City of Burnaby
Building Department

(604) 294-7140

BOARD OF VARIANCE REFERRAL LETTER

DATE: April 10th, 2015	**DEADLINE: April 14th, 2015 for the May 7th, 2015 hearing**	*This is **not** an application. Please take letter to Board of Variance. (Clerk's office - Ground Floor)*
NAME OF APPLICANT: Elton Donald		
ADDRESS OF APPLICANT: 3971 Yale Street		
TELEPHONE: (604) 202-6675		

PROJECT

DESCRIPTION: Interior alterations/finishing to the basement, interior alterations/finishing to the main floor, addition to the main floor, new deck to the main floor, new porch to the main floor, interior alterations/finishing to the upper floor, addition to the upper floor, new deck to the upper floor and enclosing detached carport (built w/o permit) only.

ADDRESS: 3971 Yale Street

LEGAL:	**LOT: 13**	**DL: 186**	**PLAN: NWP1124**

The above mentioned application, which includes the attached plan of the proposal, has been refused by the Building Department on the basis of contravention of:

Zone/Section(s) R-3 [103.6(1)(b),103.9(1)]
of the Burnaby Zoning Bylaw No. 4742

COMMENTS:
The applicant is proposing to construct interior alterations/finishing to the basement, interior alterations/finishing to the main floor, addition to the main floor, new deck to the main floor, new porch to the main floor, interior alterations/finishing to the upper floor, addition to the upper floor, new deck to the upper floor and enclosing detached carport only. The following relaxations are being requested:

1. The principal building height will be 3 storeys where a maximum 2 ½ storeys is permitted.
   Note: The proposed upper floor (1129 ft2) exceeds 50% of the main floor (1380 ft2) by 439 ft2. The lower floor does not meet cellar qualification as it is only 48.1% below average natural grade, where more than 50% is required.
2. The principal building height, measured from the rear elevation, will be 27.17' where a maximum 24.3' is permitted.
   Note: The principal building height measured from the front average elevation will be 21.27'.
3. The principal building side yard setback, measured from the west property line to the addition, will be 4.54' where a minimum 4.9' is required.

BY Kushnir

Peter Kushnir
Assistant Chief Building Inspector, Permits and Customer Service

6160

CIVIC ADDRESS:
3971 YALE ST. BURNABY

LEGAL DESCRIPTION: LOT 13
BLOCK 36 DISTRICT LOT 186

ZONING R1

Drawing Schedule

ID-1. Site Plan / Statistics

ID-2. Basement Floor Plan

ID-3. Main Floor Plan

ID-4. Upper Floor Plan

ID-5. North & South Exterior Elevation

ID-6. East & West Exterior Elevation

ID-7. Section 1 & 2

ID-8. Details - Stairs

SITE DATA

ADDRESS: 3971 YALE STREET, BURNABY

LEGAL: LOT 13 BLOCK 36 DISTRICT LOT 186 GROUP 1 NEW WESTMINSTER DISTRICT PLAN 1-24

ZONE: R1

LOT SIZE: 100 X 1726

LOT AREA: 0.100 sq ft

LOT COVERAGE MAX ALLOWED 40%
PROPOSED LOT COVERAGE 36.6%

BUILDING AREA = 1650 s.f.
GARAGE = 534 s.f.
UTILITY AREA = 49.6 s.f.
TOTAL AREA = 2233.6 s.f.

MAX HEIGHT FLAT ROOF = 24.3
EX/PROPOSED HEIGHT = 20.7

AVERAGE REAR ELEVATION = 267
EX/PROPOSED ROOF PEAK = 274.40

MAX ALLOWABLE FSR = 0.6 x 6100 s.f.
= 3660 s.f.

EXISTING GROSS FLOOR AREA

BASEMENT 1067 s.f.
GROUND FLOOR 1350.3 s.f.
EXISTING PLACES 715.7 s.f.
TOTAL 3093.0 s.f.

PROPOSED GROSS FLOOR AREA

BASEMENT 1067 s.f.
GROUND FLOOR 1370.6 s.f.
UPPER FLOOR 1137.1 s.f.
TOTAL 3574.7 s.f.

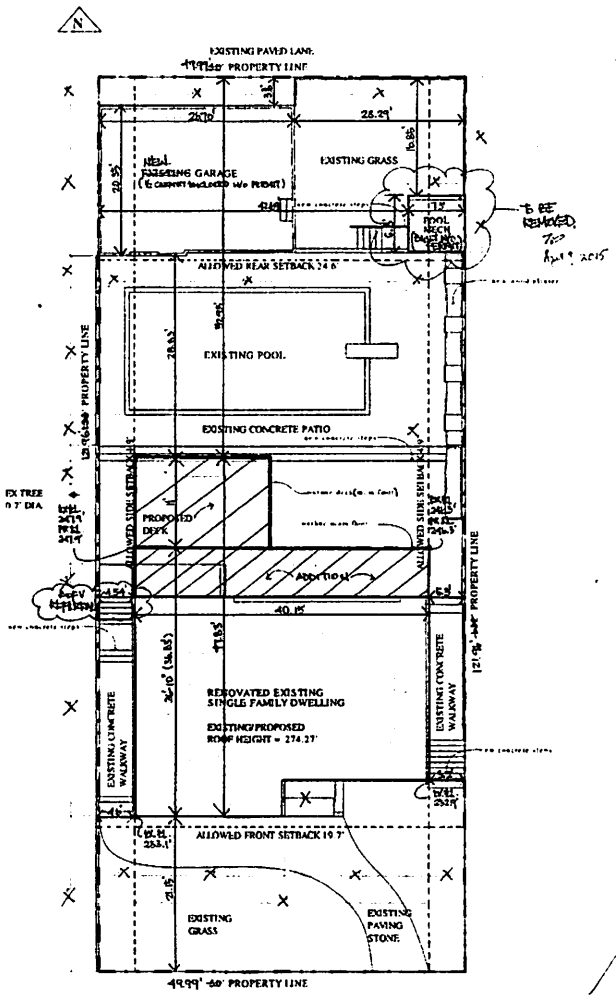
MAX ABOVE GRADE FLOOR AREA
= 0.24(100) + 1500 s.f.
= 3610 s.f.

PROPOSED ABOVE GROUND FLOOR AREA
= 2507.6 s.f.

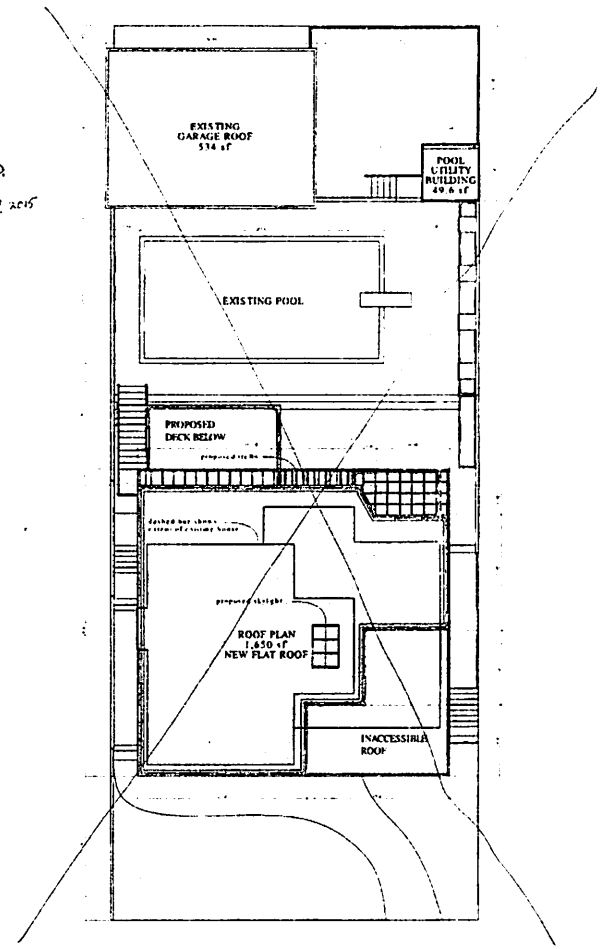
LEGEND

EXISTING STRUCTURES

PROPOSED ADDITION



ID-1 SITE PLAN



ID-1 ROOF PLAN

BCF V COPY ONLY

err CONSTRUCTION
1676 WEST 75TH AVENUE, VANCOUVER BC
604 263 0343 WWW.ERRCONSTRUCTION.CA

No	REVISIONS:	DATE
1	ISSUE FOR PERMIT	March 19/15

The Contractor is to verify all dimensions on the project and to report any discrepancies to the Architect prior to commencing work. These drawings are not to be used for construction purposes unless indicated as "issued for construction"

CLIENT
DONALD RESIDENCE

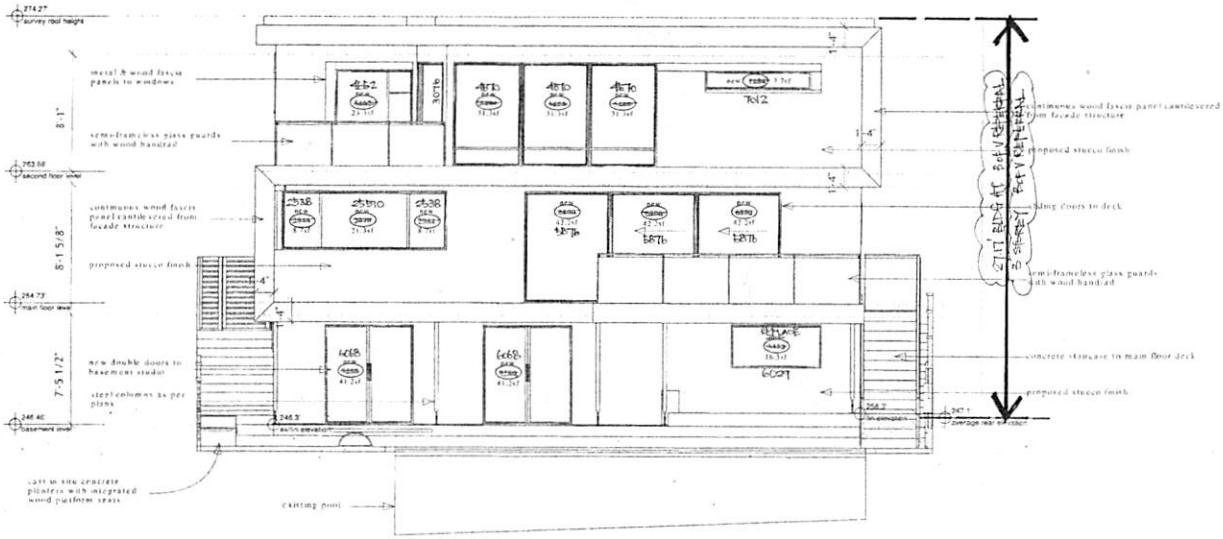
PROJECT
3971 Yale St.
BURNABY, BC

SHEET TITLE
SITE PLAN

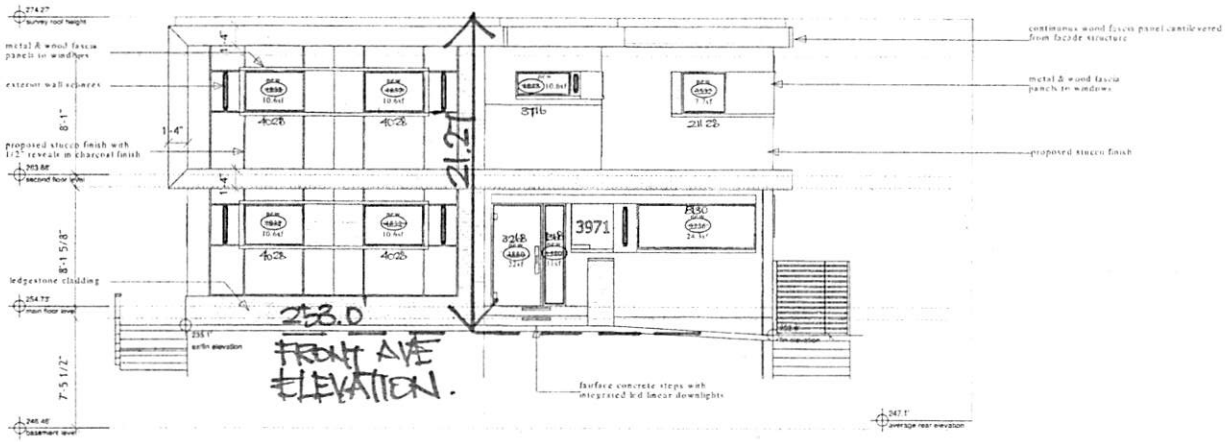
PROJECT NO.	DATE MAR. 19/15
SCALE 1/8" = 1'-0"	DRAWN E.C.
CHECKED E.D.	FILE NO.

SHEET NO. ID-1

6160



ID-5 NORTH ELEVATION



ID-5 SOUTH ELEVATION

kerr CONSTRUCTION
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No	REVISIONS	ISSUED
1.	ISSUE FOR PERMIT	March 19/15

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CLIENT:
DONALD RESIDENCE

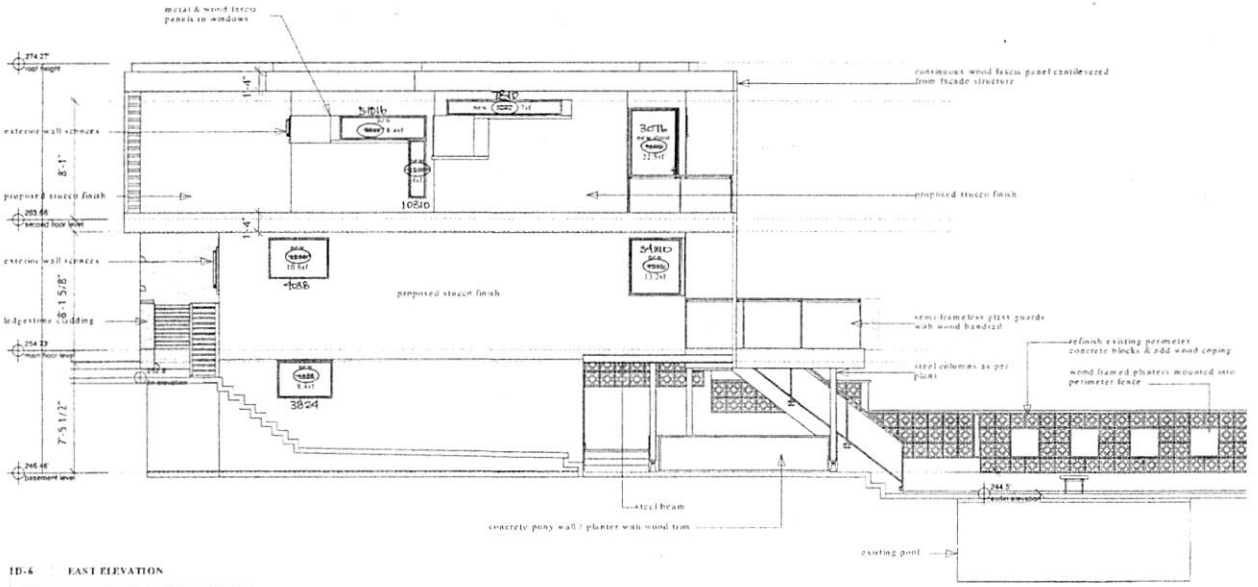
PROJECT:
3971 Yale St.
BURNABY, BC

SHEET TITLE:
PROPOSED
EXTERIOR ELEVATIONS

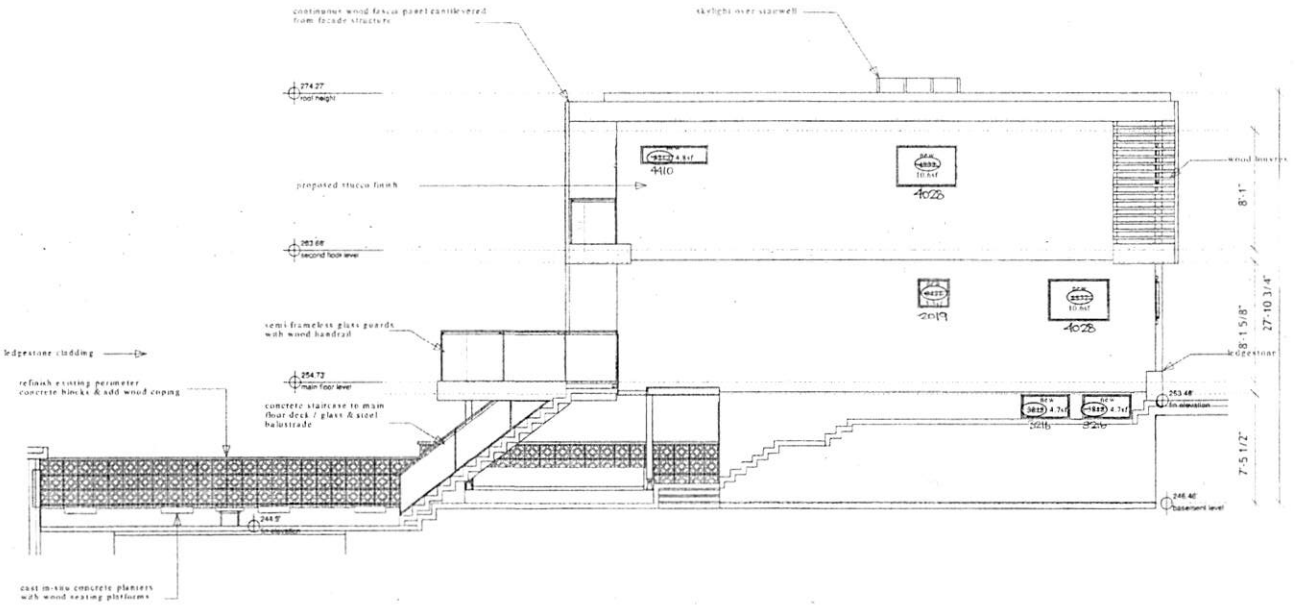
PROJECT NO.	DATE: MAR. 19/15
SCALE: 1/4" = 1'-0"	DRAWN: L.C.
CHECKED: E.D.	FILE NO.

SHEET NO. ID-5

6160



ID-6 EAST ELEVATION



ID-6 WEST ELEVATION

REVISIONS:

kerr CONSTRUCTION
1676 WEST 75TH AVENUE, VANCOUVER, BC
604.263.0343 WWW.KERRCONSTRUCTION.CA

RECEIVED MAR 19 2015

No	REVISIONS	ISSUED
1	ISSUE FOR PERMIT	March 19/15

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CLIENT:
DONALD RESIDENCE

PROJECT:
3971 Yale St.
BURNABY, BC

SHEET TITLE:
PROPOSED
EXTERIOR ELEVATIONS

PROJECT NO:	DATE:
	MAR 19/15
SCALE: 1/4" = 1'-0"	DRAWN: L.C.
CHECKED: E.D.	FILE NO

SHEET NO: ID-6

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CONSTRUCTION
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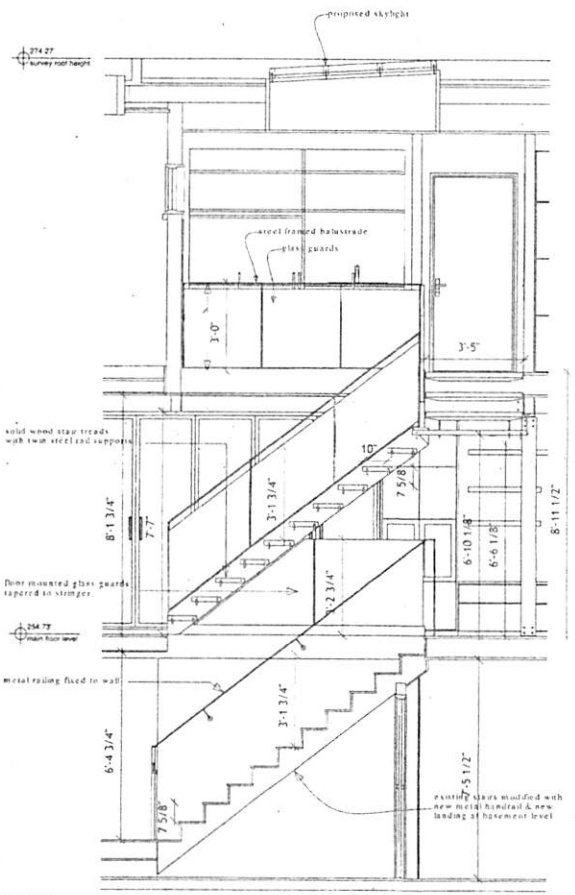
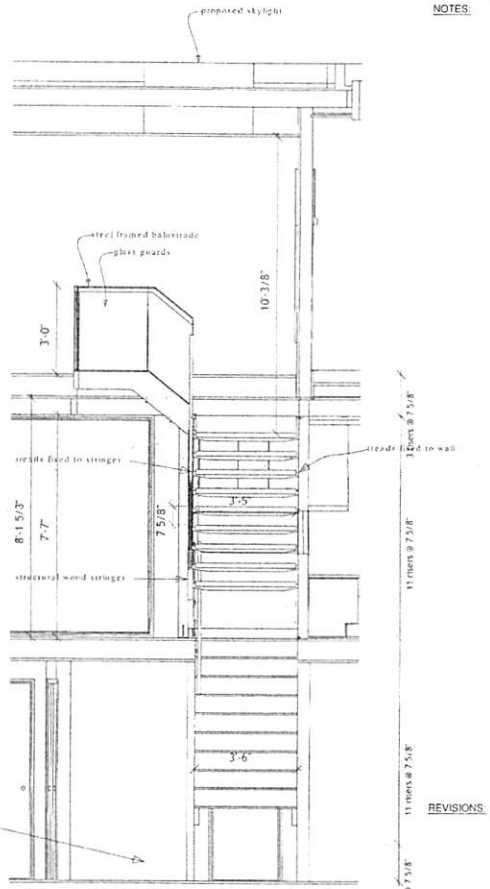


ID-8 CROSS SECTION / STAIR DETAIL



A30 CROSS SECTION / STAIR DETAIL

NOTES:

REVISIONS:

No.	REVISIONS:	ISSUED
1.	ISSUE FOR PERMIT	March 19/15

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CLIENT:
DONALD RESIDENCE

PROJECT:
3971 Yale St.
BURNABY, BC

SHEET TITLE:
PROPOSED DETAILS

PROJECT NO:	DATE:
-	MAR. 19/15
SCALE: 1/2" = 1'-0"	DRAWN: L.C.
CHECKED: E.D.	FILE NO.

SHEET NO: ID-8

6/60

TOPOGRAPHIC PLAN OF LOT 13 BLOCK 36
DISTRICT LOT 186 GROUP 1
NEW WESTMINSTER DISTRICT
PLAN 1124

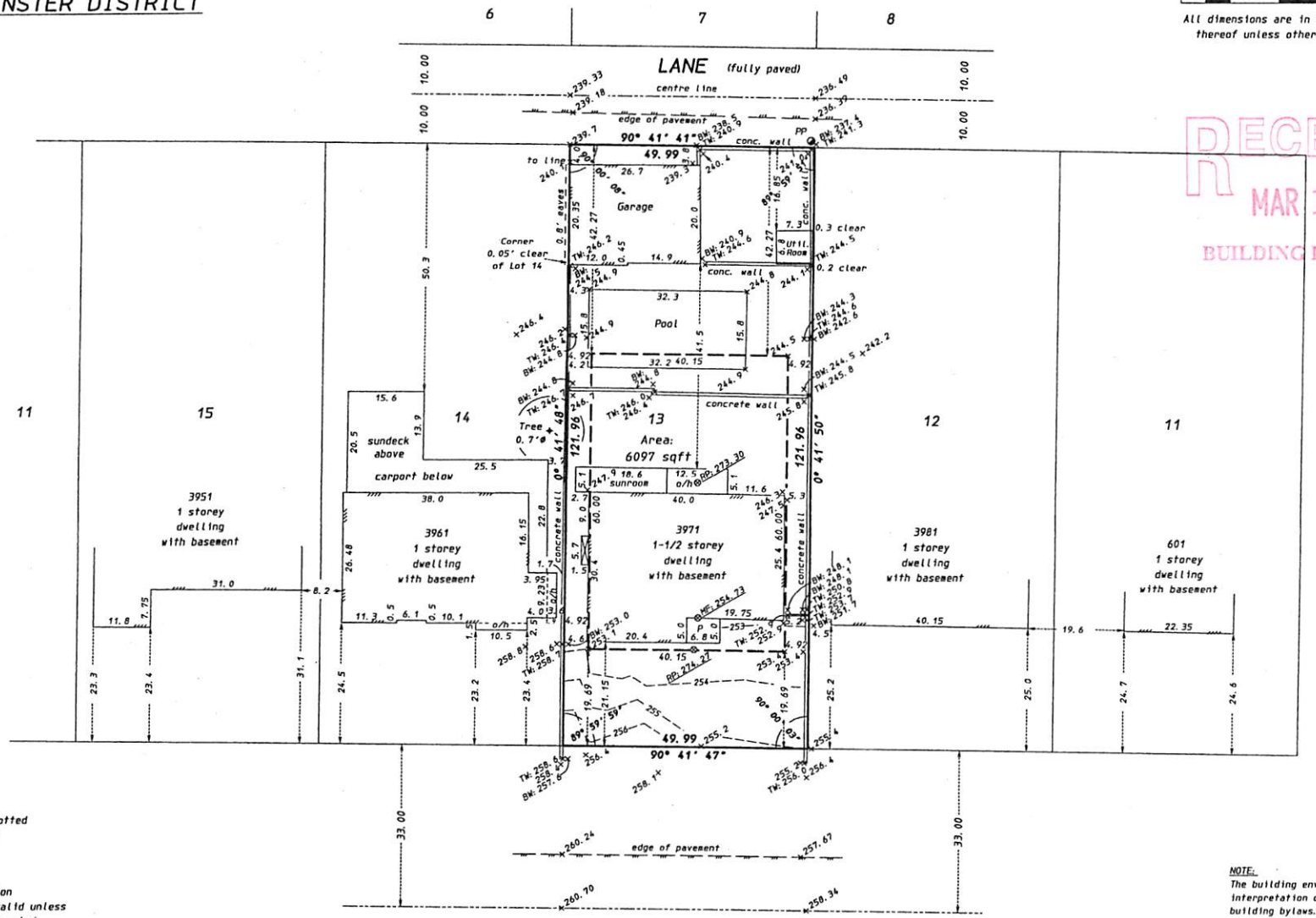
3971 Yale Street
Burnaby, BC

ZONING: R3

SCALE: 1 INCH = 16 FEET

0 5 10 20 30 50

All dimensions are in feet and decimals thereof unless otherwise indicated.



Note:
All trees have been plotted as required by Burnaby Tree Bylaw 1996.

CERTIFIED CORRECT:
Lot dimensions are based on ground survey results.

E. J. Wong
B. C. L. S.

November 19, 2013

LEGEND:

■	LP	lead plug
●	IP	iron post
	PP	power pole
⊗	MF:	main floor
⊗	EV:	eaves trough
⊗	RP:	roof peak
	TW:	top of wall
	SW:	top of sidewalk
	Util.	utility room
	CP	covered porch
	o/h	overhang
	sqft	square feet

Note:
Elevations are based on geodetic datum. Bench Mark: Control Monument 77H6573 located at the intersection of Edinburgh Street and MacDonald Avenue. Elevation = 212.24 feet (64.690 metres geodetic)

SETBACK OF ADJACENT DWELLINGS			
HOUSE NO.	LOT NO.	MIN. FRONT SETBACK	AVERAGE
3951	15	23.3	24.025
3961	14	23.2	
3981	12	25.0	
0601	11	24.6	
	TOTAL	96.1	

NOTE:
The building envelope shown is only our interpretation of the City of Burnaby building bylaws. The size and location of the building envelope must be confirmed by the City of Burnaby planning department prior to any design work. Failure to do so will place responsibility for the design onto the house designer.

Ken K. Wong and Associates
Canada and B.C. Land Surveyors
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Burnaby, B.C. V5B 1R4
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Drawn by: TB

FILE: TF-4533 PID: 002-894-190

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