**BOARD OF VARIANCE REFERRAL LETTER**

DATE: June 2, 2015	DEADLINE: June 9, 2015 for the July 9, 2015 hearing		<i>This is not an application. Please take letter to Board of Variance. (Clerk's office - Ground Floor)</i>
NAME OF APPLICANT: Tony Gill			
ADDRESS OF APPLICANT: 9558 134 St., Surrey V3V 5S5			
TELEPHONE: 604-728-3078			
PROJECT			
DESCRIPTION: New single family dwelling			
ADDRESS: 7357 Newcombe Street			
LEGAL:	LOT: 32	DL: 25	PLAN: 14945

The above mentioned application, which includes the attached plan of the proposal, has been refused by the Building Department on the basis of contravention of:

Zone/Section(s) R10 [110.8]
of the Burnaby Zoning Bylaw No. 4742

COMMENTS:

The applicant is proposing to build a new single family dwelling. The following relaxation is being requested.

- 1) The front yard setback, to the foundation, will be 24.93 feet where a minimum front yard setback of 40.63 feet is required based on front yard averaging. The canopy overhang projects 3.94 feet beyond the foundation where a maximum projection of 3.94 feet is permitted. The porch stairs project 2 feet beyond the foundation.

Note: The applicant recognizes that should the project contain additional characteristics in contravention of the zoning by-law a future appeal(s) may be required.

BHS

Peter Kushnir
Assistant Chief Building Inspector, Permits and Customer Service

Building Bridges

1997-1998

ALL NOTES OF 1925 & EARLIER
APPLY TO ALL SUBSEQUENT CASES

1. *Notung* 16. 5. 1966 (1971). *Notung* 16. 5. 1966 (1971).

CONFORMA YU
BCBC 2012

2000-2001-2002-2003-2004-2005-2006-2007-2008-2009-2010-2011-2012-2013-2014-2015-2016-2017-2018-2019-2020-2021-2022-2023-2024-2025-2026-2027-2028-2029-2030-2031-2032-2033-2034-2035-2036-2037-2038-2039-2040-2041-2042-2043-2044-2045-2046-2047-2048-2049-2050-2051-2052-2053-2054-2055-2056-2057-2058-2059-2060-2061-2062-2063-2064-2065-2066-2067-2068-2069-2070-2071-2072-2073-2074-2075-2076-2077-2078-2079-2080-2081-2082-2083-2084-2085-2086-2087-2088-2089-2090-2091-2092-2093-2094-2095-2096-2097-2098-2099-2100-2101-2102-2103-2104-2105-2106-2107-2108-2109-2110-2111-2112-2113-2114-2115-2116-2117-2118-2119-2120-2121-2122-2123-2124-2125-2126-2127-2128-2129-2130-2131-2132-2133-2134-2135-2136-2137-2138-2139-2140-2141-2142-2143-2144-2145-2146-2147-2148-2149-2150-2151-2152-2153-2154-2155-2156-2157-2158-2159-2160-2161-2162-2163-2164-2165-2166-2167-2168-2169-2170-2171-2172-2173-2174-2175-2176-2177-2178-2179-2180-2181-2182-2183-2184-2185-2186-2187-2188-2189-2190-2191-2192-2193-2194-2195-2196-2197-2198-2199-2200-2201-2202-2203-2204-2205-2206-2207-2208-2209-2210-2211-2212-2213-2214-2215-2216-2217-2218-2219-2220-2221-2222-2223-2224-2225-2226-2227-2228-2229-2230-2231-2232-2233-2234-2235-2236-2237-2238-2239-2240-2241-2242-2243-2244-2245-2246-2247-2248-2249-2250-2251-2252-2253-2254-2255-2256-2257-2258-2259-2260-2261-2262-2263-2264-2265-2266-2267-2268-2269-2270-2271-2272-2273-2274-2275-2276-2277-2278-2279-2280-2281-2282-2283-2284-2285-2286-2287-2288-2289-2290-2291-2292-2293-2294-2295-2296-2297-2298-2299-2300-2301-2302-2303-2304-2305-2306-2307-2308-2309-2310-2311-2312-2313-2314-2315-2316-2317-2318-2319-2320-2321-2322-2323-2324-2325-2326-2327-2328-2329-2330-2331-2332-2333-2334-2335-2336-2337-2338-2339-2340-2341-2342-2343-2344-2345-2346-2347-2348-2349-2350-2351-2352-2353-2354-2355-2356-2357-2358-2359-2360-2361-2362-2363-2364-2365-2366-2367-2368-2369-2370-2371-2372-2373-2374-2375-2376-2377-2378-2379-2380-2381-2382-2383-2384-2385-2386-2387-2388-2389-2390-2391-2392-2393-2394-2395-2396-2397-2398-2399-2400-2401-2402-2403-2404-2405-2406-2407-2408-2409-2410-2411-2412-2413-2414-2415-2416-2417-2418-2419-2420-2421-2422-2423-2424-2425-2426-2427-2428-2429-2430-2431-2432-2433-2434-2435-2436-2437-2438-2439-2440-2441-2442-2443-2444-2445-2446-2447-2448-2449-2450-2451-2452-2453-2454-2455-2456-2457-2458-2459-2460-2461-2462-2463-2464-2465-2466-2467-2468-2469-2470-2471-2472-2473-2474-2475-2476-2477-2478-2479-2480-2481-2482-2483-2484-2485-2486-2487-2488-2489-2490-2491-2492-2493-2494-2495-2496-2497-2498-2499-2500-2501-2502-2503-2504-2505-2506-2507-2508-2509-2510-2511-2512-2513-2514-2515-2516-2517-2518-2519-2520-2521-2522-2523-2524-2525-2526-2527-2528-2529-2530-2531-2532-2533-2534-2535-2536-2537-2538-2539-2540-2541-2542-2543-2544-2545-2546-2547-2548-2549-2550-2551-2552-2553-2554-2555-2556-2557-2558-2559-2560-2561-2562-2563-2564-2565-2566-2567-2568-2569-2570-2571-2572-2573-2574-2575-2576-2577-2578-2579-2580-2581-2582-2583-2584-2585-2586-2587-2588-2589-2590-2591-2592-2593-2594-2595-2596-2597-2598-2599-2600-2601-2602-2603-2604-2605-2606-2607-2608-2609-2610-2611-2612-2613-2614-2615-2616-2617-2618-2619-2620-2621-2622-2623-2624-2625-2626-2627-2628-2629-2630-2631-2632-2633-2634-2635-2636-2637-2638-2639-2640-2641-2642-2643-2644-2645-2646-2647-2648-2649-2650-2651-2652-2653-2654-2655-2656-2657-2658-2659-2660-2661-2662-2663-2664-2665-2666-2667-2668-2669-2670-2671-2672-2673-2674-2675-2676-2677-2678-2679-2680-2681-2682-2683-2684-2685-2686-2687-2688-2689-2690-2691-2692-2693-2694-2695-2696-2697-2698-2699-2700-2701-2702-2703-2704-2705-2706-2707-2708-2709-2710-2711-2712-2713-2714-2715-2716-2717-2718-2719-2720-2721-2722-2723-2724-2725-2726-2727-2728-2729-2730-2731-2732-2733-2734-2735-2736-2737-2738-2739-2740-2741-2742-2743-2744-2745-2746-2747-2748-2749-2750-2751-2752-2753-2754-2755-2756-2757-2758-2759-2760-2761-2762-2763-2764-2765-2766-2767-2768-2769-2770-2771-2772-2773-2774-2775-2776-2777-2778-2779-2780-2781-2782-2783-2784-2785-2786-2787-2788-2789-2790-2791-2792-2793-2794-2795-2796-2797-2798-2799-2800-2801-2802-2803-2804-2805-2806-2807-2808-2809-2810-2811-2812-2813-2814-2815-2816-2817-2

Site plan

17 May 2015

1:100

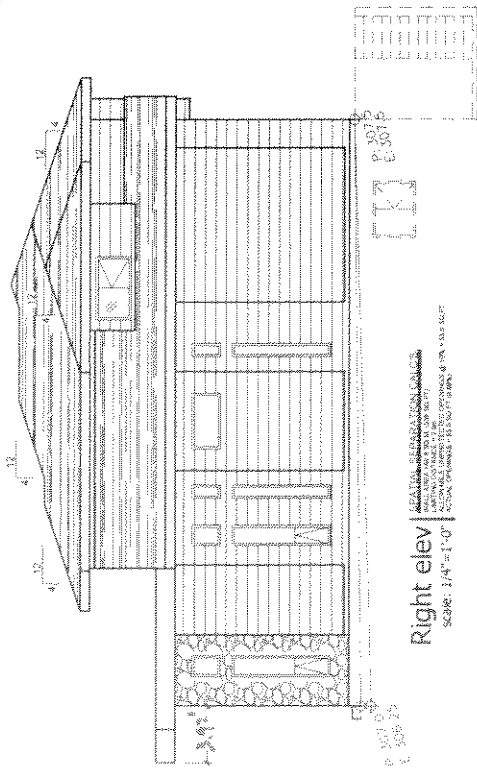
PLAN 14945
Drawing #128

CONCRETE & ROCK HALL
PREFABRICATED SECTION
FYSB 24.45
APPLIES

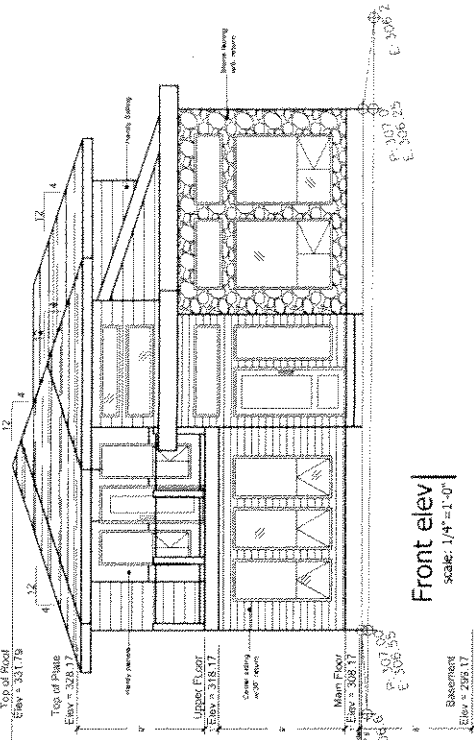
REV REFERENCE

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MAY 21 2015

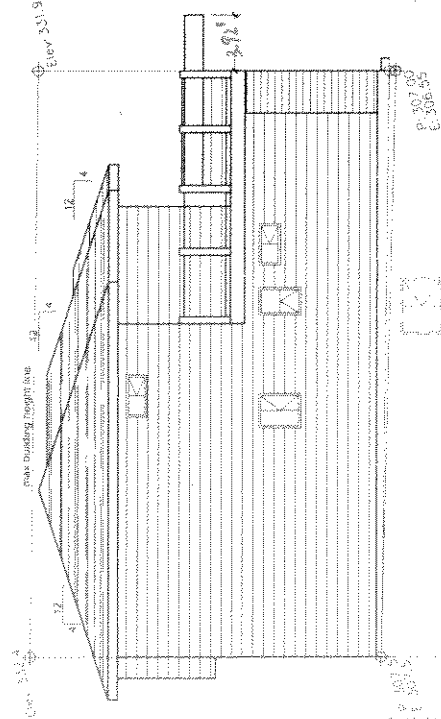
BUILDING DEPARTMENT



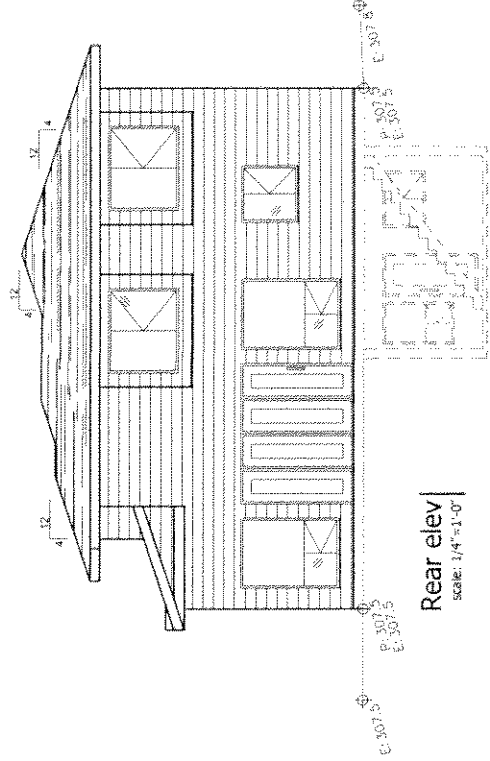
Right elev
Scale: 1/4"=1'-0"



Front elev
Scale: 1/4"=1'-0"



Left elev
Scale: 1/4"=1'-0"



Rear elev
Scale: 1/4"=1'-0"

GENERAL NOTES:

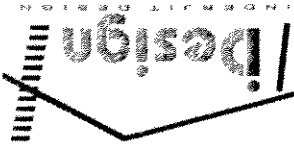
These drawings were prepared by the architect for the owner and are to be used for the construction of the building. The architect is not responsible for the construction of the building or the safety of the building.

ALL NOTES ON THIS PLAN
APPLY TO ALL OTHER PLANS

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THESE PLANS
CONFORM TO
BCBC 2012



1000-300
Unit 300-300
Poyl Business Centre
Burnaby BC
Contact us @
604-663-5627
info@designburnaby.ca

Burnaby B.C.

7357 Newcombe

Elevations

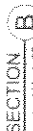
17 May 2015

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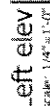
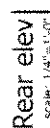
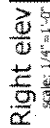
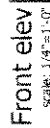
Page #

4 of 6

FOUNDING DIRECTOR



scale: 1/4 in: 1 ft



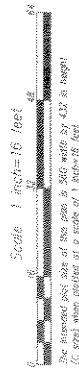
Burnaby B.C.
 7357 Newcombe
 Garage
 17 May 2015
 1:48
 6 of 6

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MAY 21 2015

TOPOGRAPHICAL PLAN OF LOT 32 BLOCK "D" DISTRICT
LOT 25 GROUP 1 NWD PLAN 14945

BUILDING DEPARTMENT

PD: 010-028-2943
City Address: 7357 Newcombe Street,
City of Burnaby
Note: Fees pursuant to by law for 1998 are shown



All Dimensions and Elevation are in Feet and Decimals
Surveyed Under Ordnance Survey

Legend:

- Standard Iron Post
- Level Flag
- Tree (Indicated in plan and Section)
- Power Pole
- Manhole
- Elevation of Top of wall

REVISIONS:
CHANGES AND CORRECTIONS
Revised by: Measurement P-32-17
Measurement: B.C.L.S.

NOTES:
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Building envelope shown is only approximate.
For interpretation of City Building Division please consult Planning Department for final building envelope when required.

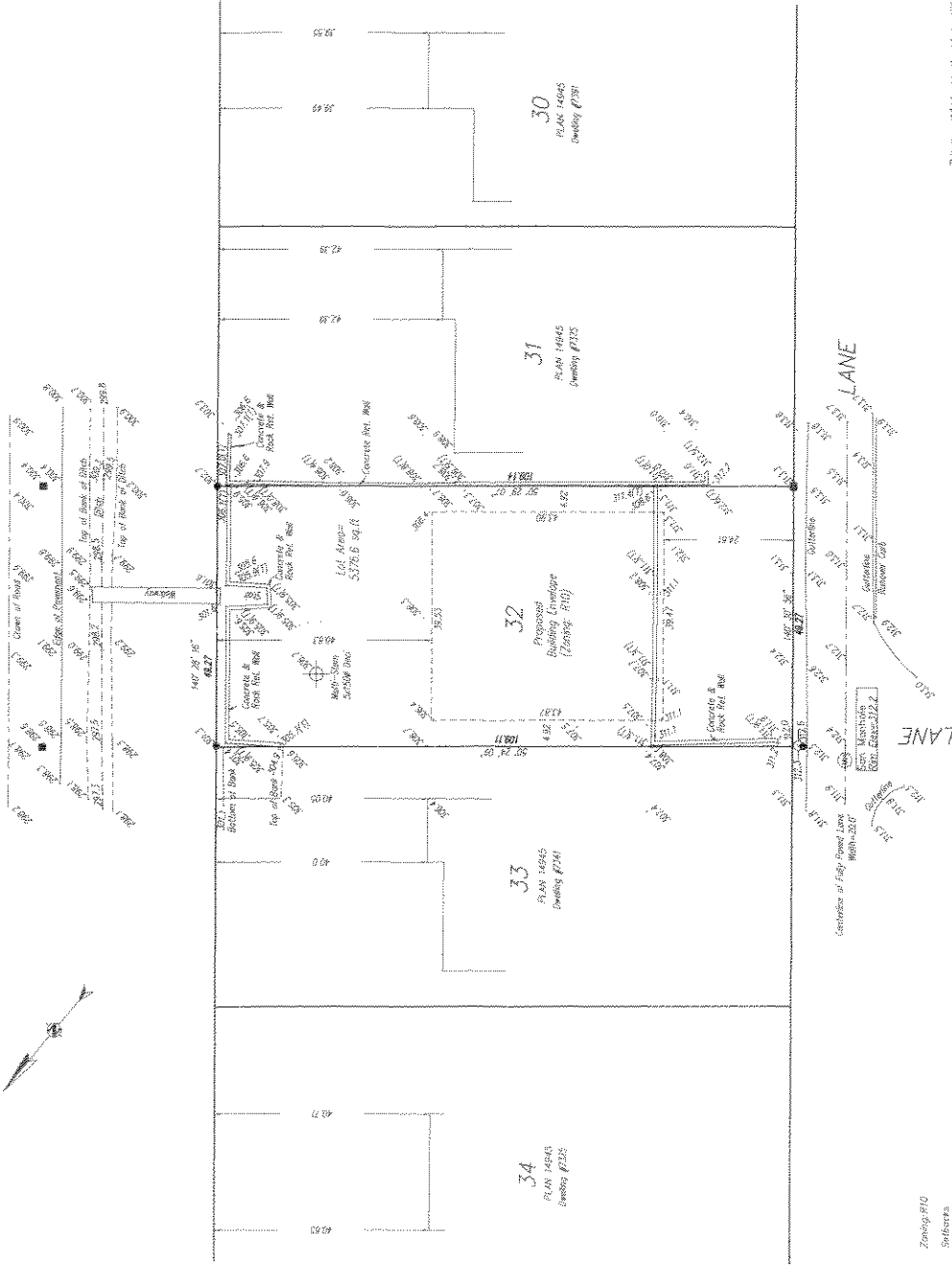
Zoning/F10
Subareas

Cell	Front	Address
34	40.65	7325
33	40.0	7341
31	42.59	7375
30	59.49	7391

Average = 40.61

Grid bearings are derived from observations between geodetic control monuments B44422 and P-52-17.

NEWCOMBE STREET



This is certified correct and a valid copy with respect to the information shown and located on the 27th day of April, 2015.

W.M.C. KAY
B.C.L.S. #86

This Document is Not Valid Unless Originally Signed And Sealed

PLAN EPP51146

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MAY 21 2015

BUILDING DEPARTMENT

Datum: NAD83 (CSRS) 4.0,0,BC.1.GVRD
UTM Zone 10
UTM Northing: 5453754.899
UTM Easting: 505326.087
Point Combined Factor: 0.9995881
Estimated Positional Accuracy: 0.01m

POSTING PLAN OF LOT 32 BLOCK "D" DISTRICT
LOT 25 GROUP 1 NWD PLAN 14945

Pursuant to Section 68 of the Land Title Act

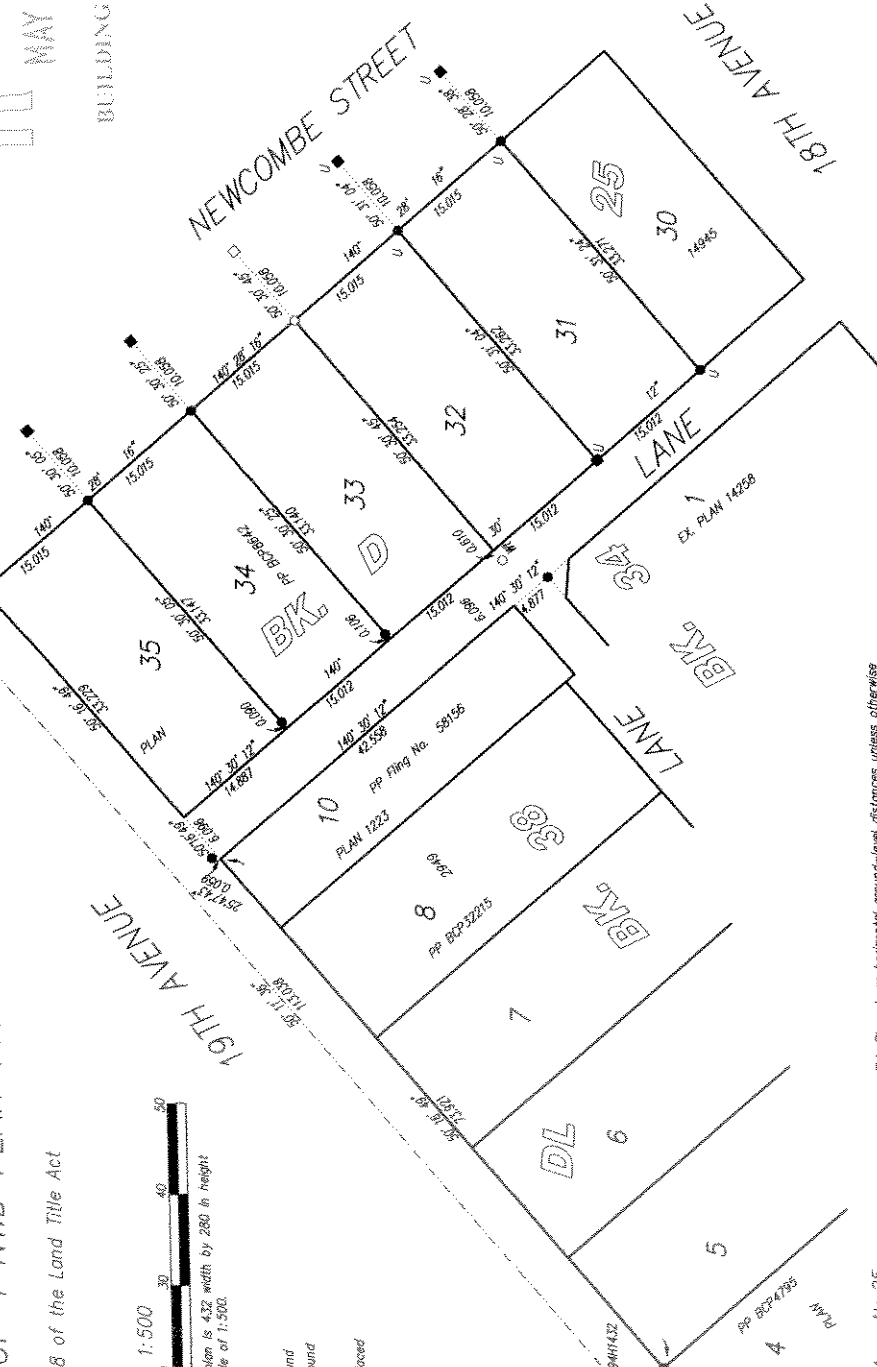
B.C.S.S. 92G-026



Legend:

- Control Monument Found
- Standard Iron Post Found
- Lead Plug Found
- Standard Iron Post Placed
- Lead Plug Placed
- Posting Plan
- Witness
- Unregistered

Datum: NAD83 (CSRS) 4.0,0,BC.1.GVRD
UTM Zone 10
UTM Northing: 5453752.562
UTM Easting: 505326.087
Point Combined Factor: 0.9995881
Estimated Positional Accuracy: 0.01m



This Plan shows horizontal ground-level distances unless otherwise specified. To compute grid distances, multiply ground-level distances by the average combined factor of 0.9995881 which has been derived from 94H1432 and P-52-17.

Integrated Survey Area No.25
City of Burnaby, NAD83 (CSRS)
4.0,0,BC.1.GVRD
Grid bearings are derived from observations between geodetic control monuments 94H1432 and P-52-17.

Note:
This plan shows one or more witness posts which are set along the production of property boundary unless otherwise stated.

The UTM coordinates and estimated horizontal positional accuracy achieved are derived from the MASCOIT published coordinates and standard deviations for geodetic control monuments 94H1432 and P-52-17.

This Plan Lies Within The Greater
Vancouver Regional District

Note:
Some posts and lines have been
exaggerated for clarity.

The field survey represented by this plan was
completed on the 23rd day of April, 2015
Liming Yuan, B.C.S. #869

File No. 81474-Pagoda

#201-5010 Smith Avenue Burnaby, BC V5C 2M5 Tel: 604-620-5299

Amey Land Surveying Ltd. 2015