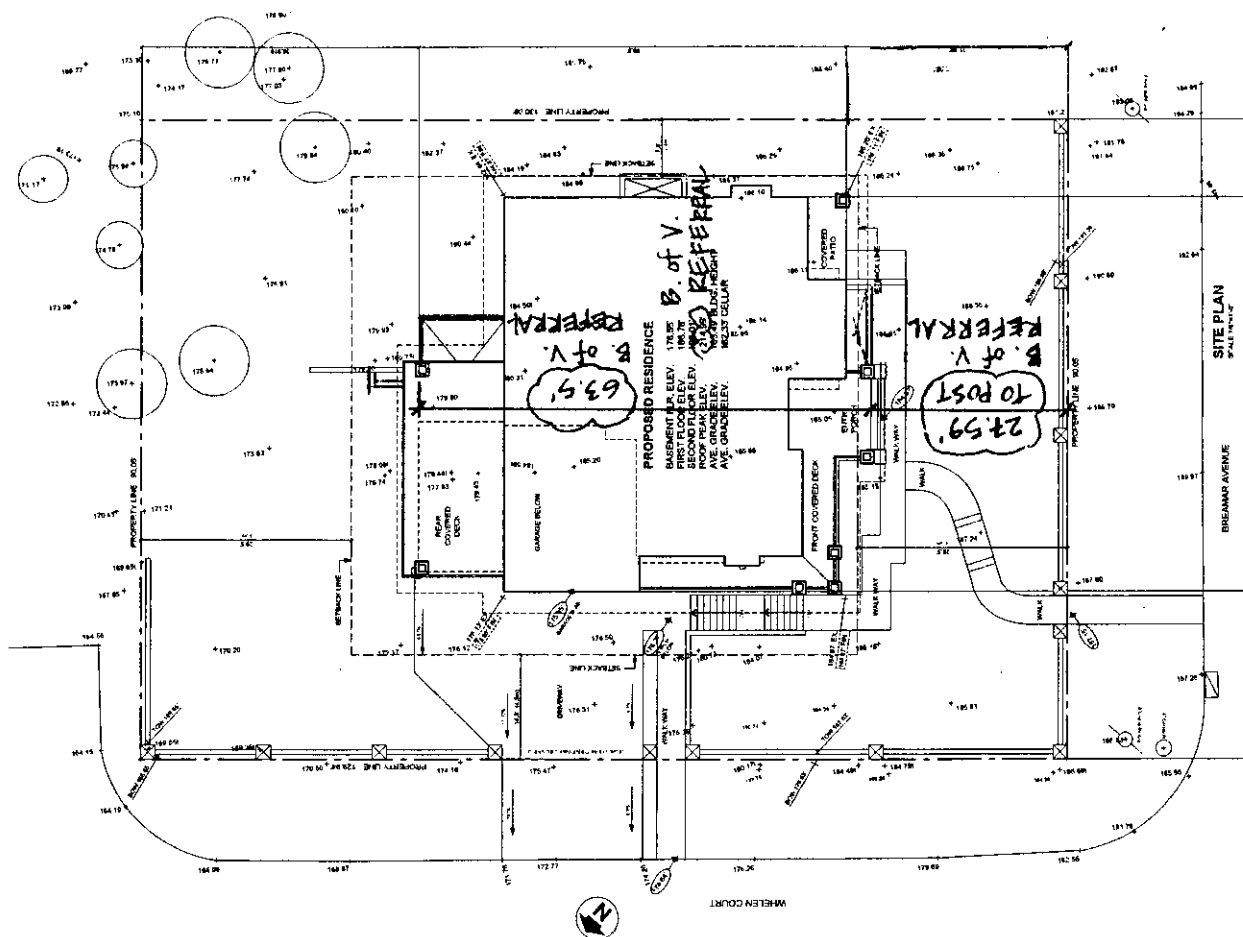
**RESIDENCE -
COASTVIEW
CONSTRUCTION LTD.
5870 BREAMAR AVENUE
PORT COQUITLAM, B.C.**

1000

SITE PLAN

date started	issue, revision
NOV 2014	
job no.	dated
drawn	
scale 1/8" = 1'-0"	
sheet no.	

A1 of 8



SITE PLAN

8 of



oscar woodman design
1782 view st. port moody,
british columbia v3h3y2
604-937-7640

project title

RESIDENCE -
CONSTRUCTION LTD.
5870 BREMAR AVENUE
PORT COQUITLAM B.C.

sheet title

FOUNDATION PLAN

date issued

15/07/2014

drawn by

chd.

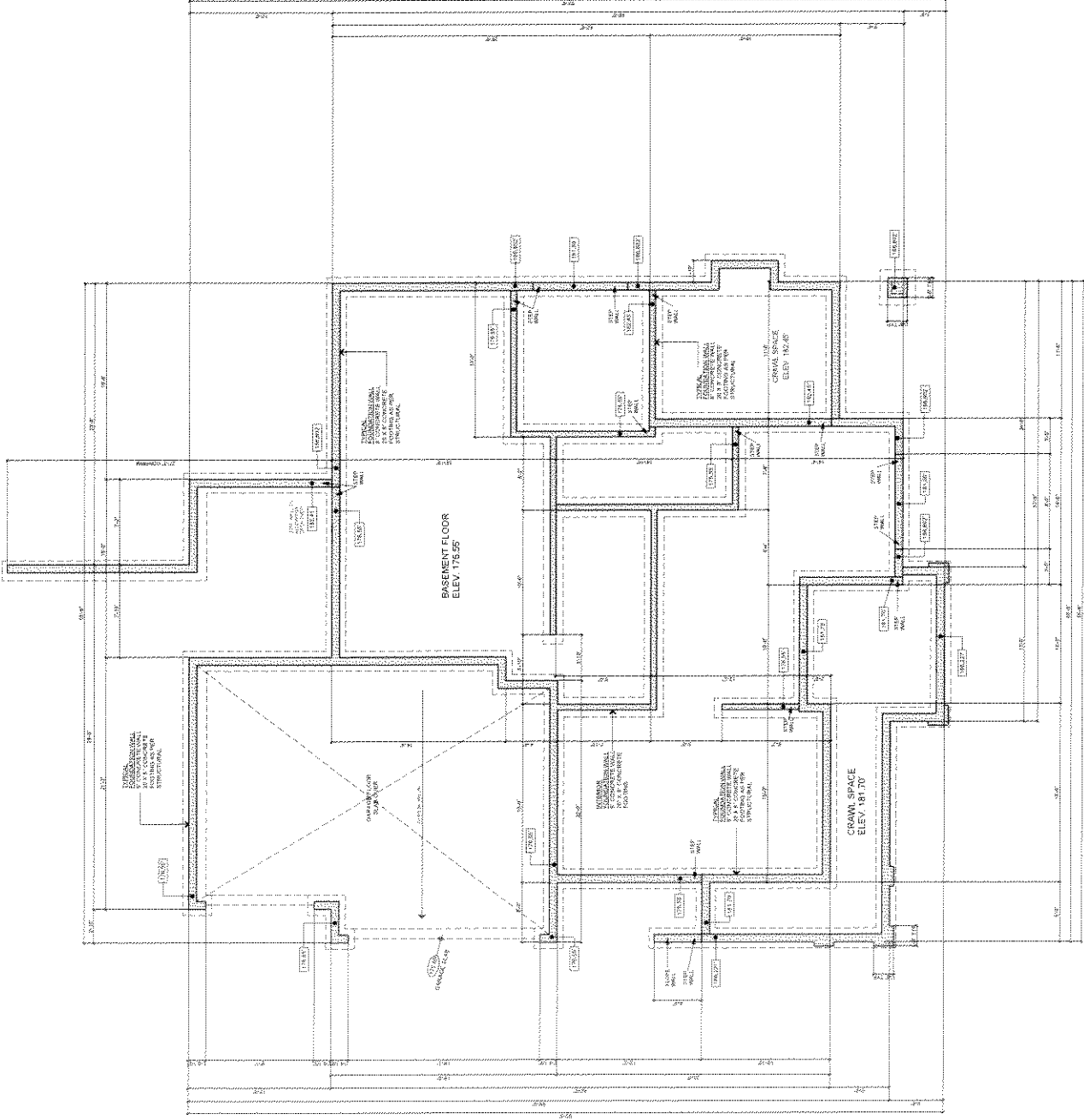
scale

1/4" = 1'-0"

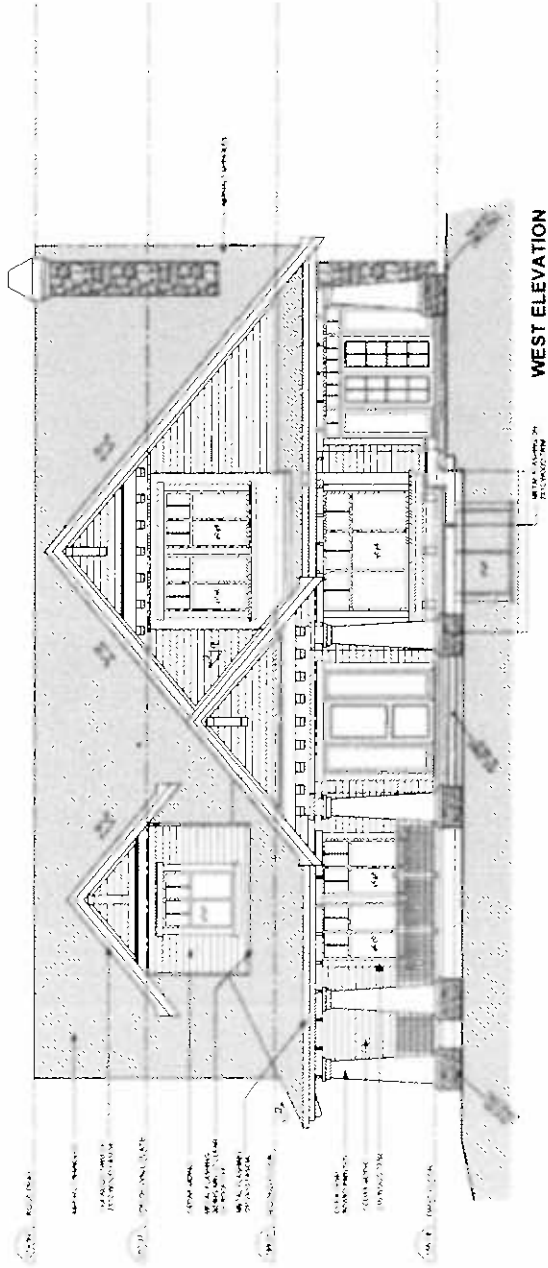
sheet no.

A2

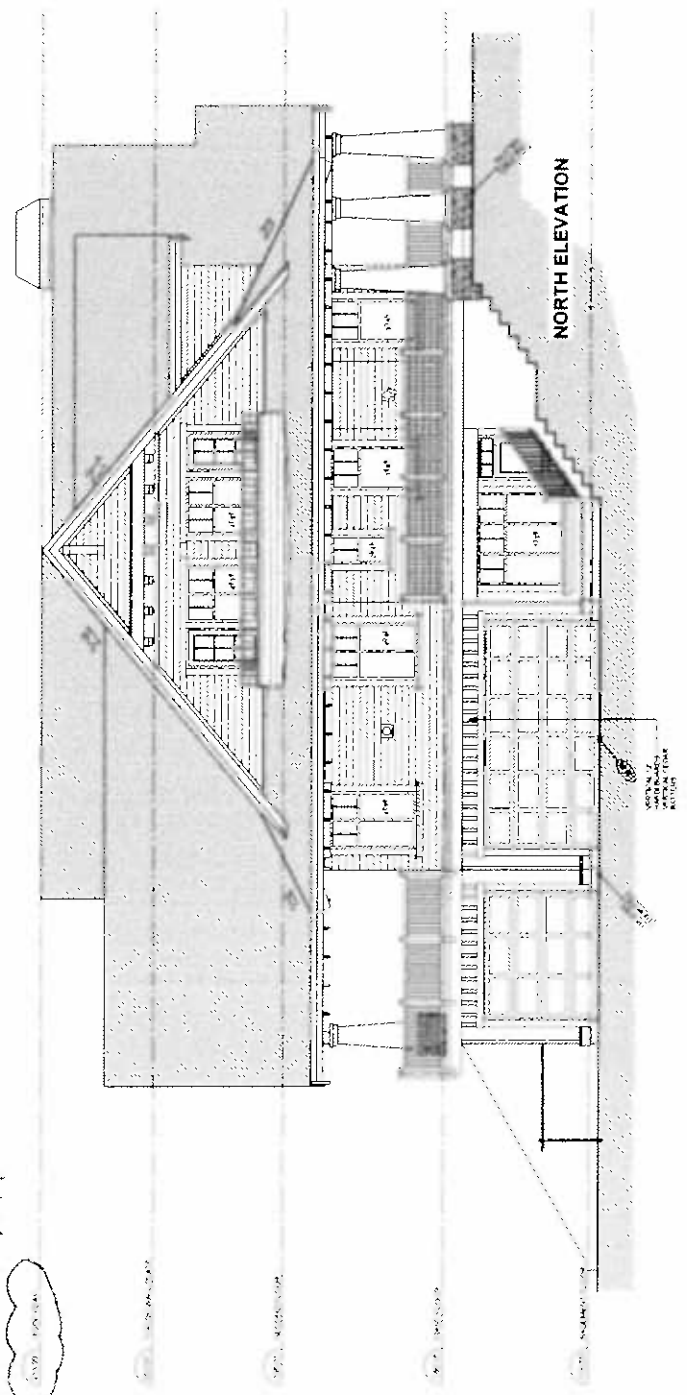
of 8



FOUNDATION PLAN



B. of V. REFERRAL



oscar woodman design
 1782 view st. port moody
 british columbia v9h3y2
 604-837-7840

project title
 RESIDENCE -
 COASTVIEW
 CONSTRUCTION LTD.
 9870 BREEMAR AVENUE
 PORT COQUITLAM B.C.

sheet title
 NORTH AND WEST
 ELEVATIONS

DATE ISSUED	DATE REVISED
BY: [signature]	BY: [signature]
PROJECT NO.	PROJECT NO.
DRAWN: [signature]	CHECKED: [signature]
SCALE: 1/4" = 1'-0"	SCALE: 1/4" = 1'-0"
SHEET NO.	SHEET NO.

PROJECT NO.

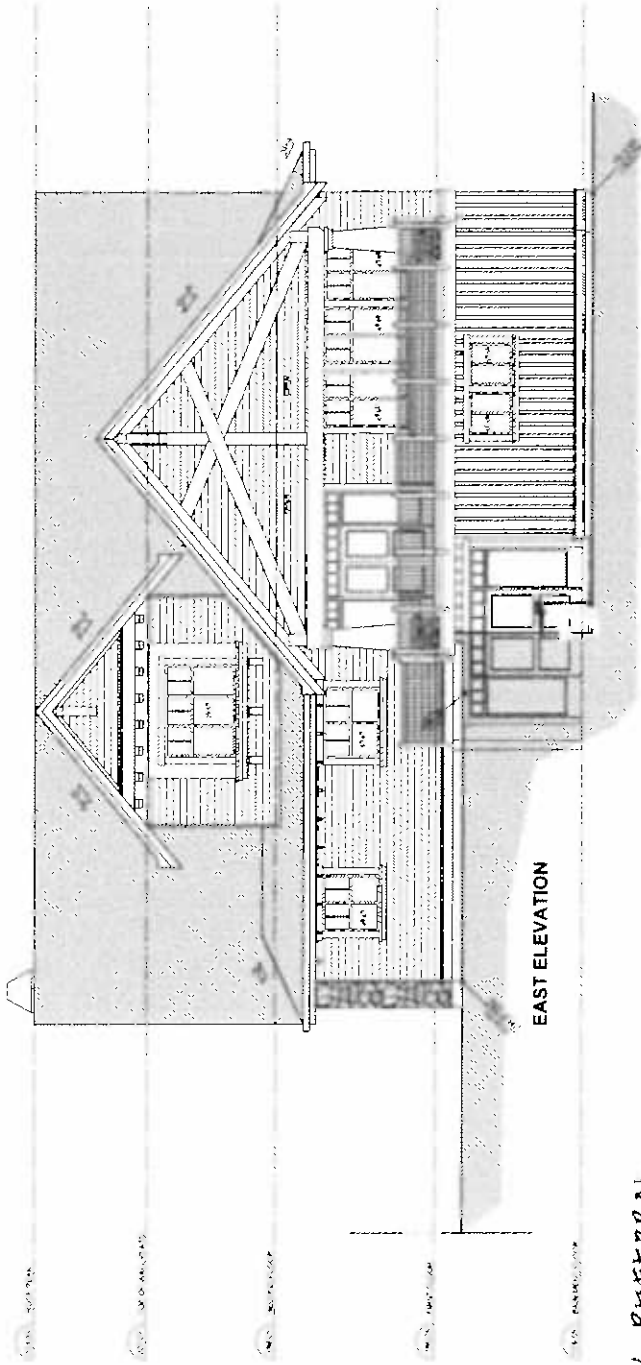
**RESIDENCE -
 COASTVIEW
 CONSTRUCTION LTD.
 5870 BRENNAN AVENUE
 PORT COQUITLAM, B.C.**

SHEET NO.

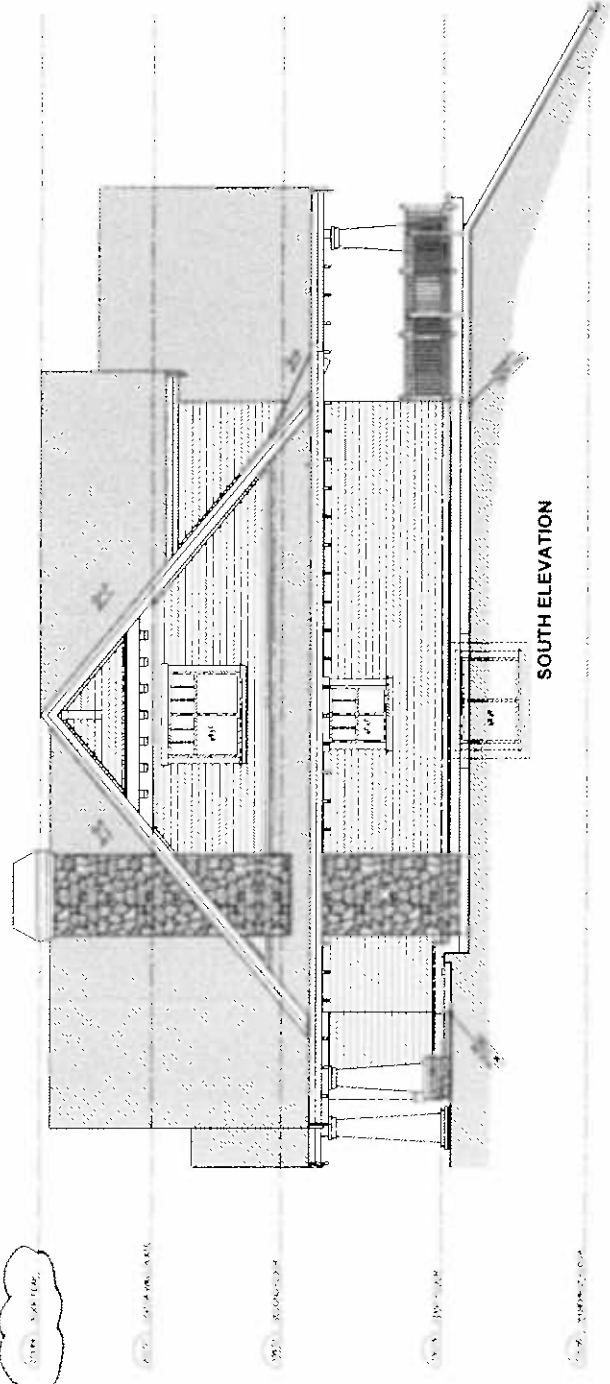
**EAST AND SOUTH
 ELEVATIONS**

DATE: 01/14/14
 DRAWN BY: J. WOODMAN
 CHECKED BY: J. WOODMAN
 SCALE: 1/8" = 1'-0"
 SHEET NO.

A8
 of 8



B. of V. REFERRAL



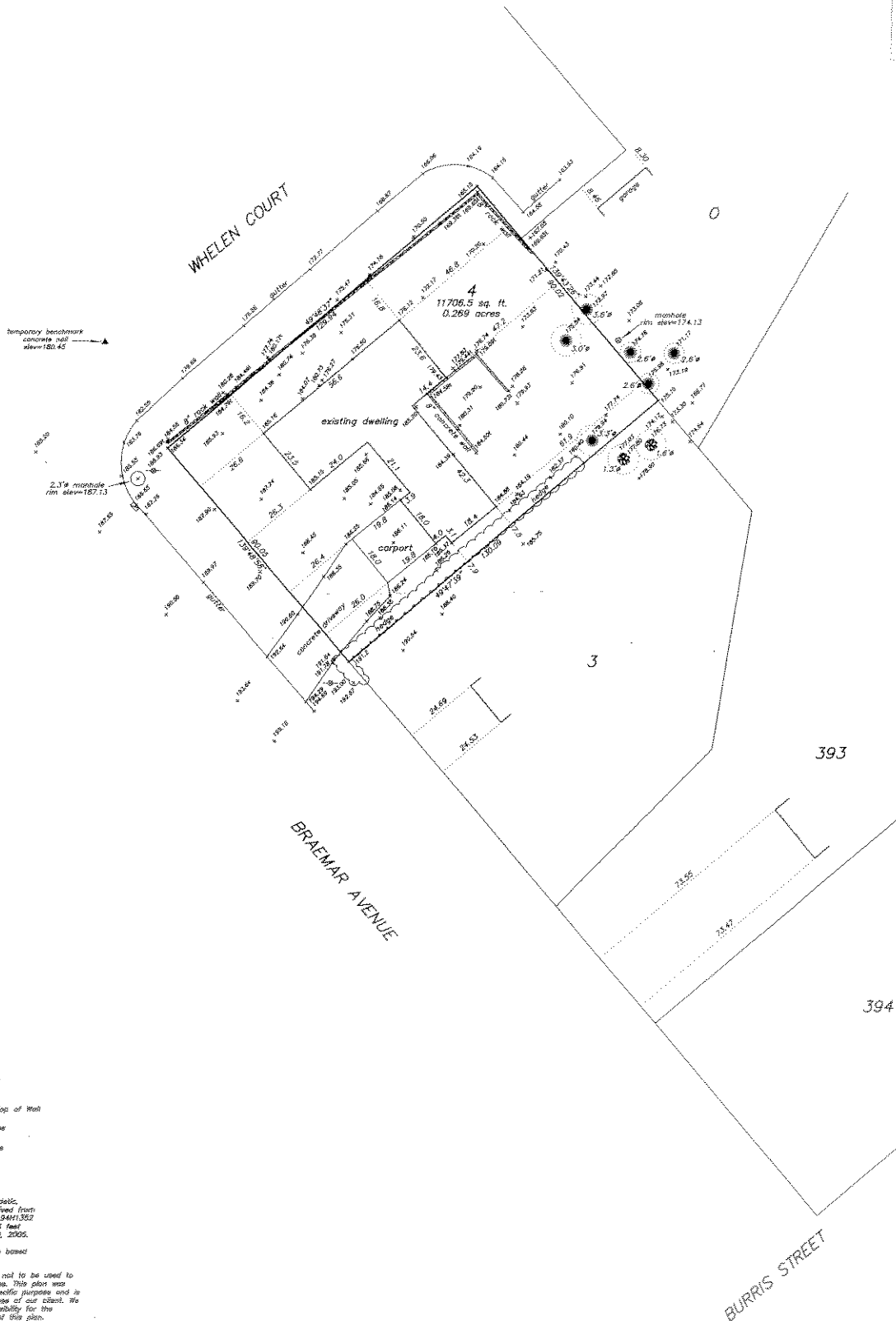


DISTRICT LOT 86, GROUP 1
NEW WESTMINSTER DISTRICT, PLAN 18705

SCALE: 1 inch = 20 feet
0 10 20
All distances are in feet.

PARCEL IDENTIFIER 010-405-232
CMC ADDRESS 5850 Braemar Avenue
Burnaby, B.C.

RECEIVED
PTC 111
2014 OCT 20 PM 3:00



LEGEND
+ Spot Elevation
+ Elevation of Top of Wall
● Coniferous Tree
● Deciduous Tree
+ Power Pole
□ Catch Basin

Elevations are Orthometric, shown in feet, derived from Contour Monument 94W1352 Elevation = 171.56 feet Datum: CND28GVRD, 2005.

Lot dimensions are based on field survey.

Offsets shown are not to be used to define property lines. This plan was prepared for a specific purpose and is for the exclusive use of our client. We assume no responsibility for the unauthorized use of this plan.

CERTIFIED CORRECT
this 20th day of October, 2014.

[Signature]
K. RAPONE B.C.L.S.

CMC ADDRESS	FRONT YARD SETBACK
5870 Braemar Avenue	54.81
5890 Braemar Avenue	51.51
Average = (54.81+51.51)/2=53.16	

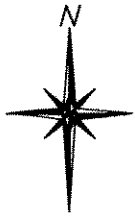
RAPONE PROFESSIONAL LAND SURVEYING INC.
202 - 1120 WESTWOOD STREET
COQUITLAM, B.C. V3B 7H8
TEL : (604) 484-2199
FAX : (604) 484-8009
FILE NUMBER : 87758-1

**POSTING PLAN OF LOT 4,
DISTRICT LOT 86, GROUP 1,
NEW WESTMINSTER DISTRICT, PLAN 18705**

Plan EPP46158

PURSUANT TO SECTION 68, LAND TITLE ACT

BCGS 92G.026

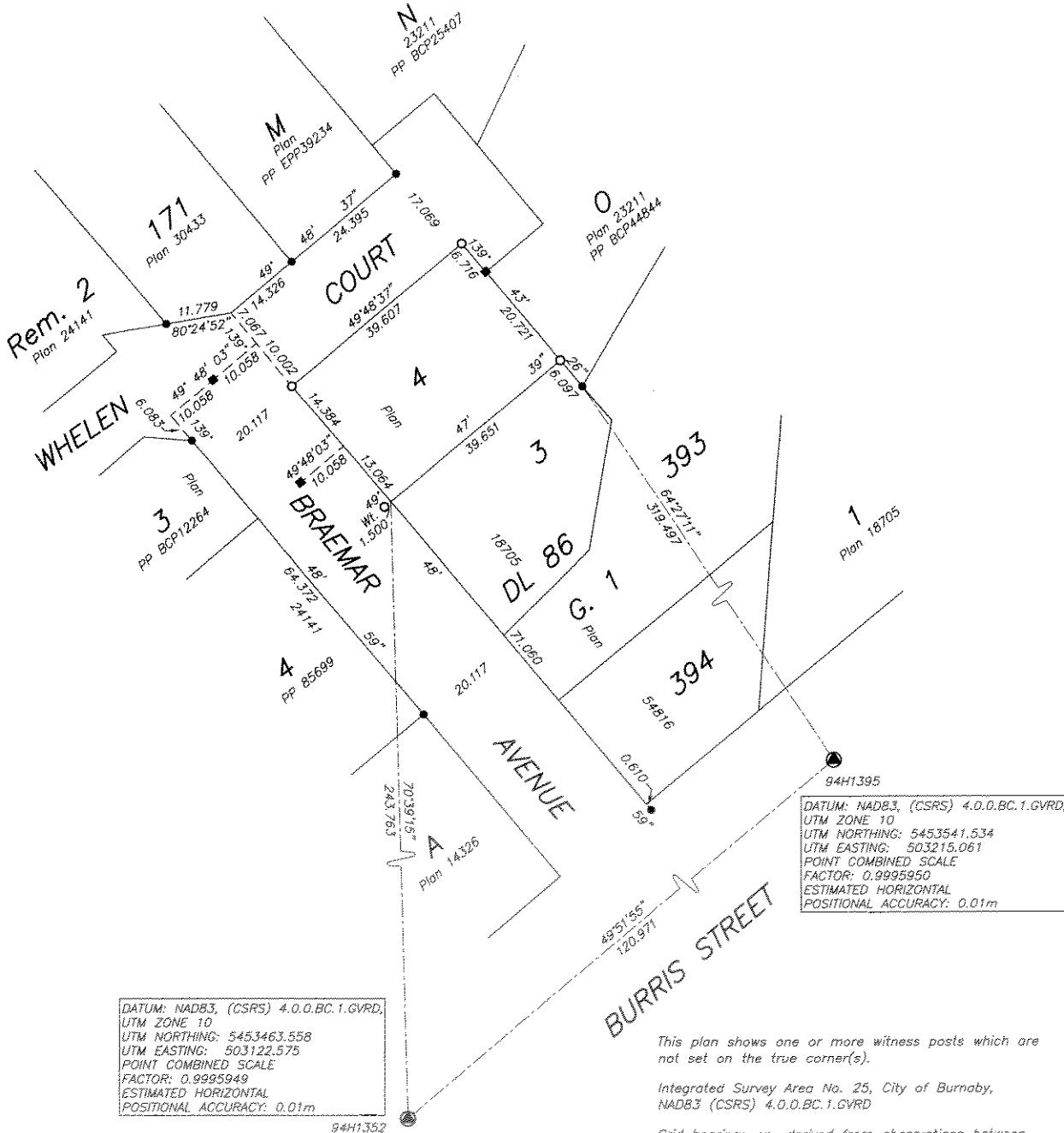


All distances are in metres.

THE INTENDED PLOT SIZE OF THIS PLAN
IS 280mm IN WIDTH BY 432mm IN HEIGHT
(B SIZE) WHEN PLOTTED AT A SCALE OF 1:750

RECEIVED
DEC 1 2014

BRITISH COLUMBIA



This plan lies within the Greater
Vancouver Regional District.

PAPOVE
PROFESSIONAL LAND SURVEYING INC.
202 - 1120 WESTWOOD STREET
COQUITLAM, B.C., V3B 7K8
TEL : (604) 464-5199
FAX : (604) 464-6509

FILE NUMBER : 6775

LEGEND :

- indicates control monument found
- indicates standard iron post found
- indicates standard iron post placed
- indicates lead plug found
- PP indicates posting plan
- Wt. indicates witness

This plan shows one or more witness posts which are
not set on the true corner(s).

Integrated Survey Area No. 25, City of Burnaby,
NAD83 (CSRS) 4.0.0.BC.1.GVRD

Grid bearings are derived from observations between
geodetic control monuments 94H1352 and 94H1395.

This plan shows horizontal ground-level distances unless
otherwise specified. To compute grid distances, multiply
ground-level distances by the average combined factor of
0.9995950 which has been derived from geodetic control
monuments 94H1352 and 94H1395.

The field survey represented by this plan was
completed on the 2nd day of December, 2014
William Papove, BCLS #593