

BOARD OF VARIANCE REFERRAL LETTER

DATE: May 29 th , 2015	DEADLINE: June 9 th , 2015 for the July 9 th , 2015 hearing		<i>This is <u>not</u> an application. Please take letter to Board of Variance. (Clerk's office - Ground Floor)</i>
NAME OF APPLICANT: Raffaele and Associates (Mayumi Hasegawa)			
ADDRESS OF APPLICANT: 2642 E. Hastings Street, Vancouver			
TELEPHONE: (604) 251-4610			
PROJECT			
DESCRIPTION: Addition to cellar, new rear covered deck to main and new accessory building (work w/o permit) only.			
ADDRESS: 7284 Braeside Drive			
LEGAL:	LOT: 63	DL: 216	PLAN: NWP10936

The above mentioned application, which includes the attached plan of the proposal, has been refused by the Building Department on the basis of contravention of:

Zone/Section(s) R-2a [6.6(1)(c)]
of the Burnaby Zoning Bylaw No. 4742

COMMENTS:

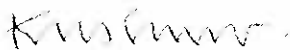
The applicant is proposing to construct an addition to the cellar, a new rear covered deck to the main floor, and a new accessory building only. The following relaxations are being requested:

- 1) The distance measured from the accessory building to the lane (north property line) is 1.25' where a minimum 3.94' is required.
- 2) The distance measured from the accessory building to the lane (east property line) is 3.25' where a minimum 3.94' is required.

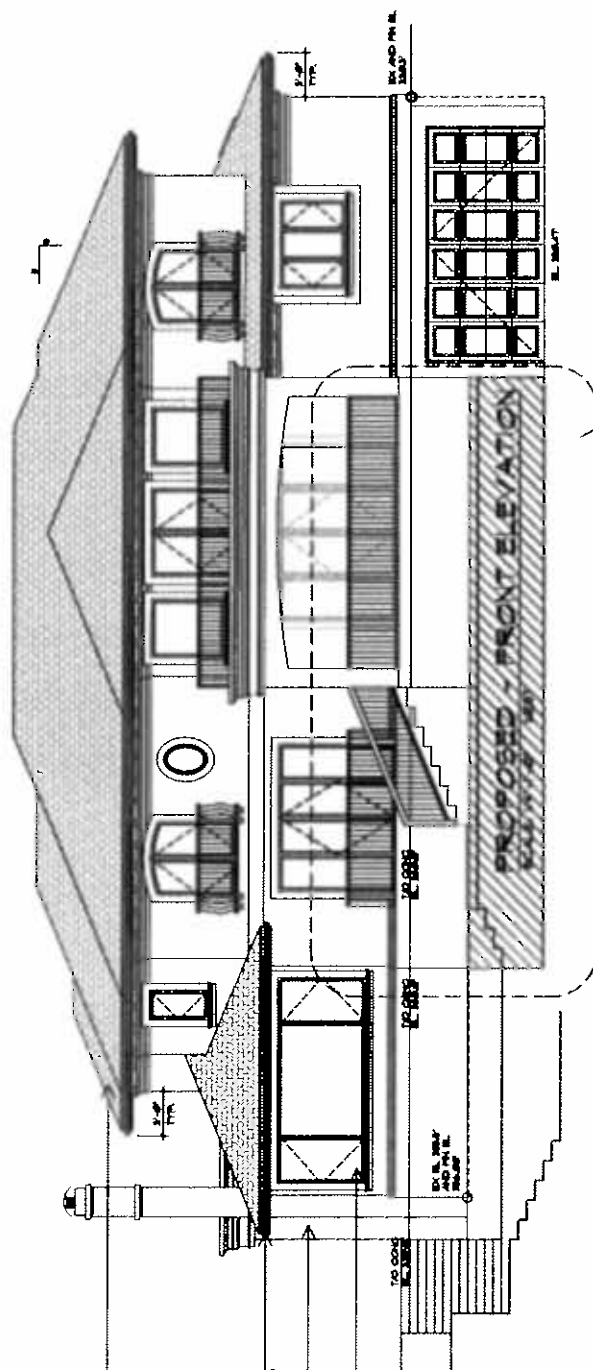
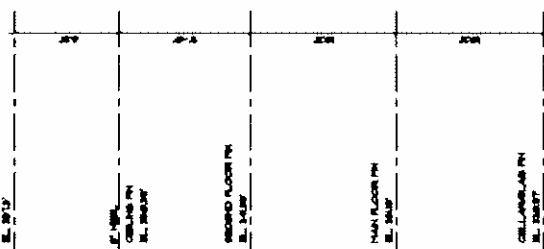
The Board of Variance previously (December 5th, 2014: BV#6136) allowed a rear fence height of 12.0' along the north property line, where a maximum 5.91' is permitted.

Note: The applicant recognizes that should the project contain additional characteristics in contravention of the zoning by-law a future appeal(s) may be required.

BY



Peter Kushnir
Assistant Chief Building Inspector, Permits and Customer Service



ADULT
BUTTERFLY
TYPE AND
COLOR

ALL-PAK BATTERIES AND
THEY CARRY TIME AND
COLOUR

NEW YORK, N.Y., July 10, 1964

CHL 20 FM

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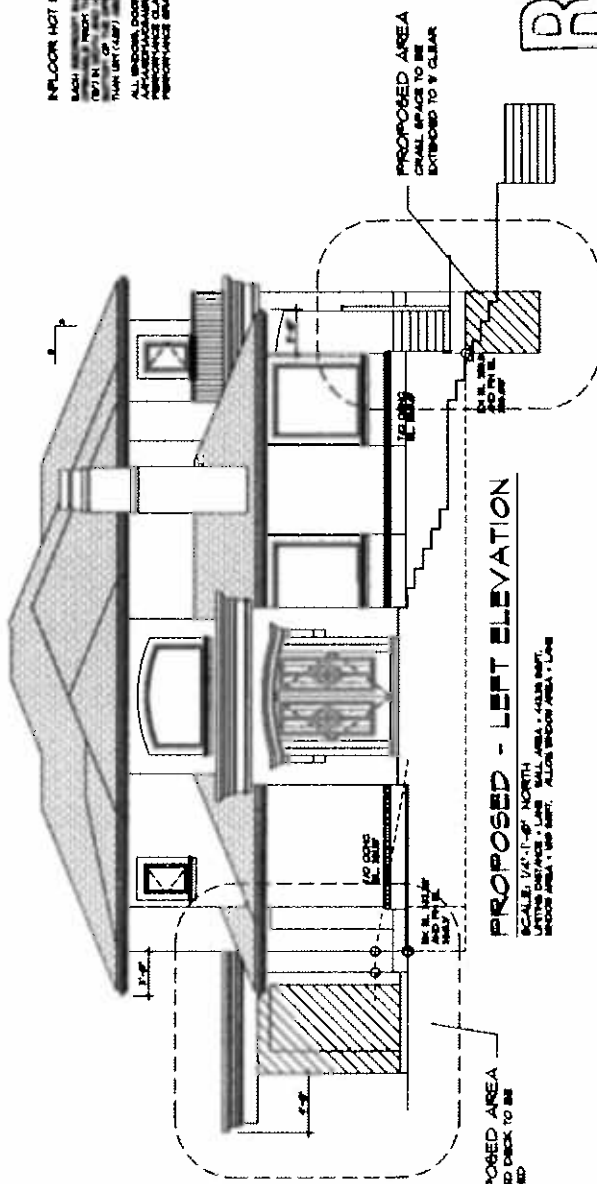
PLATE 1

CHILL-APPROX-400-1000

FLOOR HOT WATER RADIANT HEATING SYSTEM

EACH ROOM MUST BE AT LEAST ONE CUBIC METER (35.3 CUBIC FEET) IN VOLUME AND HAVE AN AREA OF AT LEAST 3.71 SQ. M. (9.5 SQ. FT.) FLOOR AREA. THE ROOM SHALL BE A JUMP OF NOT MORE THAN ONE FLOOR.

ALL ROOMS, DOORS AND ENTRANCES MUST COMPLY WITH PERFORMANCE CLASS 1 (AS PER EN-1253) AND CLASS 2 (AS PER EN-1254).



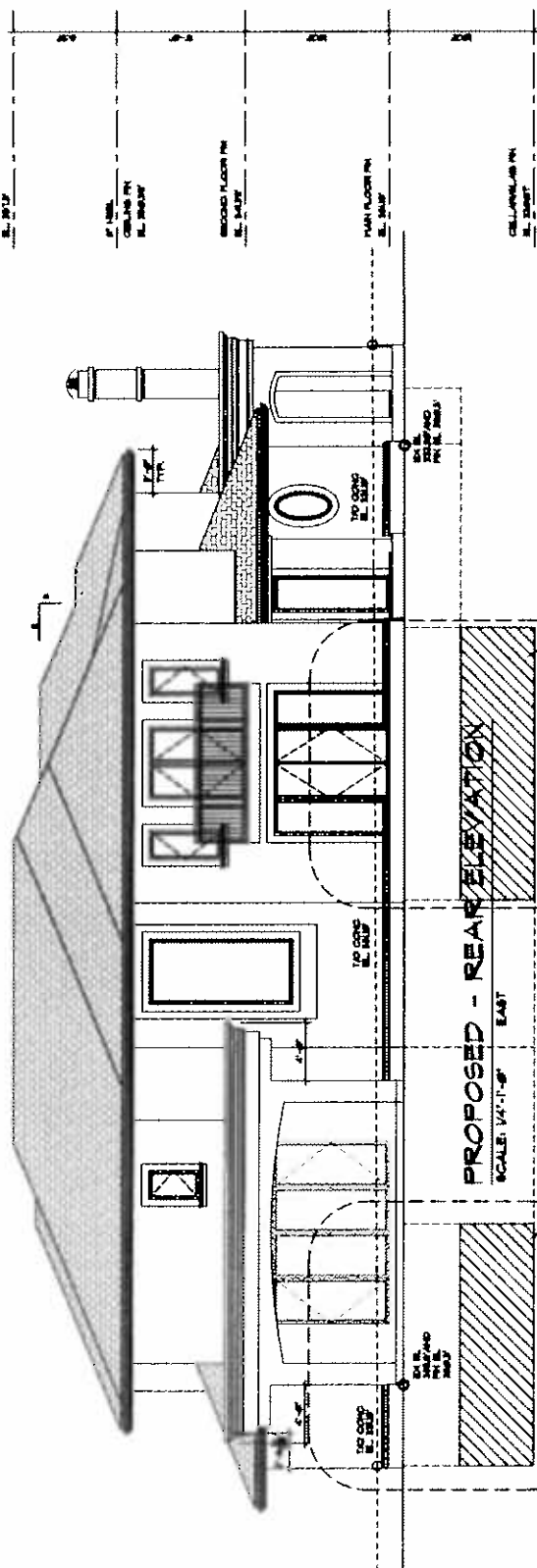
PROPOSED - LEFT ELEVATION

SCALE: 1/4" = 1'-0" NORTH
 SETTING DISTANCE = LANE BALL AREA = 43.14 MFT.
 SHOOT AREA = 140 MFT. ALONG SHOOT AREA = LANE

PROPOSED AREA
COVERED BACK TO THE
EXTENT



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[illegible]

PROPOSED AREA
EXTENDED TO Y CLEAR

PROPOSED - RIGHT ELEVATION

SCALE: 1/4" = 10'
 SOUTH
 LEFT AREA: 10' x 10' - 10' SOFT.
 RIGHT AREA: 10' x 10' - 10' SOFT.

PROPOSED AREA
EXTENDED TO Y CLEAR

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BUILDING DEPARTMENT

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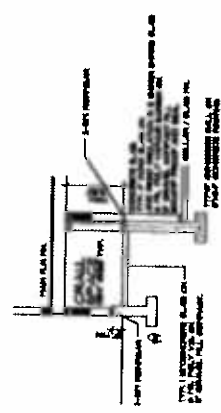
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PROJ. DETAILS
DATE: APRIL 2015
DRAWN BY: B. BROWN
CHECKED BY: J. W. BROWN
SCALE: 1/4" = 1'-0"

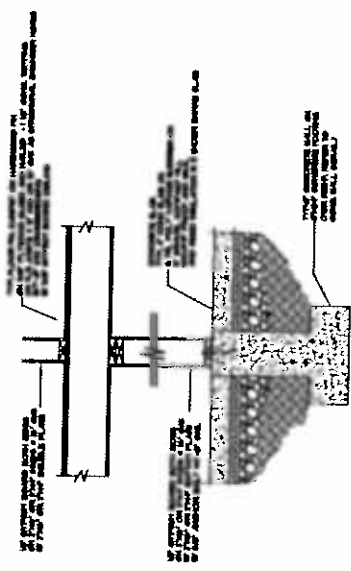
RESIDENTIAL PROJECT
FOR: RESIDENTIAL T. BROWN
1000 BRIDGE DRIVE, BIRMINGHAM
AL 35203-1000
TEL: (205) 988-1000
FAX: (205) 988-1001
WWW.RAFFAELE.COM

RAFFAELE & ASSOCIATES
ARCHITECTS
1000 BRIDGE DRIVE, BIRMINGHAM, AL 35203-1000
TEL: (205) 988-1000
FAX: (205) 988-1001
WWW.RAFFAELE.COM

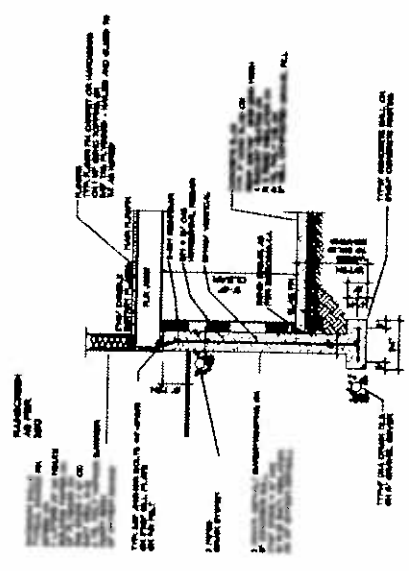
STRUCTURAL DETAILS
MAY 15, 2015



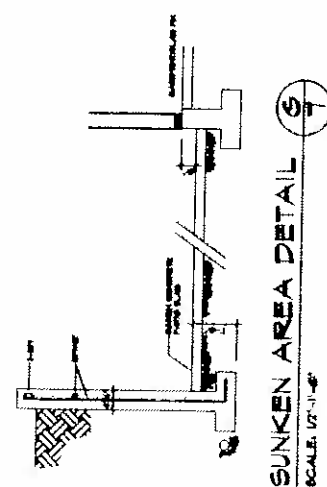
SECTION THRU CRAWL SPACE
SCALE: 1/4" = 1'-0"



INT. BEARING WALL DETAIL
SCALE: 1/4" = 1'-0"

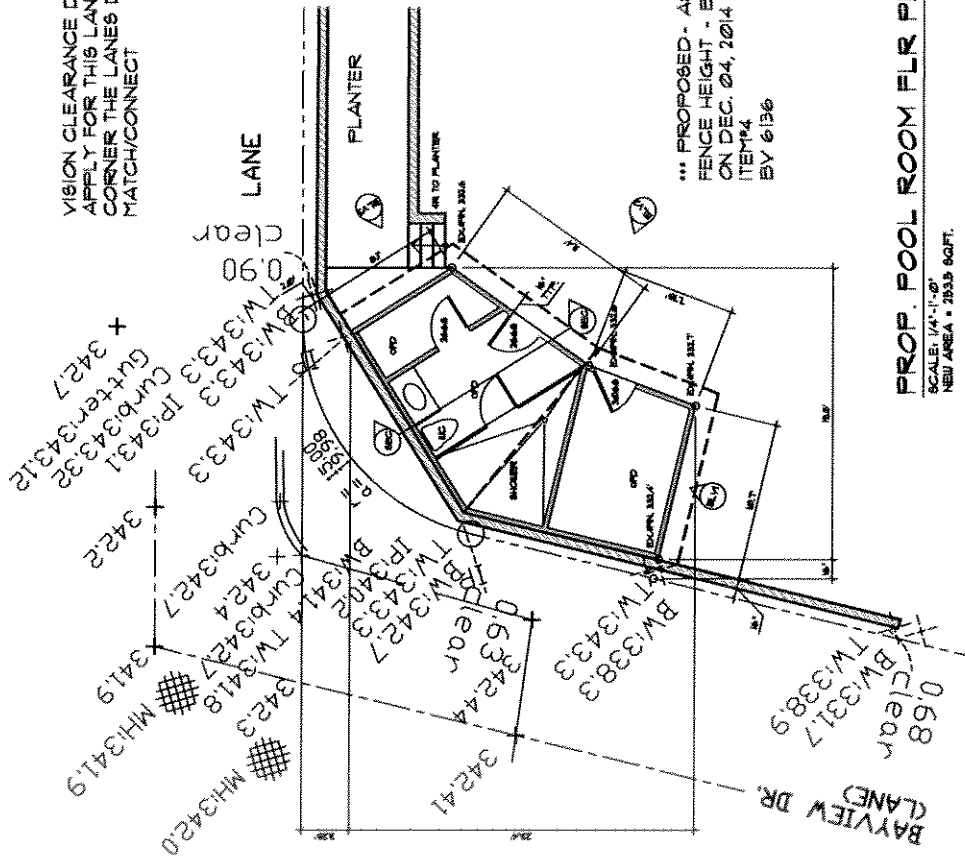


FOUNDATION DETAILS D
SCALE: 1/4" = 1'-0"



SUNKEN AREA DETAIL
SCALE: 1/4" = 1'-0"

VISION CLEARANCE DOES NOT
APPLY FOR THIS LANE-LANE
CORNER THE LANES DO NOT
MATCH/CONNECT



... PROPOSED - AS BUILT
FENCE HEIGHT - BOY APPROVED
ON DEC. 04, 2014
ITEM#4
BY 6136

PROP. POOL ROOM FLR PLAN

SCALE: 1/4" = 1'-0"
NEW AREA = 255.5 SQFT.

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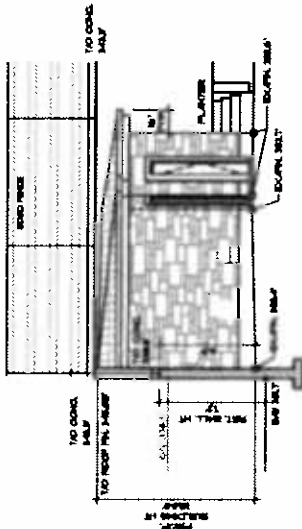
POOL ROOM PLAN
DATE: 04/15/15
DRAWN BY: J. WOOD
CHECKED BY: J. WOOD
DATE: 04/15/15

RESIDENTIAL PROJECT
FOR MR. & MRS. T. WOOD
1004 BROADWAY DRIVE, BURLINGTON
VT 05401

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RAFFAELLE & ASSOCIATES
DESIGN & PLANNING
RESIDENTIAL COMMERCIAL INTERIOR DESIGN
500 E. MAIN ST., SUITE 100
BURLINGTON, VT 05401
TEL: (802) 251-4410

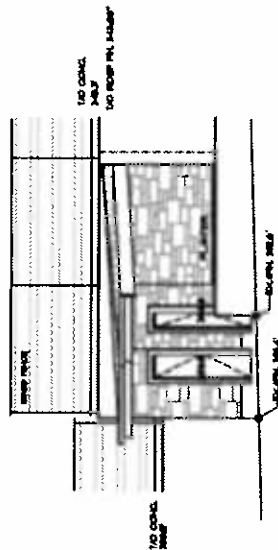
STRUCTURAL ENGINEER

MAY 15, 2015

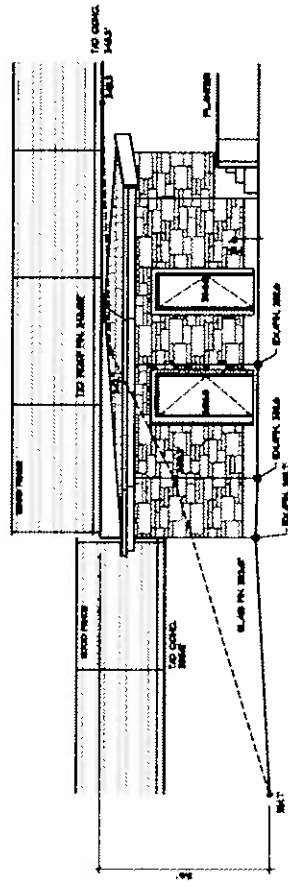


ELEVATION 1
NORTH
SCALE: 1/4" = 1'-0"

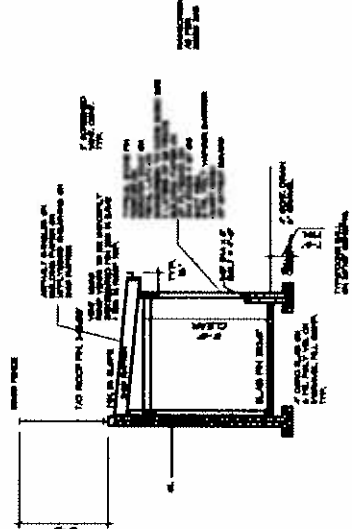
FENCE HEIGHT - BOY APPROVED
ON DEC. 24, 2014
ITEM #4
BY 6136



ELEVATION 3
SOUTH
SCALE: 1/4" = 1'-0"



ELEVATION 2
WEST
SCALE: 1/4" = 1'-0"



SECTION
SCALE: 1/4" = 1'-0"

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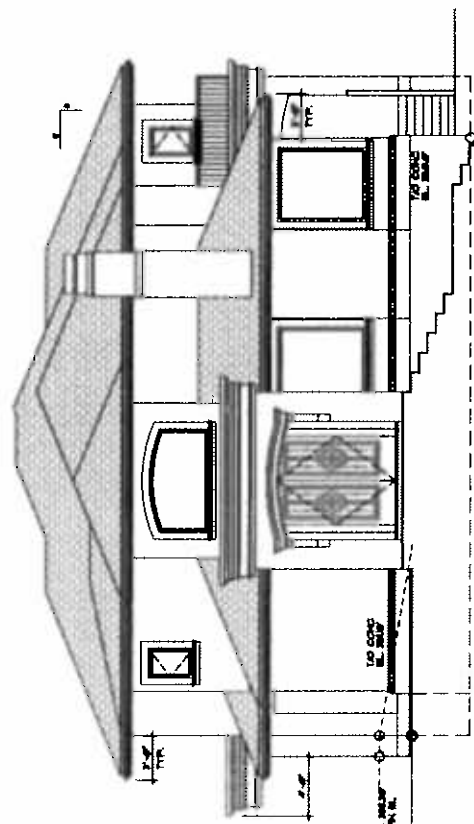
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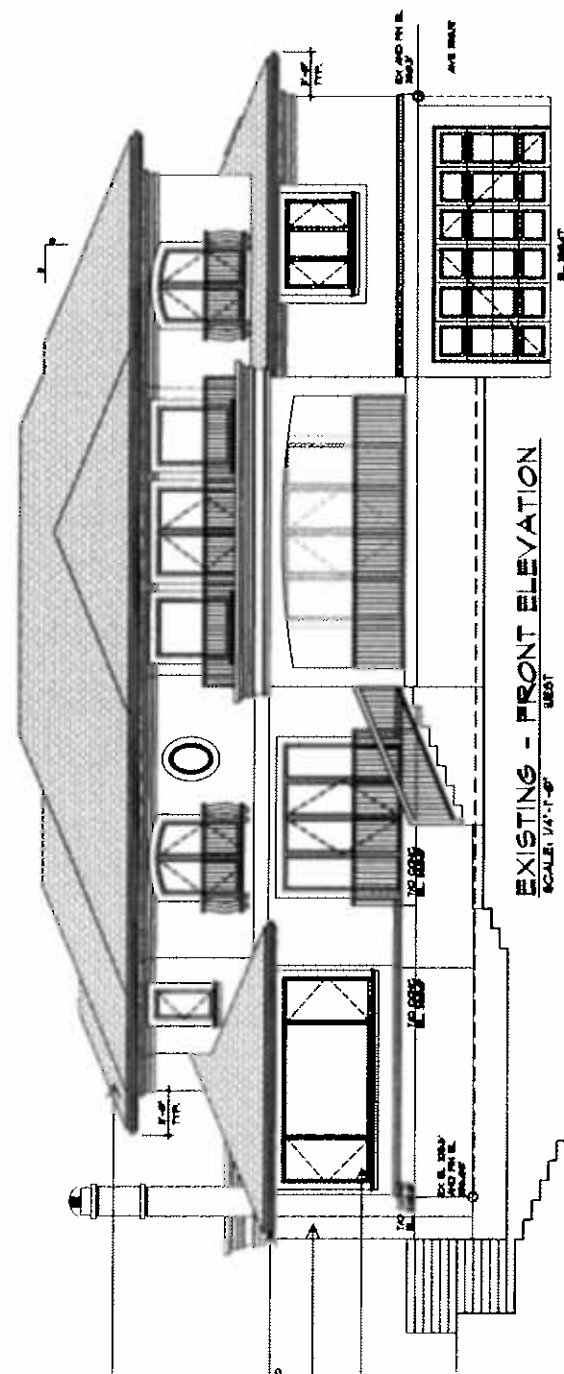


EXISTING - LEFT ELEVATION
SCALE: 1/4" = 1'-0"
NORTH
UPPER PORTION OF WALL AREA, 1/4" = 1'-0"
LOWER PORTION OF WALL AREA, 1/8" = 1'-0"



TO ROOF FIN E. 20'0"	0'	0'	0'	0'
CEILING FIN E. 19'0"				
SECOND FLOOR FIN E. 18'0"				
FIRST FLOOR FIN E. 17'0"				
CELLAR FIN E. 16'0"				

EXISTING - FRONT ELEVATION
SCALE: 1/4" = 1'-0"



TO ROOF FIN E. 20'0"	0'	0'	0'	0'
CEILING FIN E. 19'0"				
SECOND FLOOR FIN E. 18'0"				
FIRST FLOOR FIN E. 17'0"				
CELLAR FIN E. 16'0"				

APPROXIMATE CORNER
TO ROOF FIN
E. 20'0"

APPROXIMATE CORNER
TO ROOF FIN
E. 20'0"

APPROXIMATE CORNER
TO ROOF FIN
E. 20'0"

RAFFALE & ASSOCIATES
ARCHITECTS
RESIDENTIAL PROJECTS
1000 E. 10TH AVE., SUITE 100
DENVER, CO 80202
TEL: 303.733.1111
FAX: 303.733.1112

RESIDENTIAL PROJECT
1000 E. 10TH AVE., SUITE 100
DENVER, CO 80202
TEL: 303.733.1111
FAX: 303.733.1112

DC ELEVATION 1
1000 E. 10TH AVE., SUITE 100
DENVER, CO 80202
TEL: 303.733.1111
FAX: 303.733.1112

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EXISTING - RIGHT ELEVATION
SCALE: 1/4" = 1'-0"
LISTING DISTANCE: 8'-0" WALL AREA: 360.00 SQ. FT.

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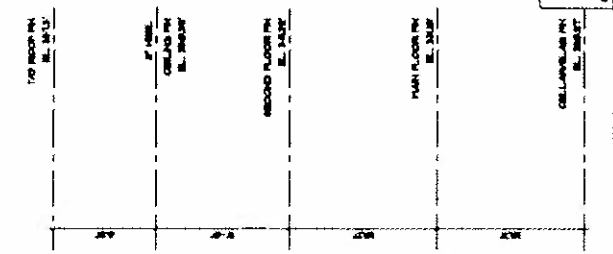
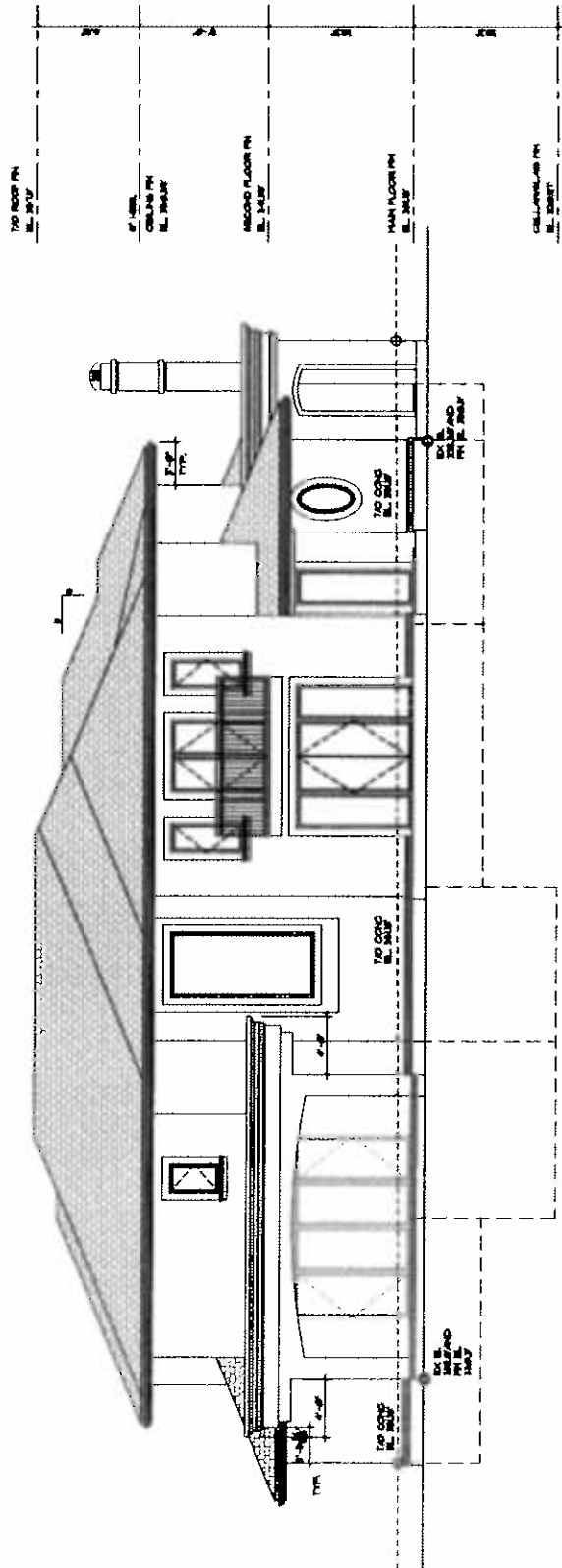
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EXISTING - REAR ELEVATION
SCALE: 1/4" = 1'-0" EAST



RAFFAELE & ASSOCIATES
RESIDENTIAL PROJECT
1000 BRADSHAW DRIVE, BIRMINGHAM, AL 35202
TEL: 205-988-4444 FAX: 205-988-4445
WWW.RAFAELE.COM

RAFFAELE & ASSOCIATES
RESIDENTIAL PROJECT
1000 BRADSHAW DRIVE, BIRMINGHAM, AL 35202
TEL: 205-988-4444 FAX: 205-988-4445
WWW.RAFAELE.COM

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