



BOARD OF VARIANCE REFERRAL LETTER

DATE: March 27, 2015		DEADLINE: April 14, 2015 for the May 7, 2015 hearing		<i>This is <u>not</u> an application. Please take letter to Board of Variance. (Clerk's office - Ground Floor)</i>
NAME OF APPLICANT: Harp Badesha				
ADDRESS OF APPLICANT: 14626-58 Ave Surrey, B.C. V3S 1S2				
TELEPHONE: 604.306.2017				
PROJECT				
DESCRIPTION: New single family dwelling				
ADDRESS: 7368 Barnet Road				
LEGAL:	LOT: 131	DL: 216	PLAN: 11241	

The above mentioned application, which includes the attached plan of the proposal, has been refused by the Building Department on the basis of contravention of:

Zone/Section(s) R2 [6.14(5)(a); 6.14(5)(b)]
of the Burnaby Zoning Bylaw No. 4742

COMMENTS:

The applicant is proposing to build a new single family dwelling. The following relaxations are being requested.

- 1) The relaxation of 6.14(5)(a) of the Zoning By-Law which, if permitted, will allow for the construction of a retaining wall at the frontage of Barnet Road with varying heights up to a maximum of 16.53 feet where the maximum permitted height is 3.28 feet.
- 2) The relaxation of 6.14(5)(b) of the Zoning By-Law which, if permitted, will allow for the construction of a retaining wall at the rear of the lot with varying heights up to a maximum of 13.67 feet where the maximum permitted height is 5.91 feet.

Note: The applicant recognizes that should the project contain additional characteristics in contravention of the zoning by-law a future appeal(s) may be required

DS

Peter Kushnir
Assistant Chief Building Inspector, Permits and Customer Service

Barnet Rd. Residence

Residential Home Plans For:
7368 Barnet Road
Burnaby, BC

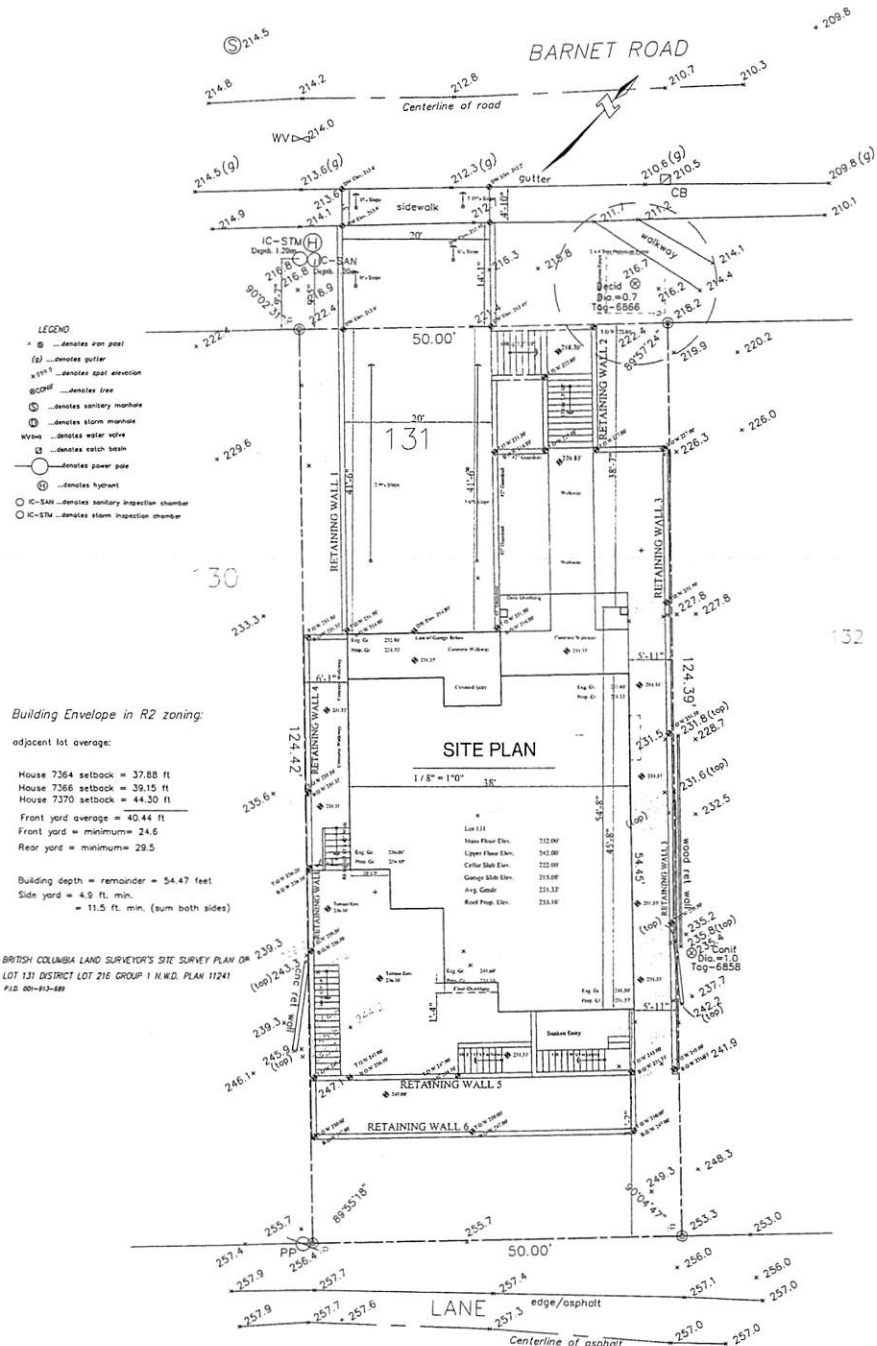
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Zoning

Address	7368 Barnet Road Burnaby BC
Lot#	Lot 131
Legal Description	Lot 131, DL 216, Group 1 NWD Plan 11241
Lot Size	577.85 m ² (6220 sf)
Lot Coverage	Allowable 40% = 2488 sf Proposed = 1823 sf
Building Size	Max Permitted .60% = 3732 SF Proposed = 3730 SF Above Grade .40% = 2643 SF Proposed = 2643 SF
	Main 1445 sf Upper 1198 sf Cellar 1087 sf Sec. Suite 507 sf Attached Garage 452 sf Covered Deck Allow. 298 sf Covered Entry 54 sf Open Area (over 12') 55 sf Accessory 0 sf Proposed Deck 283 sf
	Total FAR 3730 sf Total Coverage 1823 sf
Building Height	7.4m Max Height
Proposed Use	Single Family Dwelling
Zone	R2
Heating	Radiant In Floor Heating and Forced Air Electric Baseboard Heating in Sec. Suite

Drawing List

Page No.	Drawing
A1-0	Site Plan & Zoning Info
A2-0	Cellar Floor Plan & Suite Details
A3-0	Main & Upper Floor Plan
A4-0	Front & Rear Elevation & Roof Layout
A5-0	Left & Right Elevation & Energy Calcs.
A6-0	Cross Sections
A7-0	Retaining Walls
A8-0	Details
A9-0	
A -0	



Notes

Kapoor Home Design Ltd. assumes no responsibility for structural or dimensional errors or omissions or any liability that may result during or after construction. The contractor and/or owner must verify all drawings and verify Kapoor Home Design Ltd. of any errors or omissions prior to the start of construction. Written dimensions shall have precedence over scaled dimensions. These Plans conform to latest edition of BC Building Code (2012).

Kapoor Home Design Ltd.

8661 201 St Langley BC
778-995-1537
kapoorhomes@gmail.com

Builder

Avaya Homes Ltd.
604-306-2017

Site

7368 Barnet Road

Drawing Title

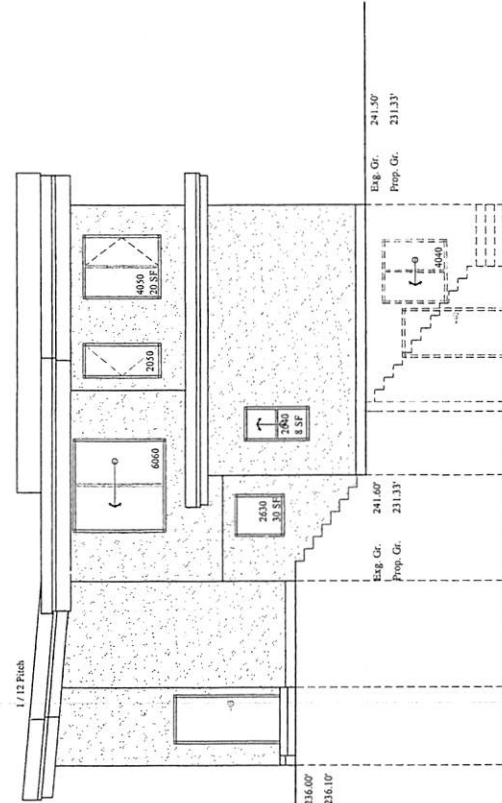
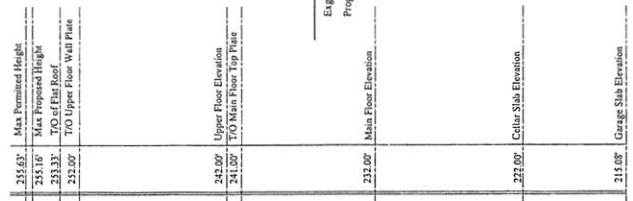
Site Plan

Sheet

A1-0

6158

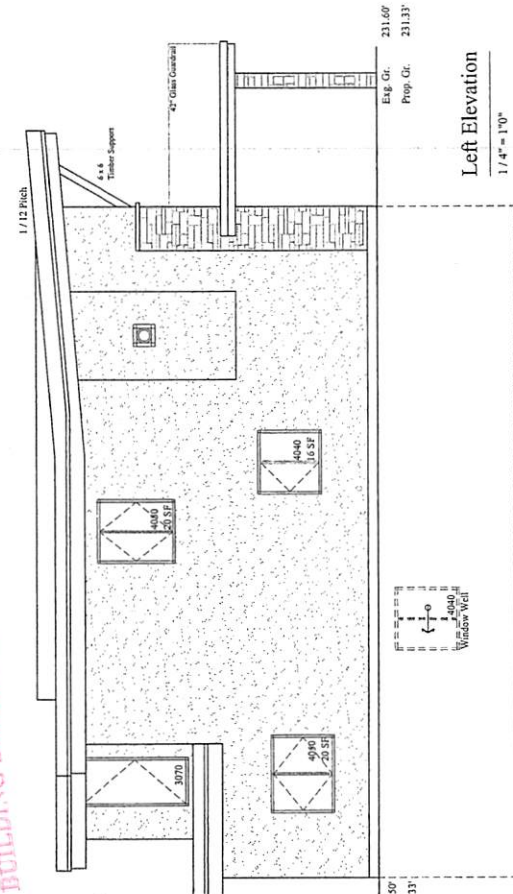
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$$\overline{1/4'' = 1''0''}$$


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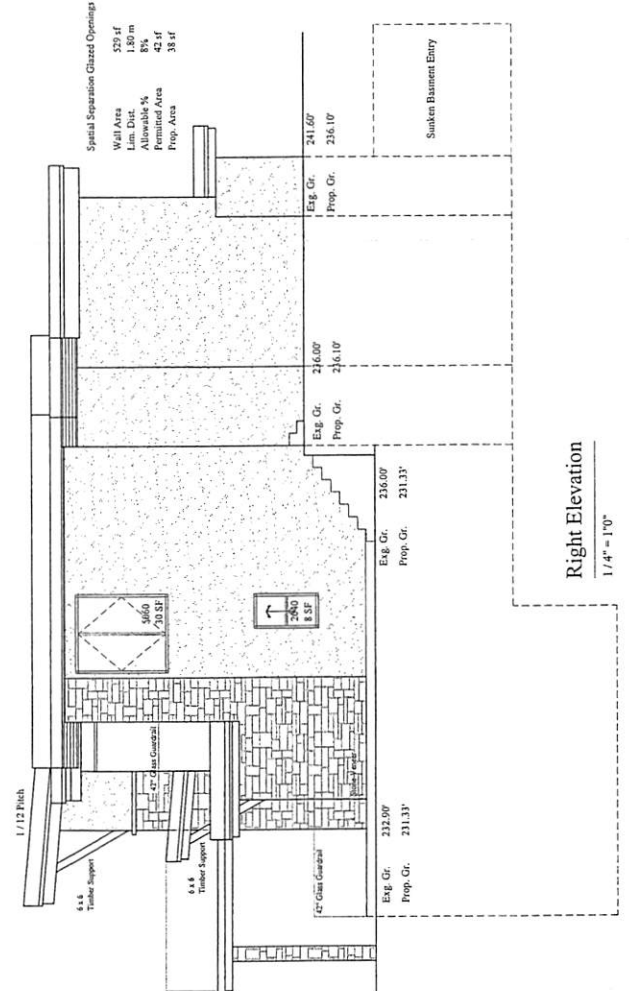
215.01'	Max Permitted Height	Spatial Separation Glazed Openings Wall Area 832 sf Lin. Dist. 1.80 m Allowable % 8% Permitted Area 68 sf Prop. Area 56 sf
215.10'	Max Proposed Height	
213.33'	T/O of Flat Roof	
212.00'	T/O Upper Floor Wall Plate	
242.00'	Upper Floor Elevation	Ex. Gr. 231' Prop. Gr.
241.00'	T/O Main Floor Top Plate	
232.00'	Main Floor Elevation	
232.00'	Column Slab Elevation	
215.08'	Grass Slab Elevation	



Left Elevation

$$\underline{1/4'' = 1''0''}$$

35.53'	Max. Remaining Height
35.16'	Max. Proposed Height
33.33'	T/O of Flat Roof
32.00'	T/O Upper Floor Wall Plate
42.00'	Upper Floor Elevation
41.00'	T/O Main Floor Top Plate
33.00'	Main Floor Elevation
31.33'	Average Grade
22.00'	Cedar Slat Elevation
01.00'	Garage Slat Elevation



Right Elevation

 $1/4" = 1"0"$ [illegible]

6/58

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Notes	Kapoor Home Design Ltd. 8661 201 St. Langley BC 778-995-1517 kapoorhome@gmail.com	Builder	Ayaya Homes Ltd. 604-306-2017	7368 Barnet Road	Cross Sections	A6-0
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Top of Nosing to Revealed Edge 8mm

Stair Detail

Typical Window Seat Detail

1 / 2" = 1' 0"

Specifications

- Roofing
Air Film (Exterior)
Min. 2 Coats Suco
Approved Roofing Underlay
Min. 1/2" Plywood or OSB Sheathing
R-20 Insulation
2x12 Min. @ 16 o/c
Poly Batten
Gypsum Board
Air Film (Interior)
- Ceiling
R-31 Bat Insul. in vaulted ceiling
Min. 6 mil. Poly Barrier
3/4" Gypsum Ceiling Board
Air Film (Interior)
- Soffit
Soffit as per Owner/Design Guidelines
(Provide insulation baffle between each truss w/ min. 2 1/2" clear space)
- Exterior Wall
Air Film Exterior
Min. 2 Coats Suco
Air Cavity (rainscreen)
Building Paper
Min. 1/2" Plywood or OSB Sheathing
Schematic req. as per Engineer
R-20 Bat Insulation
2x6 studs @ 16" o/c
Min. 6 mil. poly vapour barrier
1/2" Gypsum Board
Air Film (Interior)
- Interior Partition
2x4/2x6 studs @ 16" o/c as per P. Eng
1/2" Gypsum Board
Air Film (Interior)
- Basement Concrete Slab
Min. 4" Conc. Slab c/w P. Eng
approved Rebar if Required
2" XPS Insulation
6" Compacted Sand or Gravel
4" dia. Drain tile
c/w min. 6" drainage rock cover
all around
- Heated Flooring
Air Film (Interior)
Finish Flooring as per Owner
1.5" light weight conc. topping
Min. 1/2" T&G Sheathing
Min. 2 x 10 Floor Joists as per Engineer
2 x 2 cross bridging @ 6' 0" o/c max.

Typical Railed Crawlspace Footing

1 / 4" = 1' 0"

All Beams and Floor Joists to be Engineered by Structural Engineer
All Construction to Conform to BCBC2012 or Better,
All Roof Trusses to be Engineered by Supplier.
Basement Slab Height above Sanitary Invert to be confirmed by Contractor prior
Construction to ensure conformance to Building Code.

Max Permitted Height 255.63'

Max Proposed Height 255.16'

TO of Flat Roof 250.33'

TO Upper Floor Wall Plate 252.00'

Upper Floor Elevation 242.00'

TO of Flat Roof 250.33'

TO Main Floor Top Plate 241.00'

Main Floor Elevation 232.00'

Cellar Slab Elevation 227.00'

Gauge Slab Elevation 215.08'

Heating: Radiant in Floor Heating plus Forced Air

Cross Section 1 / 4" = 1' 0"

Heating: Radiant in Floor Heating plus Forced Air

Cross Section 1 / 4" = 1' 0"

Max Permitted Height 255.63'

Max Proposed Height 255.16'

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TO Main Floor Top Plate 241.00'

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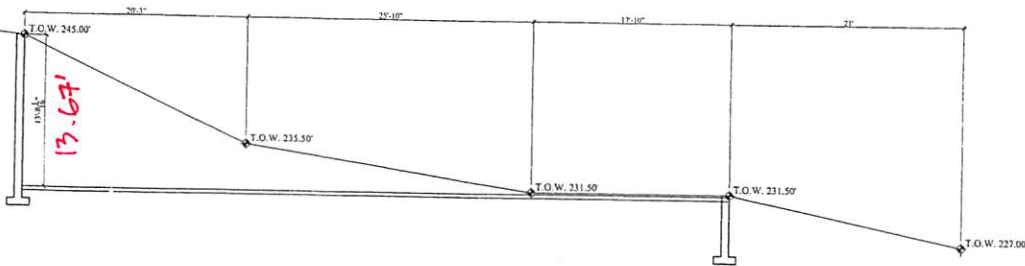
Cellar Slab Elevation 227.00'

Gauge Slab Elevation 215.08'

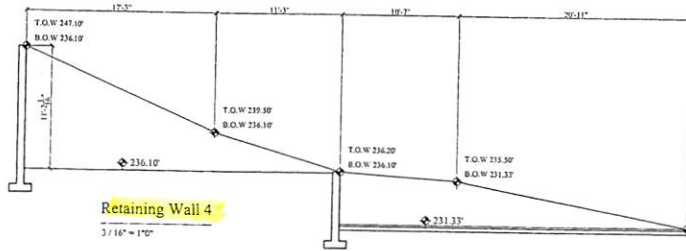
Shaped Concrete or Tile Floor Trusses to be Engineered by Structural Engineer
3/4" Plywood Sheathing
Gird and Nailed on Floor Trusses as per Structural Engineer
1/2" Gypsum Wall Board

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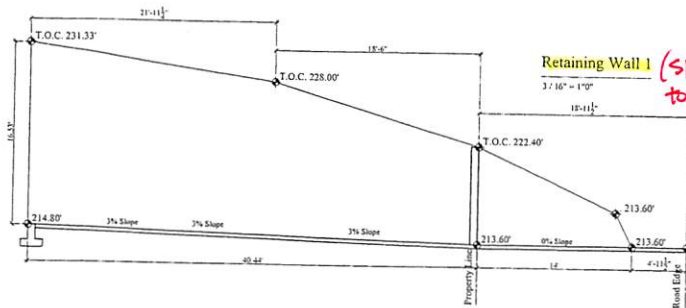
Retaining Wall 3
3/16" = 1'-0"



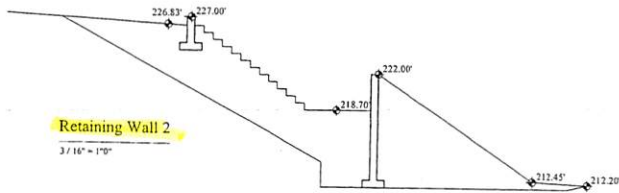
Retaining Wall 4
3/16" = 1'-0"



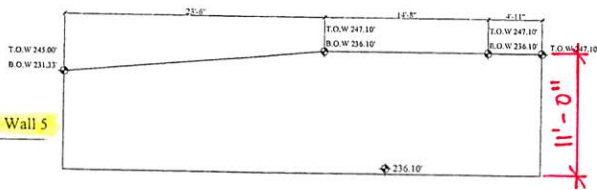
Retaining Wall 1 (SIMILAR TO NORTH WALL)
3/16" = 1'-0"



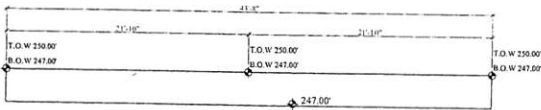
Retaining Wall 2
3/16" = 1'-0"



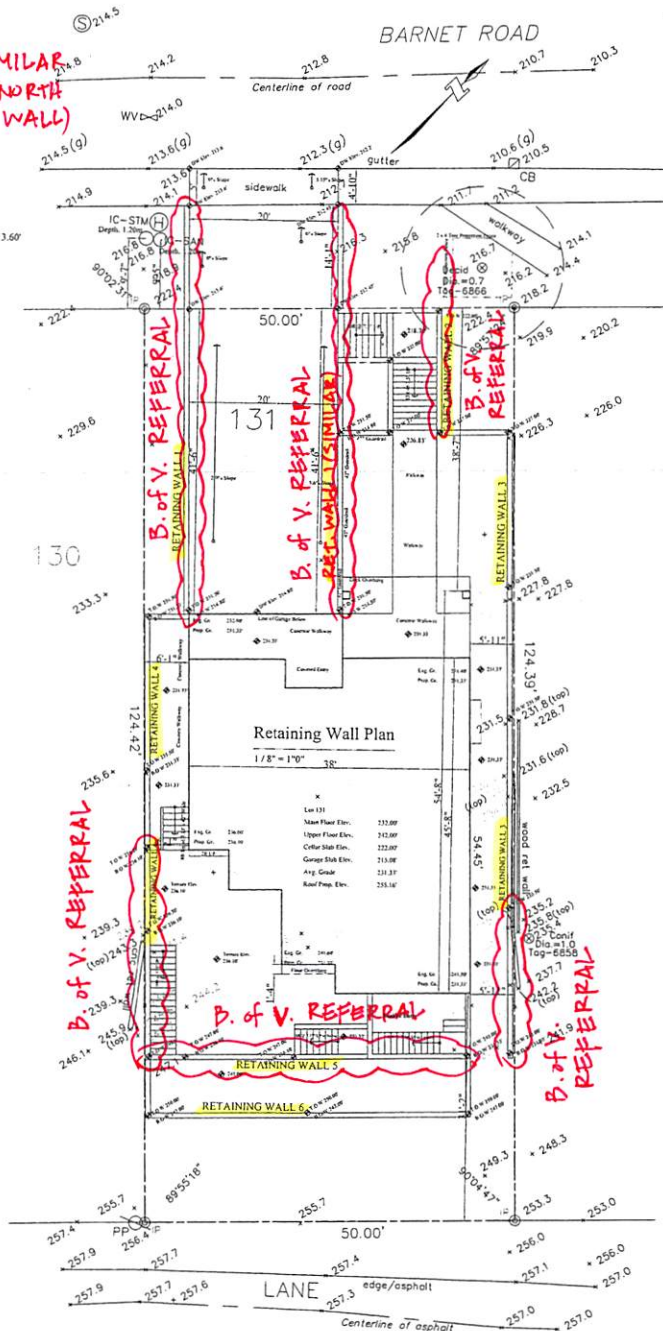
Retaining Wall 5
1/16" = 1'-0"



Retaining Wall 6
3/16" = 1'-0"

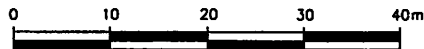


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**POSTING PLAN OF LOT 131
DISTRICT LOT 216 GROUP 1
NEW WESTMINSTER DISTRICT PLAN 11241**
PURSUANT TO SECTION 68 OF THE LAND TITLE ACT
BCGS 92G.026
CITY OF BURNABY
SCALE 1:500

PLAN EPP24572



(All distances are in metres)

The intended plot size of this plan is 280mm in width by 432mm in height (B Size) when plotted at a scale of 1:500.

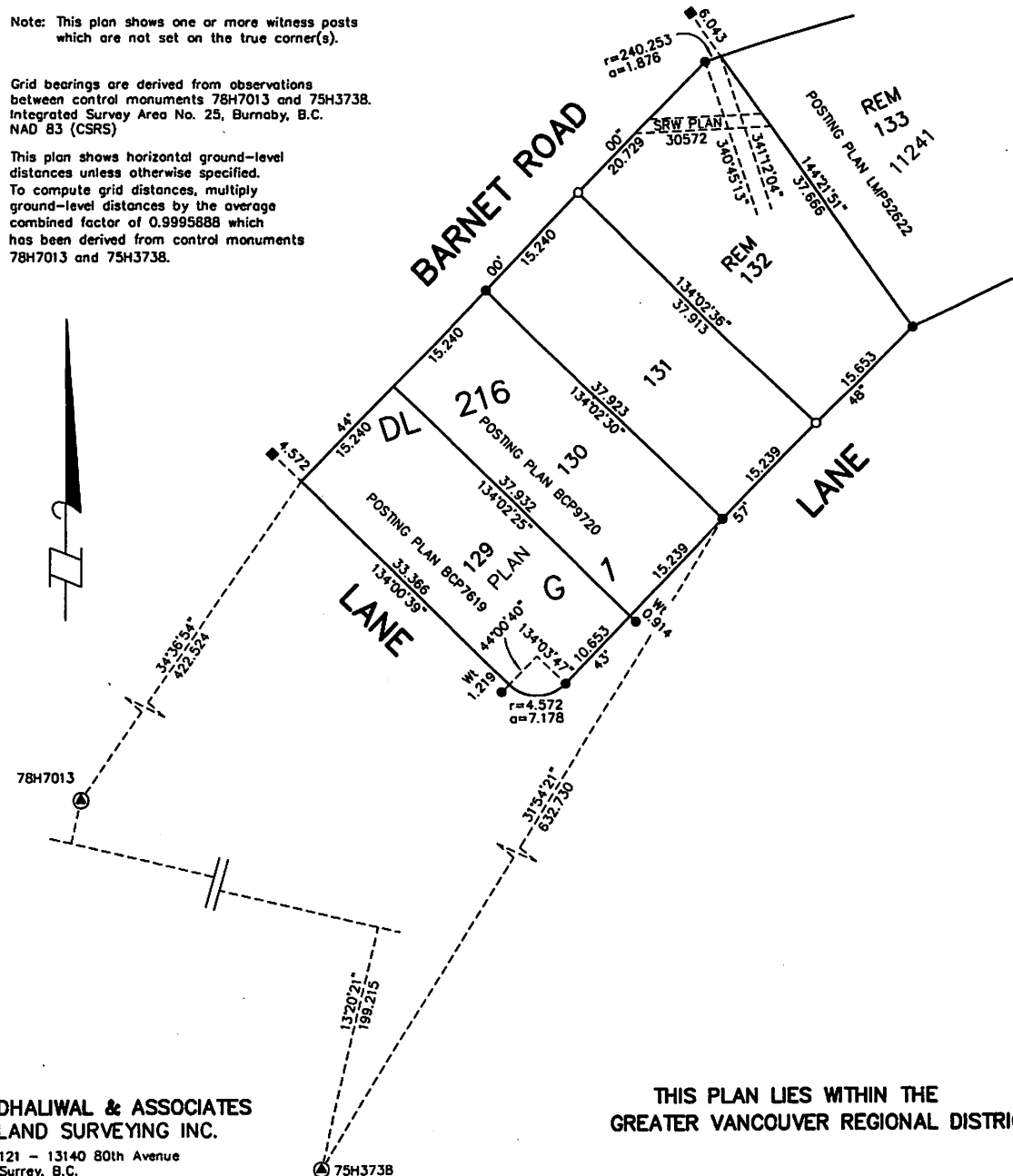
LEGEND

- Ⓐ indicates control monument found
- indicates standard iron post found
- indicates standard iron post placed
- indicates lead plug found
- Wt indicates witness

Note: This plan shows one or more witness posts which are not set on the true corner(s).

Grid bearings are derived from observations between control monuments 78H7013 and 75H3738. Integrated Survey Area No. 25, Burnaby, B.C. NAD 83 (CSRS)

This plan shows horizontal ground-level distances unless otherwise specified. To compute grid distances, multiply ground-level distances by the average combined factor of 0.9995888 which has been derived from control monuments 78H7013 and 75H3738.



**DHALIWAL & ASSOCIATES
LAND SURVEYING INC.**

121 - 13140 80th Avenue
Surrey, B.C.
V3W 3B2
(ph) 604 501-6188
(fx) 604 501-6189
FILE :1211136-P01.DWG

**THIS PLAN LIES WITHIN THE
GREATER VANCOUVER REGIONAL DISTRICT**

The field survey represented by this plan was completed on the 12th day of December, 2012.
Gene Nikula, BCLS

6158

**BRITISH COLUMBIA LAND SURVEYOR'S SITE SURVEY PLAN OF
LOT 131 DISTRICT LOT 216 GROUP 1 N.W.D. PLAN 11241**

P.I.D. 001-913-689

For Building Design Purposes

Scale: 1 inch = 16 feet

Current Civic Address:
7368 Barnet Road
Burnaby, B.C.

Notes:

- All dimensions are in feet.
- Property line dimensions are based on legal field survey.
- This Site Plan adheres to city's Tree By-law.
- Elevations are based on City of Burnaby integrated monument 78H7013 elevation = 288.72 ft (88.003m).

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LEGEND

- IP ●denotes iron post
- (g)denotes gutter
- x 999.9denotes spot elevation
- ⊗ CONIFdenotes tree
- ⊙denotes sanitary manhole
- ⊕denotes storm manhole
- WV ⊙denotes water valve
- ⊠denotes catch basin
- PP ⊙denotes power pole
- ⊕denotes hydrant
- ⊙ IC-SANdenotes sanitary inspection chamber
- ⊙ IC-STMdenotes storm inspection chamber

Building Envelope in R2 zoning:

adjacent lot average: 130

House 7364 setback = 37.88 ft
House 7366 setback = 39.15 ft
House 7370 setback = 44.30 ft
House 7372 setback = 39.98 ft

Front yard average = 40.33 ft
Front yard minimum = 24.6
Rear yard = minimum = 29.5

Building depth = remainder = 54.56 feet
Side yard = 4.9 ft. min.
= 11.5 ft. min. (sum both sides)

It is the contractor's responsibility
to verify applicable zoning category
and setback requirements.

Date of Survey: 27th day of March, 2015

SEAL
GENE PADE, NIKULAN, B.C.L.S. 803
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ORIGINALLY SIGNED AND SEALED

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File: 1211136-T02

