

**BOARD OF VARIANCE REFERRAL LETTER**

DATE: March 30, 2015	DEADLINE: April 14, 2015 for the May 7, 2015 hearing	<i>This is <u>not</u> an application. Please take letter to Board of Variance. (Clerk's office - Ground Floor)</i>	
NAME OF APPLICANT: David Wong			
ADDRESS OF APPLICANT: 28-1020 Mainland St. Vancouver, B.C. V6B 2T4			
TELEPHONE: 604.340.3793			
PROJECT			
DESCRIPTION: New single family dwelling			
ADDRESS: 4188 Rumble Street			
LEGAL:	LOT: 4	DL: 156	PLAN: 1387

The above mentioned application, which includes the attached plan of the proposal, has been refused by the Building Department on the basis of contravention of:

Zone/Section(s) R2 [6.2(2); 102.6(1)(b); 102.8(1); 800.6(1)]
of the Burnaby Zoning Bylaw No. 4742

COMMENTS:

The applicant is proposing to build a new single family dwelling. The following relaxations are being requested.

- 1) The principal building height, measured from the rear average elevation will be 28.65 feet. The principal building height, measured from the front average elevation will be 24.3 feet. The maximum building height of 24.3 feet is permitted.
- 2) The principal building will be 3 storeys where a maximum of 2 ½ storeys is permitted. The proposed upper floor (1095.8 ft²) exceeds the 50% of the main floor (1808.2 ft²) by 191.7 ft². The lowest floor does not meet cellar qualification.
- 3) The front yard setback will be 43.50 feet to the upper floor cantilever where a minimum front yard setback of 55.98 feet is required based on front yard averaging.
- 4) The relaxation of 800.6 of the Zoning By-Law which, if permitted, will allow an accessory building in a required front yard, located 28.54 feet from the North property line abutting Rumble Street and 5.25 feet from the West property line, where siting of an accessory building in a required front yard is prohibited by the Zoning By-Law.

Note: The applicant recognizes that should the project contain additional characteristics in contravention of the zoning by-law a future appeal(s) may be required.

DS

Peter Kushnir
Assistant Chief Building Inspector, Permits and By-Law Enforcement

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david wong architect
sea to sky architecture
+ urban ecology

suite 204-1020 Mainland Street
Vancouver, BC V6B 2T4

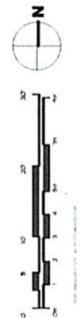
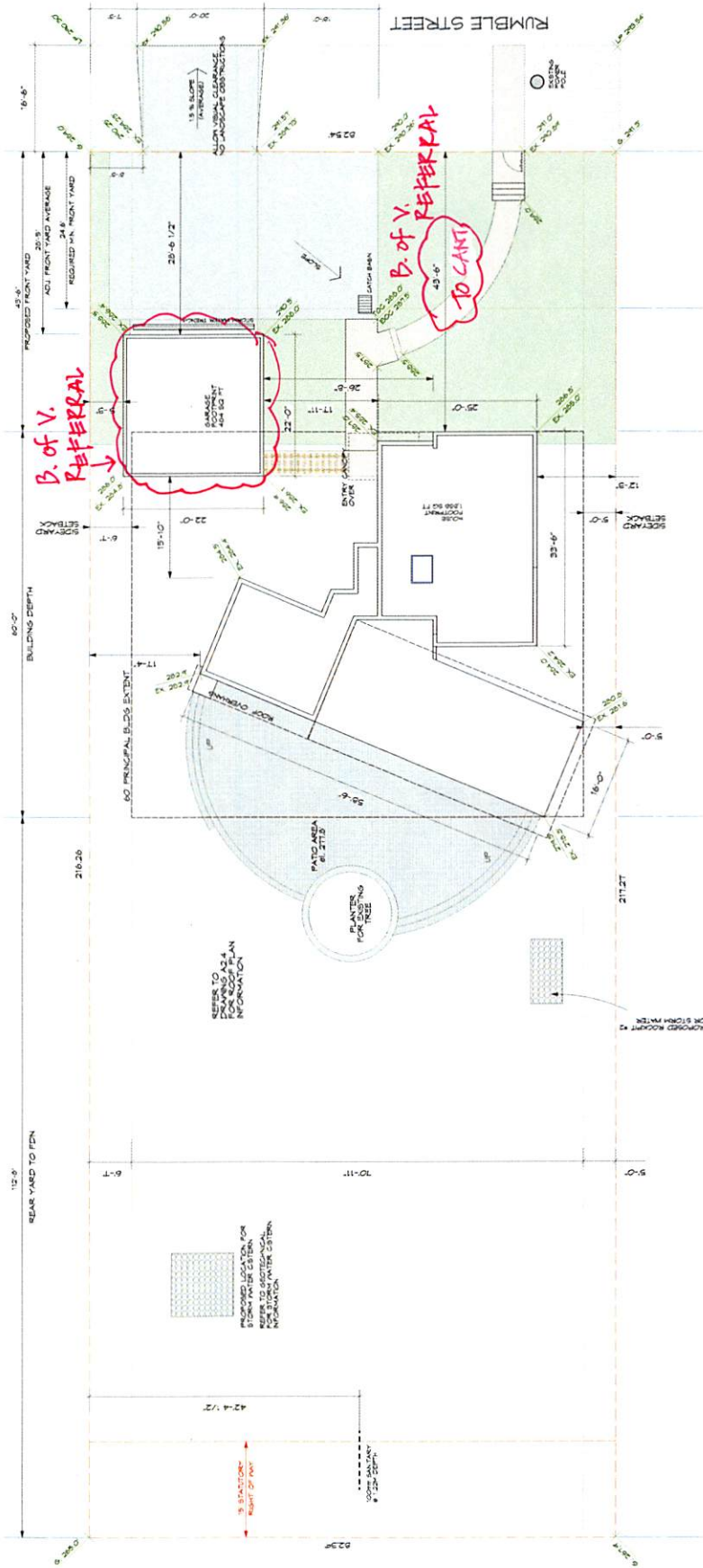
info@dwongarchitect.com
www.dwongarchitect.com

LEGAL DESCRIPTION:	
STREET ADDRESS: 4170 RUMBLE STREET (EXISTING)	
4170 RUMBLE STREET (PROPOSED)	
LEGAL: PLAN OF LOT 1, DISTRICT LOT 160, GROUP 1 AND PLAN 1307	
ZONING: R2 (SINGLE FAMILY RESIDENCE)	
SITE COVERAGE: 0.40	

LEGAL DESCRIPTION:	
STREET ADDRESS: 4170 RUMBLE STREET (EXISTING)	
4170 RUMBLE STREET (PROPOSED)	
LEGAL: PLAN OF LOT 1, DISTRICT LOT 160, GROUP 1 AND PLAN 1307	
ZONING: R2 (SINGLE FAMILY RESIDENCE)	
SITE COVERAGE: 0.40	

LEGAL DESCRIPTION:	
STREET ADDRESS: 4170 RUMBLE STREET (EXISTING)	
4170 RUMBLE STREET (PROPOSED)	
LEGAL: PLAN OF LOT 1, DISTRICT LOT 160, GROUP 1 AND PLAN 1307	
ZONING: R2 (SINGLE FAMILY RESIDENCE)	
SITE COVERAGE: 0.40	

LEGAL DESCRIPTION:	
STREET ADDRESS: 4170 RUMBLE STREET (EXISTING)	
4170 RUMBLE STREET (PROPOSED)	
LEGAL: PLAN OF LOT 1, DISTRICT LOT 160, GROUP 1 AND PLAN 1307	
ZONING: R2 (SINGLE FAMILY RESIDENCE)	
SITE COVERAGE: 0.40	



6159

DRAWN BY: DWA
CHECKED BY:

PRIVATE RESIDENCE

CLIENT: 4170 RUMBLE STREET
BURNABY, BRITISH COLUMBIA

SCALE: 1/8" = 1'-0"
DRAWING DATE: AUGUST 25, 2014
PROJECT ADDRESS:

SITE PLAN
PROJECT NO. 2014-0001
A 1.2

BUILDING DEPARTMENT

suite 28-1020 Mainland Street
Vancouver, BC V6B 2T4
info@dravidwong.ca

This theory may not be without supporters. In the United States, for example, many more men than women are in the armed services, and men are expected to do the heavy lifting. The theory may be supported by the fact that men are more likely to be in the armed services than women.

REVISIONS	DATE
1	FEB 10, 2019

CONSULTANT

DRAWN BY	CHECKED BY
Don	

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RESIDENCE

CLIENT

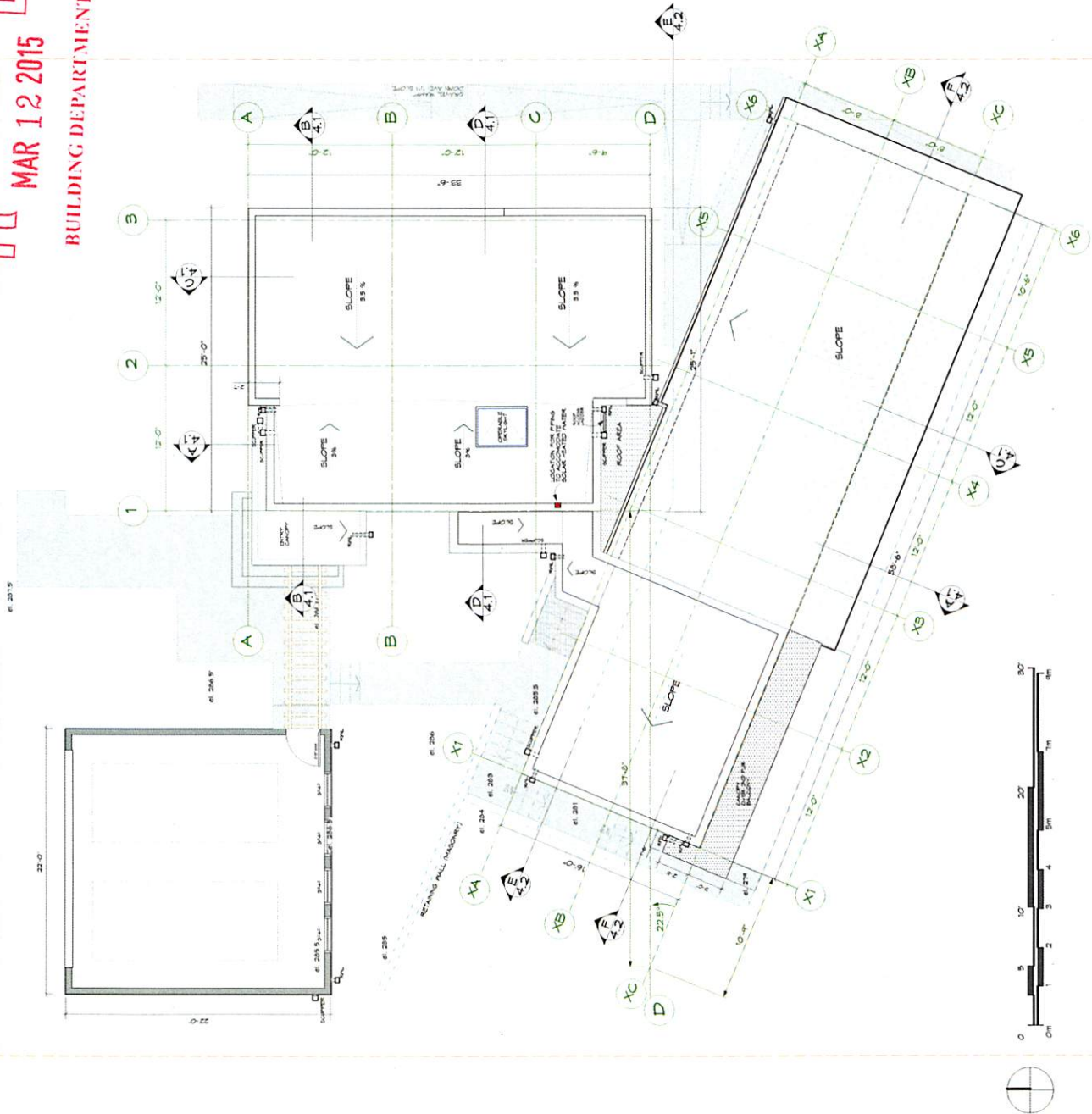
SCALE	DRAWING DATE
1/4" = 1'-0"	AUGUST 29, 2014

PROJECT ADDRESS

4178 RUMBLE STREET
BURNABY,
BRITISH COLUMBIA

ROOF PLAN

PROJECT NO.	A 2.4
2014-MH001	



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PROJECT PLACEMENT	FEB 18, 2015
REVISIONS	
CONSULTANT	



SOUTH ELEVATION

B. of V.
REFERRAL



WEST ELEVATION

WEST ELEVATION SPATIAL SEPARATION CALCULATIONS
 LIVING DISTANCE FROM WEST FL.
 10' x 8' (APPROX)
 80' x 100' (APPROX)
 800' x 100' (APPROX)
 800' x 100' (APPROX)
 800' x 100' (APPROX)
 800' x 100' (APPROX)
 800' x 100' (APPROX)
 800' x 100' (APPROX)
 800' x 100' (APPROX)
 800' x 100' (APPROX)

DRAWN BY	CHKD BY
DWA	

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CLIENT	
SCALE	1/4" = 1'-0"
DRAWING DATE	AUGUST 25, 2014
PROJECT ADDRESS	

4118 RUMBLE STREET
BURNABY,
BRITISH COLUMBIA

SOUTH & WEST ELEVATIONS	
PROJECT NO.	A 3.2
2014-11-02	

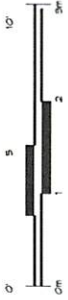
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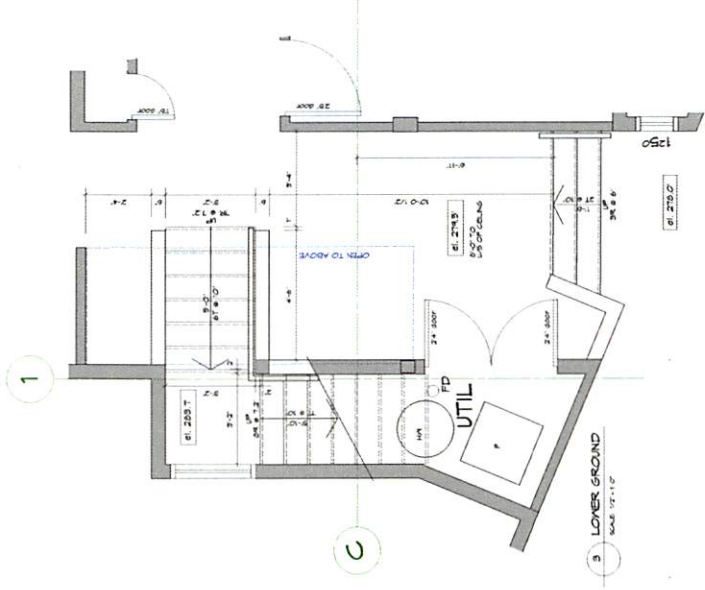
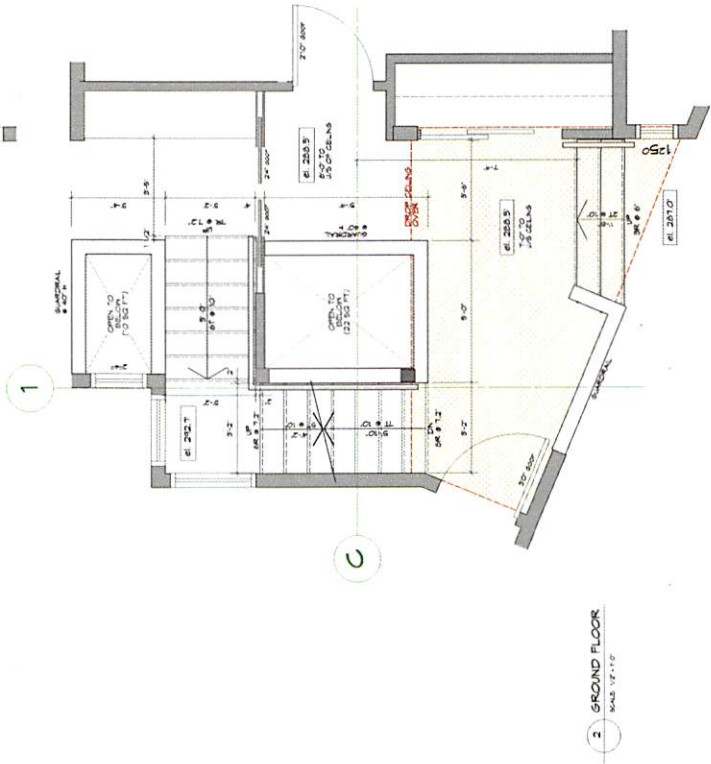
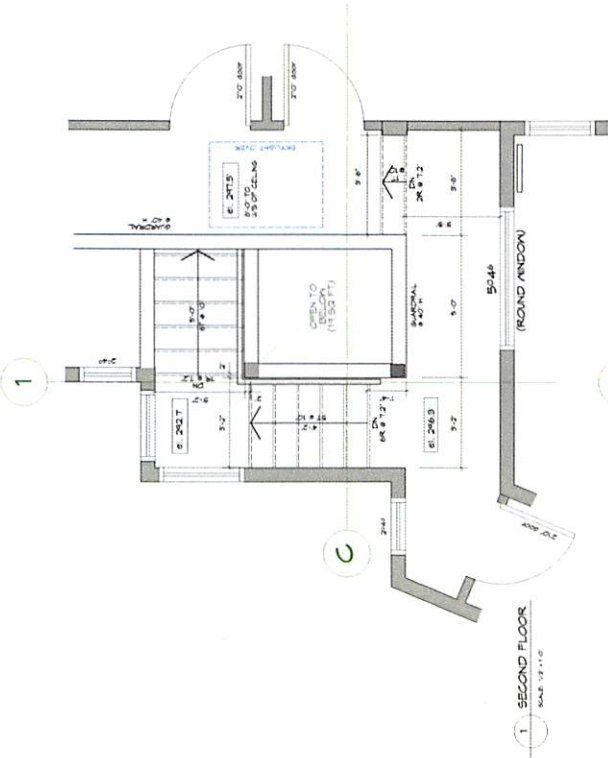
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11' TREAD
12" RISE
12" MIN. HANDRAIL & BALUST HIGH
PROVIDE MIN. 8" MIN. TYPED HEADROOM CLEARANCE
ALL INTERIOR STAIRS & 40" HIGH
ALL EXTERIOR STAIRS & 42" HIGH



DRAWN BY
DWM

CHECKED BY

PRIVATE
RESIDENCE

CLIENT

SCALE
1/2" = 1'-0"

DRAWING DATE
AUGUST 25, 2014

PROJECT ADDRESS

4115 RUMBLE STREET
BURNABY,
BRITISH COLUMBIA

STAIRWELL

PROJECT NO.
2014-14001

A5.2

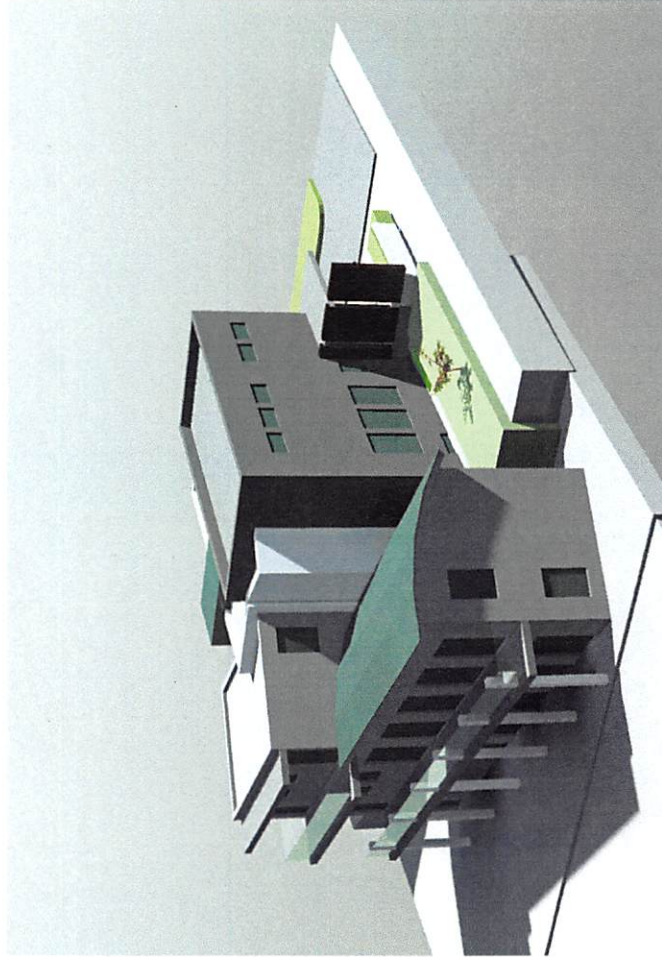
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4178 RUMBLE STREET, B.C. CANADA

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NOTES:

DO NOT SCALE DRAWINGS

ALL WORK CARRIED OUT SHALL CONFORM TO THE BUILDING CODE 2012 INCLUDING ALL SUPPLEMENTARY AMENDMENTS, REGULATIONS AND STRUCTURAL DESIGN CRITERIA.

CONTRACTOR AND SUB-CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND INFORMATION PRIOR TO COMMENCING WORK AND SHALL BE RESPONSIBLE FOR ANY DISCREPANCIES TO THE DRAWINGS AND/OR SPECIFICATIONS.

CONTRACTOR IS RESPONSIBLE FOR ON-SITE LOCATION OF BUILDING SERVICES CONFORMING TO SETBACKS BEFORE COMMENCING CONSTRUCTION.

CONTRACTOR SHALL ENSURE THAT ALL WORK CARRIED OUT CONFORMS TO MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS, AND IS PERFORMED WITH CARE AND DILIGENCE ACCORDING TO GOOD BUILDING PRACTICES.

WHEN ALTERNATE MATERIALS, PRODUCTS OR METHODS ARE PROPOSED, COMPLETE AND APPROPRIATE DETAILS, LITERATURE AND SAMPLES SHALL BE SUBMITTED TO DVA FOR REVIEW AND APPROVAL PRIOR TO ORDERING, OR FABRICATING.

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INSURANCE, SITE SECURITY, SITE SAFETY AND JOB PAYMENTS.

OPENING SIZES FOR MANUFACTURED COMPONENTS ARE FOR NORMAL SIZES ONLY. VERIFY WITH SUPPLIER OR MANUFACTURER.

PROVIDE PROPER ALUMINUM / GALV. METAL FLASHING OVER ALL EXTERIOR WALL OPENINGS, WINDOWS, PARAPETS, ROOF GABLES AND AROUND ALL ROOF PENETRATIONS.

CAULK AND SEAL ALL EXTERIOR WALL PENETRATIONS.

ALL FOOD WASTE REMOVAL IN CONTACT WITH CONCRETE SHALL BE PROTECTED WITH A CONTINUOUS CLOSED CELL POLYETHYLENE SHEET.

ALL TAPPED TREES TO BE PROTECTED AND RETAINED.

PROVIDE NO LESS THAN 8 INCHES CLEARANCE BETWEEN FINISHED GRADE AND STUCCO ROOF OR OTHER DEMANDABLE FINISHES.

CEILING INSULATION SHALL NOT OBSTRUCT SOFFIT AND / OR PARAPET VENTILATION. STRAPPING OR OTHER METHODS SHALL BE USED TO MAINTAIN A MIN. 2" CLEARANCE BETWEEN INSULATION AND UNDERSIDE OF ROOF ASSEMBLY.

BARREL VULT CEILING TO EMPLOY ROCKWOOL INSULATION AS PER DETAIL ON DRAWING A5.1.

CEILING DRYWALL TO BE SECURED TO THE LUS OF JOISTS UNLESS NOTED OTHERWISE (N.O.).

INSTALL SMOKE ALARMS CONFORMING TO A.C. 9381 STANDARD FOR SMOKE ALARMS TO EACH PASSAGEWAY IN ACCORDANCE TO B.C. SUBSECTION 4.2.3.3. ALL SMOKE ALARMS TO BE INTERCONNECTED.

TYPICAL CRAWLSPACE / ATTIC SPACE MINIMUM CLEAR HEIGHT OF 3'-0". VENTED 150 FT PER 500 SQ FT FLOOR AREA MINIMUM TWO VENTS.

BASE OF AIR CAVITY / RAIN SCREEN SYSTEMS AT EXTERIOR WALL FINISHES.

ALL EXTERIOR SLABS IN WINDOWS AND DOORS TO MEET CURRENT (2015) ENERGY REQUIREMENTS (REFER TO DOOR / WINDOW SCHEDULE).

SAFETY GLASS TO BE USED NEAR BATHROOMS AND SHOWERS, AS WELL AS AT ALL SLIDING EXTENSIONS LESS THAN 12" ABOVE FINISHED FLOOR.

ALL EXTERIOR ACCESS DOORS TO BE 30" MIN. ACCESSIBLE BATHROOMS TO HAVE DOOR OPENINGS AT 2'-0" MIN. (MIN.)

WATERPROOF BACKING MATERIAL TO BE PROVIDED AROUND BACK FLASHINGS, BATHUBS AND SHOWERS.

SUPPLEMENTARY FLASHING TO BE PROVIDED AT ALL DECKS AND AT ROOF PARAPETS.

INTERIOR GUARDRAILS TO BE 42" HIGH FROM TOP OF FINISHED FLOOR. EXTERIOR GUARDRAILS TO BE 42" HIGH FROM TOP OF FINISHED FLOOR.

NOT SHOWN, HANDRAILS ARE TO BE LOCATED ON "INSIDE RAILS" OF INTERIOR STAIRS.

HEATING SYSTEM IN FLOOR RADIANT HEAT.

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ARCHITECTURAL

- A 1.0 COVER
- A 1.1 GENERAL NOTES & WALL TYPES
- A 1.2 SITE PLAN / ROOF PLAN
- A 2.1 FLOOR PLAN: LOWER GROUND
- A 2.2 FLOOR PLAN: SECOND
- A 2.3 FLOOR PLAN: SECOND
- A 3.1 EAST & NORTH ELEVATIONS
- A 3.2 SOUTH & WEST ELEVATIONS
- A 3.3 GARAGE PLAN & ELEVATIONS
- A 4.1 BUILDING SECTIONS A, B, C, & D
- A 4.2 BUILDING SECTIONS E & F
- A 5.1 DETAIL SECTIONS
- A 5.2 DETAIL STAIRS

REFERENCE AND ADHERENCE TO THE MOST CURRENT B.C. BUILDING CODE FORMS PART OF THIS INFORMATION PACKAGE.

THE SERVICES OF A STRUCTURAL ENGINEER AND OTHER CONSULTANT (E.G. BUILDING ENVELOPE SPECIALIST) IS TO BE ENGAGED FOR EACH AND EVERY STRUCTURE. THESE DESIGN IS BASED ON THIS SET OF DRAWING INFORMATION.

6159

**POSTING PLAN OF LOTS 4 AND 8, BOTH OF
DISTRICT LOT 156, GROUP 1,
NEW WESTMINSTER DISTRICT,
PLAN 1387**

PURSUANT TO SECTION 88, LAND TITLE ACT
BCGS: 92G025

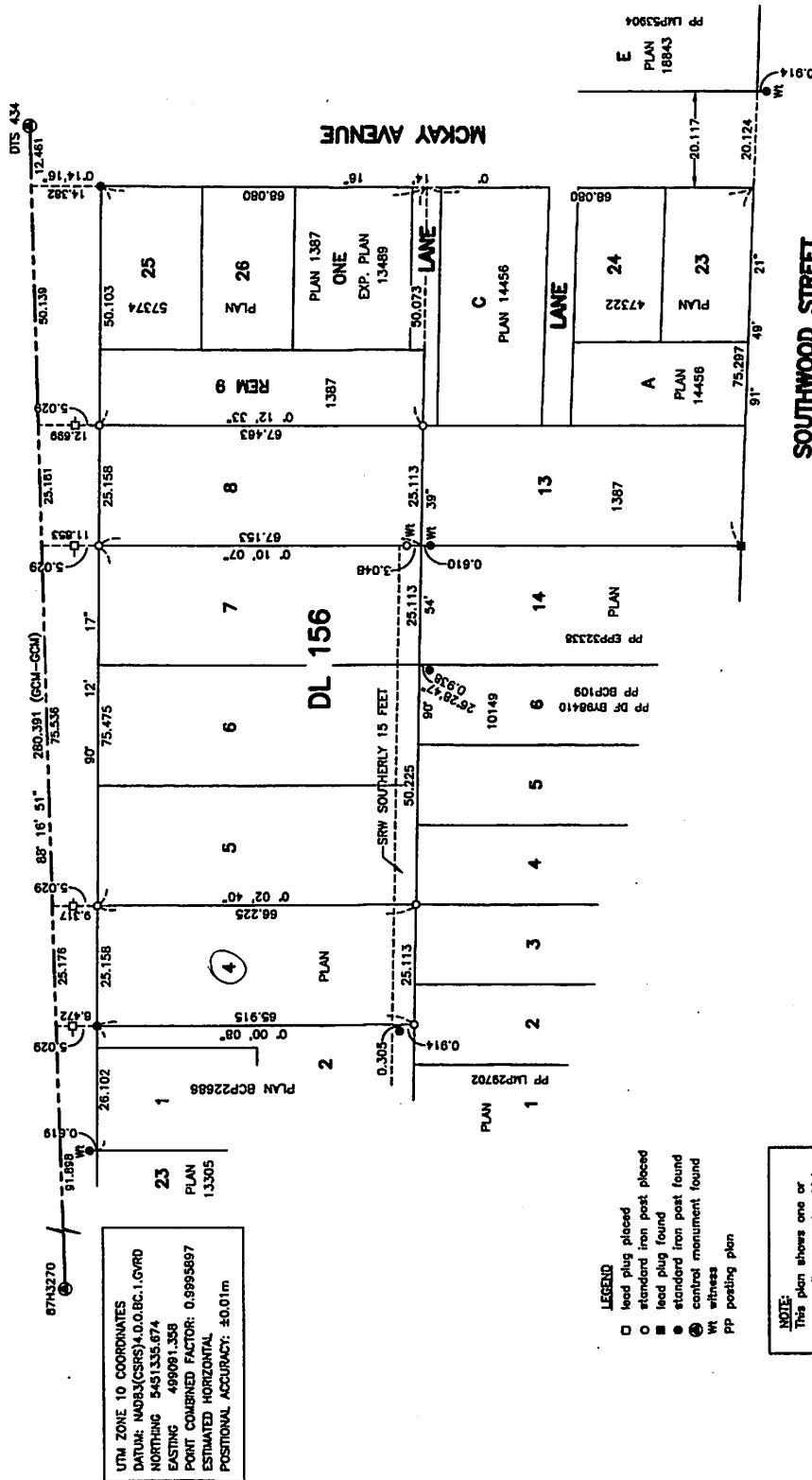
PLAN EPP49483

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0 5 10 20 30 40 50m
All distances are in metres and decimals
thereof unless otherwise indicated.
The intended plot size of this plan is 580mm
in width by 432mm in height (sheet size C)
when plotted at a scale of 1:750.

UTM ZONE 10 COORDINATES
DATUM: NAD83(CSRS) 4.0.0.BC.1.0VRD
NORTHING 5451344.082
EASTING 499371.507
POINT COMBINED FACTOR: 0.9995883
ESTIMATED HORIZONTAL
POSITIONAL ACCURACY: ±0.01m

RUMBLE STREET



SOUTHWOOD STREET

Integrated Survey Area No.25, City of Burnaby
NAD83 (CSRS), 4.0.0.BC.1.0VRD
Grid bearings are derived from observations between
geodetic control monuments 87H3270 and DTS 434.
The UTM coordinates and estimated horizontal positional
accuracy achieved have been derived from conventional survey
observations to control monuments 87H3270 and DTS 434.
This plan shows horizontal ground-level distances unless
otherwise specified. To compute grid distances, multiply
ground-level distances by the overage combined factor of
0.9995883 which has been derived from control monuments
87H3270 and DTS 434.

- LEGEND**
- lead plug placed
 - standard iron post placed
 - lead plug found
 - standard iron post found
 - ⊙ control monument found
 - WM witness
 - PP posting plan

NOTE:
This plan shows one or
more witness points which
are not set on the true
corner(s).

Ken K. Wong and Associates
Canada and B.C. Land Surveyors
5624 E. Hastings Street
Burnaby, B.C. V5B 1R4
Telephone: 604-294-8881
Fax: 604-294-0625
140454 FB914 P100-102
140872 FB916 P46-47
R-11728 R-6777 IF-4682
Drawn by: TB

FILE: SU-2634

This plan lies within the Greater Vancouver Regional District.

Mark Russell Doley
The field survey represented
by this plan was completed
on the 28th day of October, 2014.
Mark John Russell Doley, BCLS 887.

6159

**TOPOGRAPHIC SURVEY PLAN OF LOT 4
DISTRICT LOT 156, GROUP 1
NEW WESTMINSTER DISTRICT
PLAN 1387**

4178 Rumble Street
Burnaby, BC

ZONING: R2

RUMBLE STREET

SCALE: 1 INCH = 20 FEET
0 5 10 20 30 40 50 60

All dimensions are in feet and decimals
thereof unless otherwise indicated.
Contour interval: 1.5 feet

PATTERSON AVENUE

LEGEND:

- OIP old iron post found
- IP iron post
- LP lead plug
- PP power pole
- sf square feet
- △ diastem
- Tv top of wall
- Bv bottom of wall
- GD ground elevation
- d/a driveway
- (PTA) front yard average

HOUSE NO.	LOT NO.	FRONT YARD SETBACKS	AVERAGE
4156	1	28.5	55.98
4168	2	136.6	
4192	5	35.3	MINIMUM
4210	6	21.5	24.6
	TOTAL	223.9	

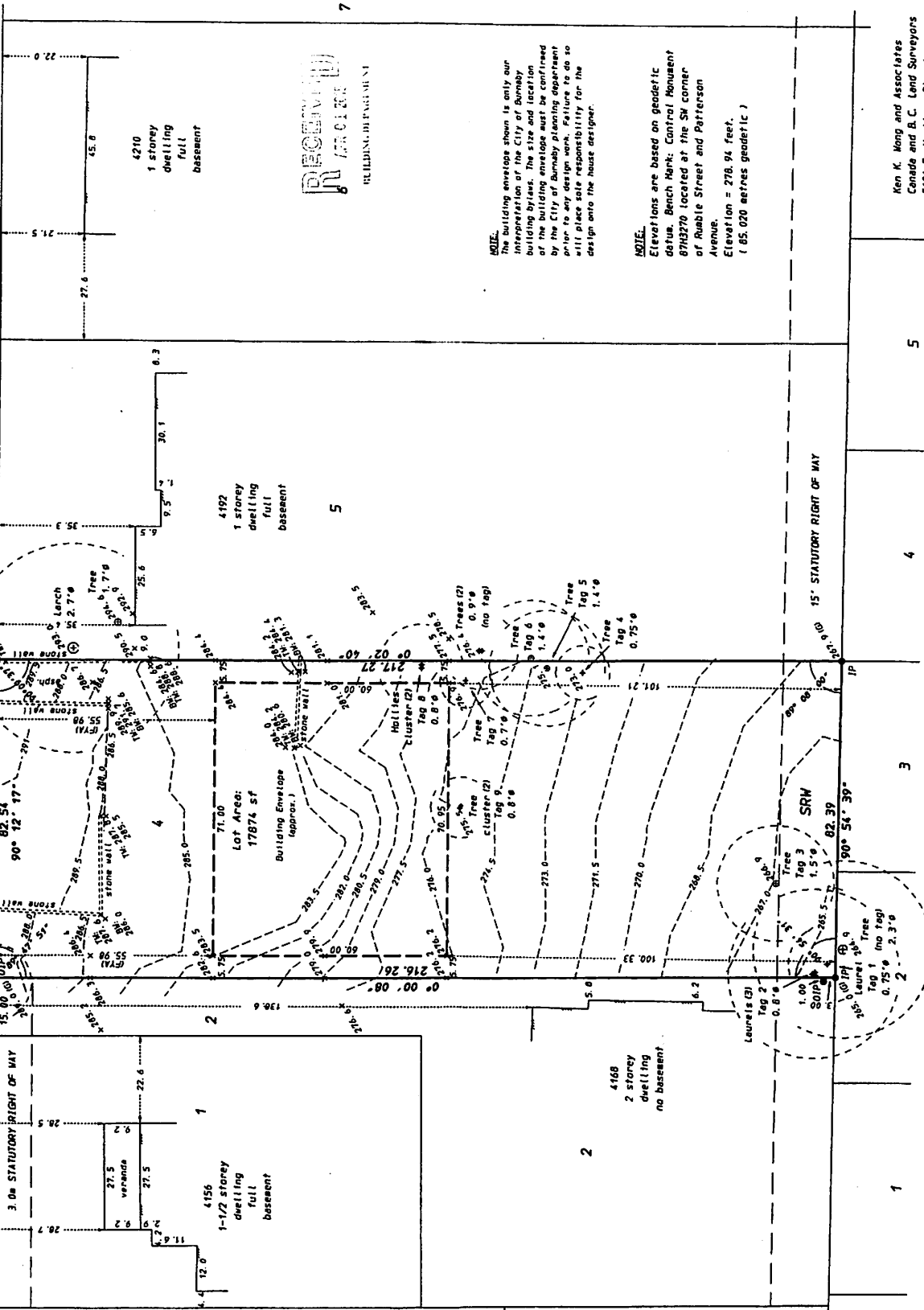
NOTE:
All trees have been plotted
in accordance with Burnaby
Tree Bylaw 1996.

© copyright restriction
This document is not valid unless
originally signed and sealed.

CERTIFIED CORRECT:
Lot dimensions are correct
according to ground survey

Jack D. Bailey
B.C.L.S.
March 5, 2015

FILE: TF-4662B PID: 012-130-397



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NOTE:
The building envelope shown is only our
interpretation of the City of Burnaby
building bylaws. The size and location
of the building envelope must be confirmed
by the City of Burnaby planning department
prior to any design work. Failure to do so
will place sole responsibility for the
design onto the house designer.

NOTE:
Elevations are based on geodetic
datum. Bench Mark: Contrail Monument
8743270 located at the SW corner
of Rumble Street and Patterson
Avenue.
Elevation = 278.91 feet.
(85.020 metres geodetic)

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Drawn by: TB

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