

**BOARD OF VARIANCE REFERRAL LETTER**

DATE: Aug 5, 2015		DEADLINE: Aug 11, 2015 for the Sept 3, 2015 hearing		<i>This is <u>not</u> an application. Please take letter to Board of Variance. (Clerk's office - Ground Floor)</i>
NAME OF APPLICANT: Manjit Baughan				
ADDRESS OF APPLICANT: 14343 82nd Ave., Surrey V3W 0J4				
TELEPHONE: 604-771-7759				
PROJECT:				
DESCRIPTION: New single family dwelling				
ADDRESS: 7969 18 th Ave.				
LEGAL:	LOT: 10	DL: 28	PLAN: 10459	

The above mentioned application, which includes the attached plan of the proposal, has been refused by the Building Department on the basis of contravention of:

Zone/Section(s) R5 [6.2(2)]
of the Burnaby Zoning Bylaw No. 4742

COMMENTS:

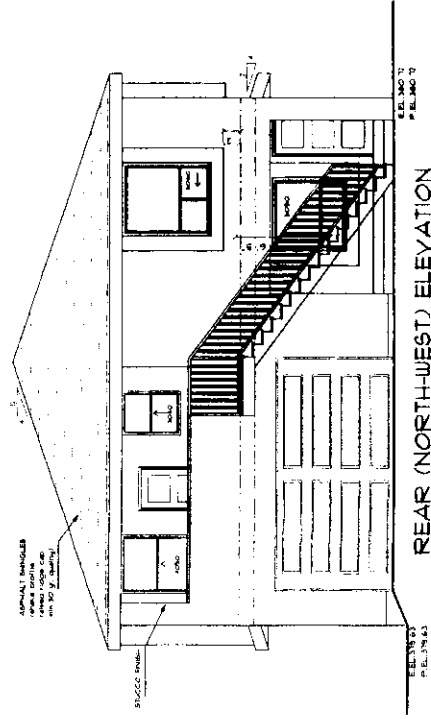
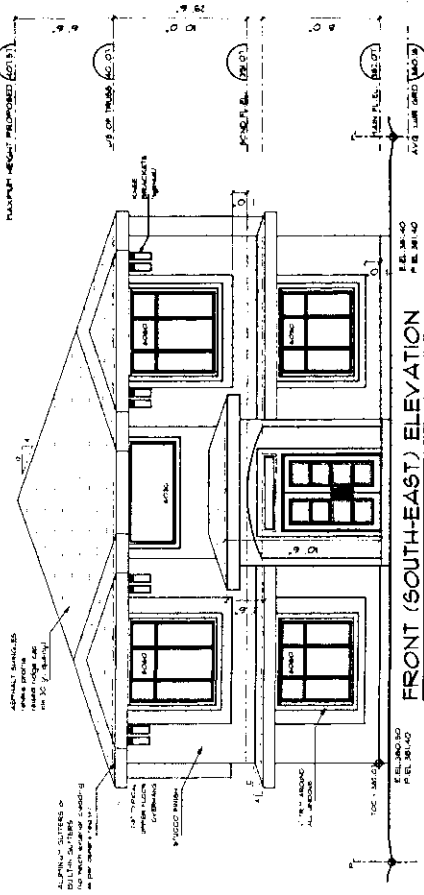
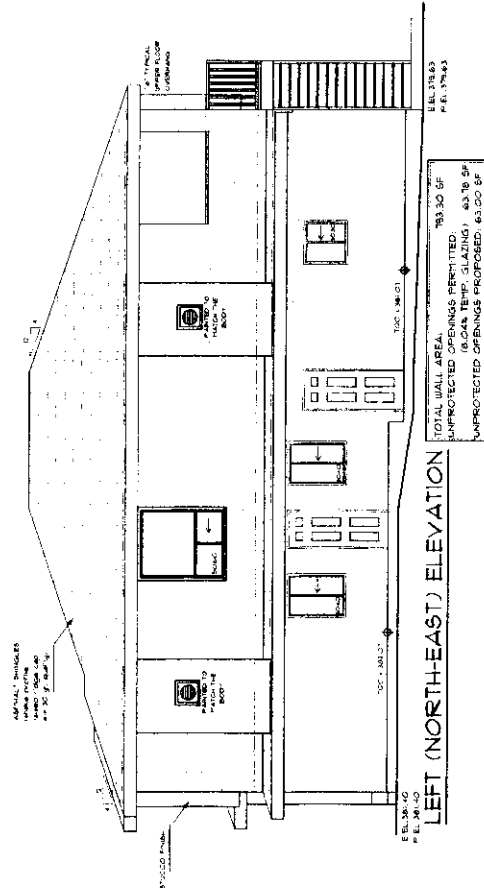
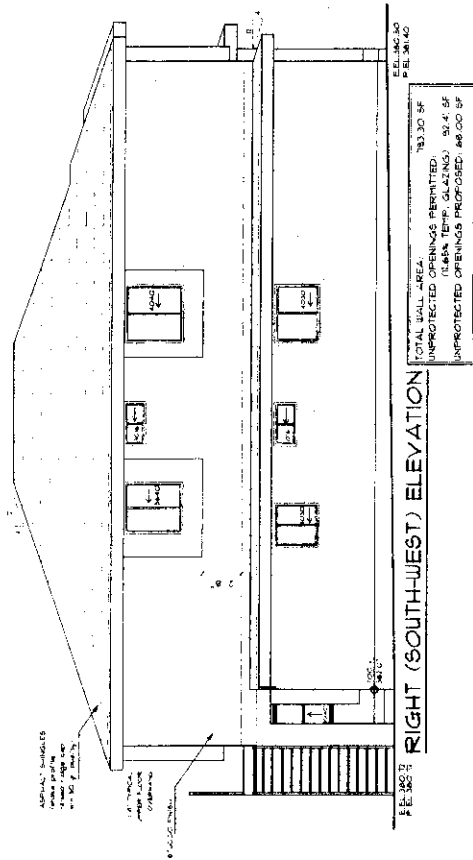
The applicant is proposing to build a new single family dwelling. The following relaxation is being requested.

- 1) The relaxation of 6.2(2) of the Zoning By-Law which, if permitted, will allow an accessory building in a required front yard, located 3.94 feet from the Northwest property line abutting 19th Ave. and 4.01 feet from the southwest property line, where siting of an accessory building in a required front yard is not allowed.

Note: The applicant recognizes that should the project contain additional characteristics in contravention of the zoning by-law a future appeal(s) may be required.

BHS

Peter Kushnir
Assistant Chief Building Inspector, Permits and Customer Service



**PROPOSED RESIDENCE for MANJIT BAUGHAN
ON 7969 18TH AVENUE, BURNABY, B.C.**

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SCALE 1/4" = 1' 0"

DATE: JULY 16, 2015

PLATE 10.139.15

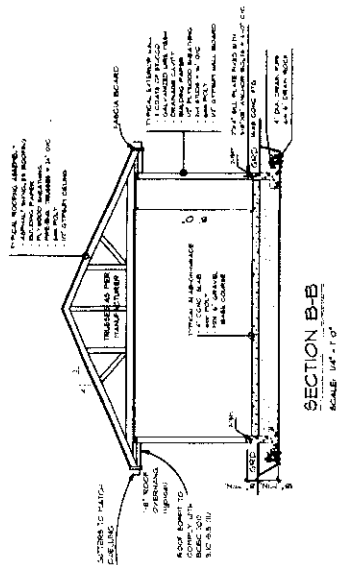
DAVIDSON, B.G.

1

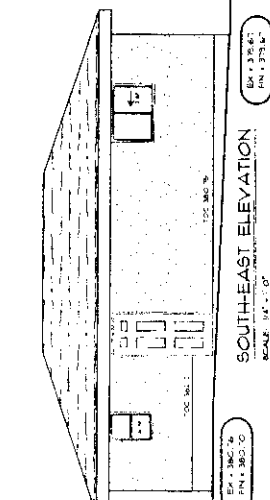
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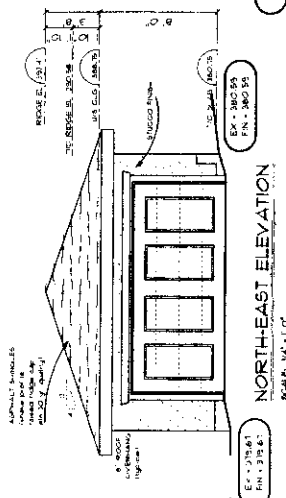
BUILDING DEPARTMENT



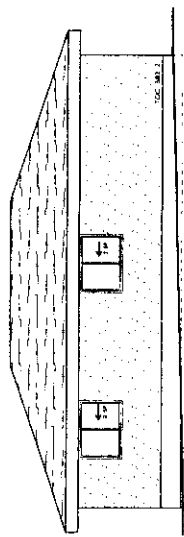
ACCESSORY BUILDING PLAN
SCALE: 1/4" = 1'-0"



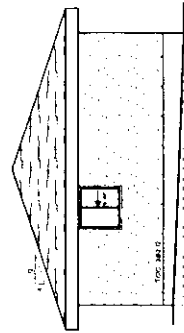
SOUTH-EAST ELEVATION



NORTH-EAST ELEVATION



NORTH-WEST ELEVATION



SOUTH-WEST ELEVATION

[illegible]

RECEIVED
JUL 23 2015

BUILDING DEPARTMENT

**PROPOSED RESIDENCE for MANJIT BAUGHAN
ON 7969 18TH AVENUE, BURNABY, B.C.**

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SCALE: 1/4" = 1' 0"	PUMP ID: 3215
DATE: JUL 16 2015	CAPILLARY: B03

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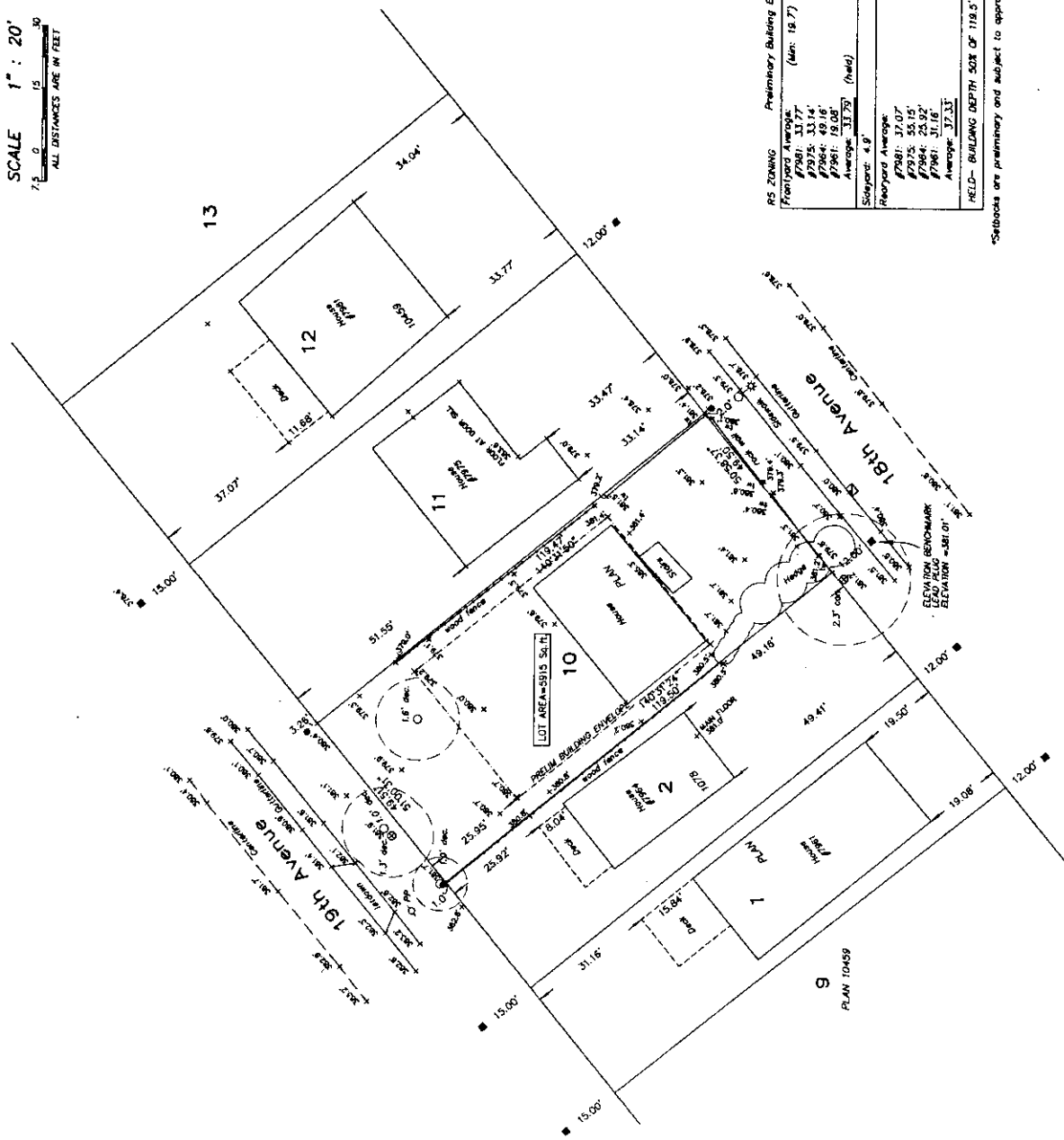


simplex
home design

TOPOGRAPHIC SITE PLAN OF LOT 10 DISTRICT LOT 28 GROUP 1 NWD PLAN 10459

CIVIC ADDRESS:
7969 18th Avenue, Burnaby, BC
FILE: 002-450-568

SCALE 1" = 20'
0 10 20
ALL DISTANCES ARE IN FEET



LEGEND

- DENOTES LEAD PLUG FOUND
- DENOTES STANDARD IRON POST FOUND
- DENOTES CATCH BASIN - ROUND
- DENOTES POWER POLE
- DENOTES STREET LIGHT - DART
- DENOTES TREE AND CANOPY EXTENT
- DENOTES GROUND ELEVATION
- (+/-) DENOTES TOP OF RETAINING WALL ELEVATION
- Dec. DENOTES DECIDUOUS
- Con. DENOTES CONIFEROUS

NOTES

Lot dimensions are derived from Field Survey.
Existing property points found for all corners.
Measurements shown are to the exterior of building.
Elevations are Gcadsis (G1028, G1800-2005 - IN FEET)
Derived from Control Monument 8441417
located at the intersection of 8th Street
and 18th Avenue Elevation = 391.302

Spot elevations along curb are taken in gutter

If this plan is used in digital form, Target Land Surveying
will only assume responsibility for information content
shown on original unaltered drawing.

Tree diameters are taken at 4.6ft. above grade and
are shown in feet.

This Plan was prepared for architectural design and
site servicing purposes, and is for the exclusive use
of our client. The signatory accepts no responsibility
for any errors or omissions in the drawing. The drawing
may be altered by a third party as a result of
attention to this document without consent of the signatory.

RS ZONING		Preliminary Building Envelope
Frontyard Average		(Min. 18.7')
#7981: 31.77'		
#7982: 31.14'		
#7983: 42.04'		
#7984: 19.08'		
Average: 31.79'		(Min. 18.7')
Sideyard Average		
#7981: 31.77'		
#7982: 31.14'		
#7983: 42.04'		
#7984: 19.08'		
Average: 31.79'		
REAR- BUILDING DEPTH 50' OF 118.5' (59.75')		

*Setbacks are preliminary and subject to approval by City of Burnaby.

TARGET
LAND SURVEYING
www.targetlandsurveying.ca
FILE: 7664-SITE-IT

CERTIFIED CORRECT
DATED THIS 1st DAY OF JULY, 2013

Adam Furlan

B.C.L.S.