



City of
Burnaby

BOARD OF VARIANCE REFERRAL LETTER

DATE: Sept 29, 2015	DEADLINE: Oct 13, 2015 for the Nov 5, 2015 hearing	<i>This is <u>not</u> an application. Please take letter to Board of Variance. (Clerk's office - Ground Floor)</i>	
NAME OF APPLICANT: Tony Gill			
ADDRESS OF APPLICANT: 9558 134 St., Surrey V3V 5S5			
TELEPHONE: 604-728-3078			
PROJECT			
DESCRIPTION: New single family dwelling			
ADDRESS: 7357 Newcombe Street			
LEGAL:	LOT: 32	DL: 25	PLAN: 14945

The above mentioned application, which includes the attached plan of the proposal, has been refused by the Building Department on the basis of contravention of:

Zone/Section(s) R10 [6.3.1]
of the Burnaby Zoning Bylaw No. 4742

COMMENTS:

The applicant is proposing to build a new single family dwelling. The following relaxation is being requested.

- 1) The distance between the principal building and the detached garage is 0.53 feet where a minimum distance of 14.8 feet is required.

Note: A previous Board of Variance (B.V. 6177) denied an appeal requesting the front yard setback of 24.93 feet measures to the foundation where a minimum front yard setback of 40.63 feet is required.

Note: A previous Board of Variance (B.V. 6190) denied an appeal requesting the front yard setback of 33.86 feet measures to the foundation where a minimum front yard setback of 40.63 feet is required; and allowed the distance between the principal building and the detached garage of 9.75 feet where a minimum distance of 14.8 feet is required.

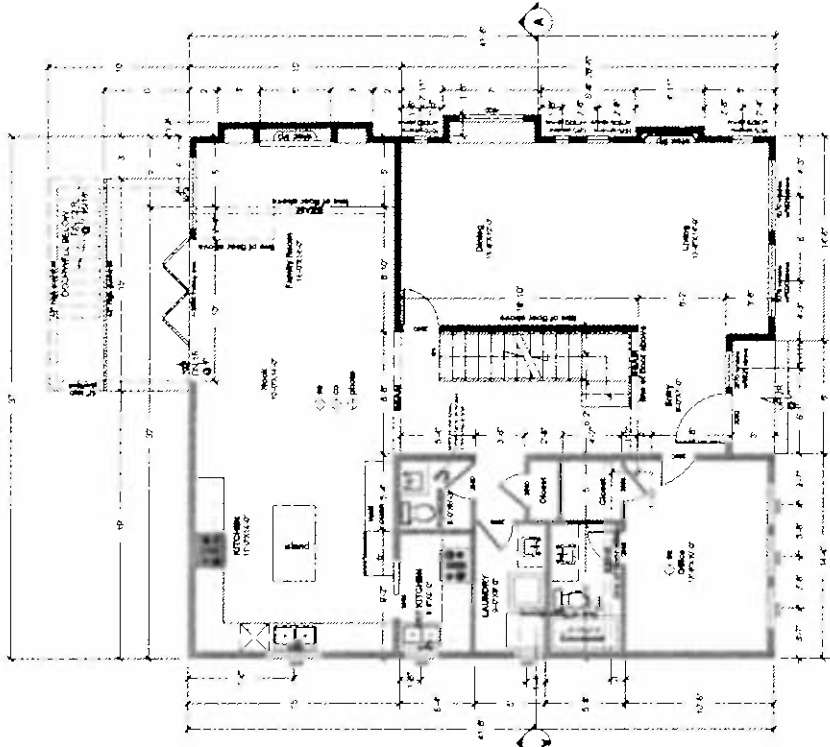
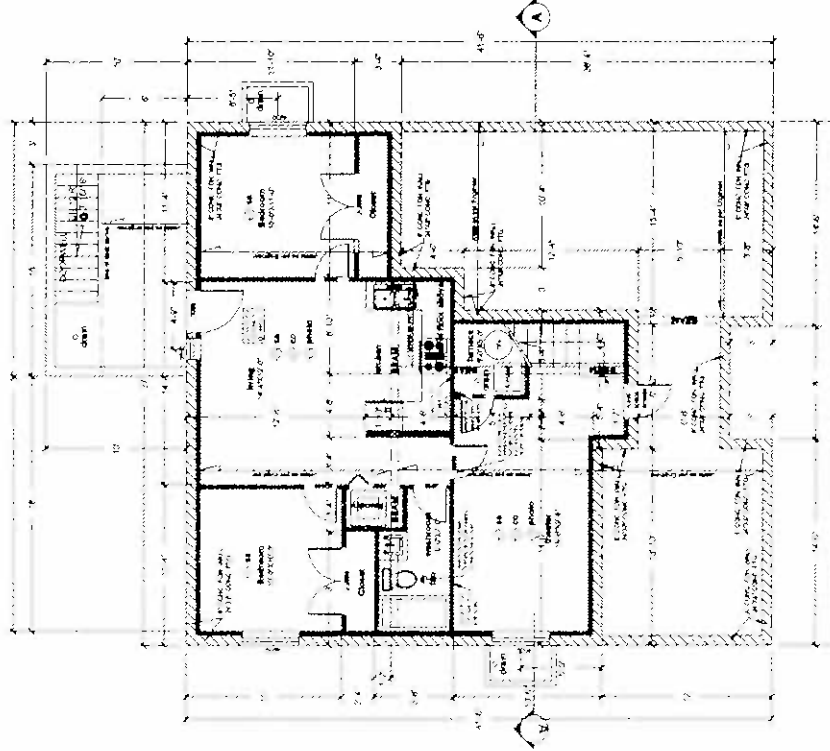
Note: The applicant recognizes that should the project contain additional characteristics in contravention of the zoning by-law a future appeal(s) may be required.

BHS

Peter Kushnir
Deputy Chief Building Inspector

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SEP 2 2015

BUILDING DEPARTMENT



GENERAL NOTES

Plans by owner.
The responsibility of the owner and architect is to ensure that the structure is built in accordance with the construction, to report to the architect or engineer in writing or otherwise, any discrepancies or errors in the plans, and to ensure that the construction is completed in accordance with the plans and specifications.

ALL NOTES OF THIS PLAN
APPLY TO ALL OTHER PAGES.

COMPONENTS

Design, drawings, specifications and materials are the property of the architect. This is a preliminary drawing and is not to be used for construction or for any other purpose without the written consent of the architect.

THESE PLANS
CONFORM TO
BOBC 2012

Design

UNIT 304 - 304 122 at
Perryville, Missouri
Barnaby B.C.

Contact us at:
info@barnabyb.com

Barnaby B.C.

7357 Newcombe S

Floor Plans

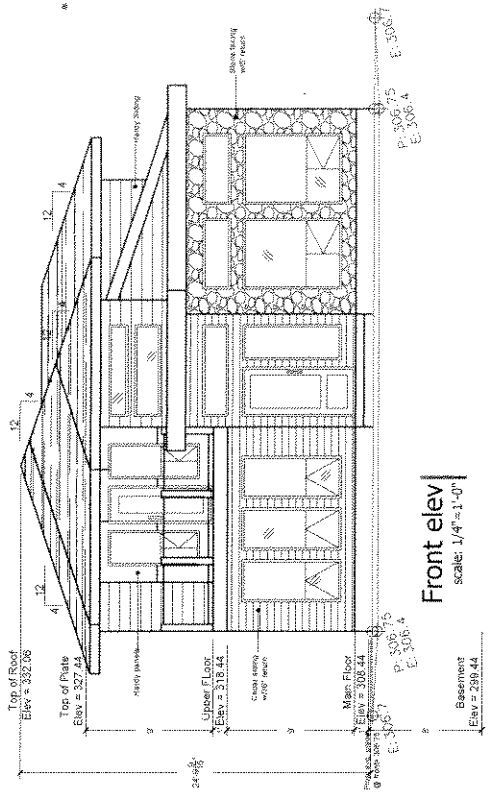
25 Aug 2015

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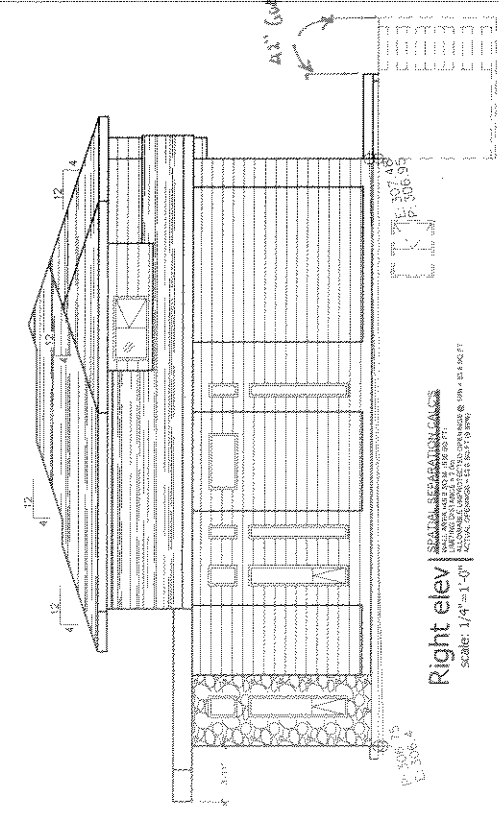
2 of 6

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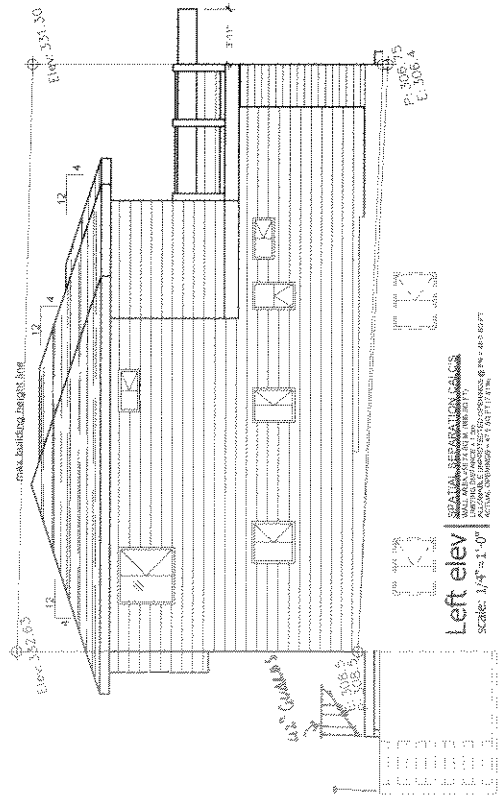
BUILDING DEPARTMENT



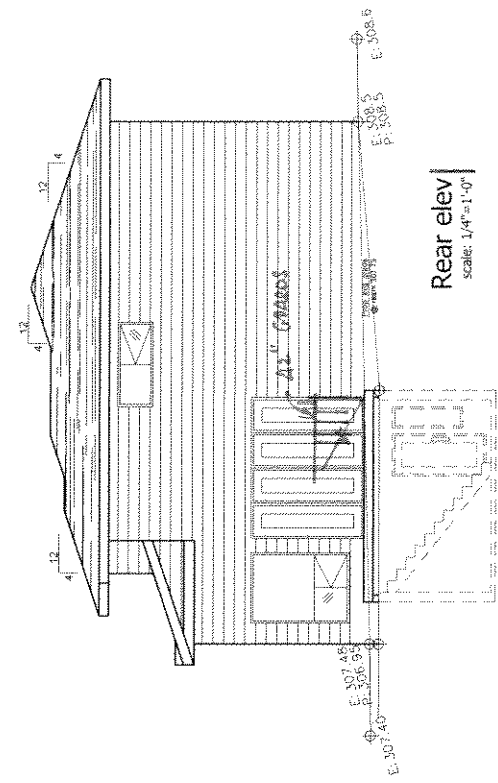
Front elev
scale: 1/4" = 1'-0"



Right elev
scale: 1/4" = 1'-0"



Left elev
scale: 1/4" = 1'-0"



Rear elev
scale: 1/4" = 1'-0"

GENERAL NOTE:

Plans by design:
It is the responsibility of the owner and the architect to ensure that the structure is constructed in accordance with the plans and specifications. The architect is not responsible for any errors or omissions in the plans or specifications. The architect is not responsible for any errors or omissions in the plans or specifications.

ALL NOTES OF THIS PLAN APPLY TO ALL OTHER PAGES.

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THESE PLANS CONFORM TO BCBC 2012

Design

Unit 304 - 8148 129 st
Payal Bhatnagar
Burnaby BC

Contact us @
info@designburnaby.ca

Project: Burnaby B.C.

Location: 7357 Newcombe S

Architect: Elevations

Drawing name: 25 Aug 2015

Date: 1:48

Scale: 4 of 6

Plans by designer.
It is the responsibility of the owner and
builder to verify all dimensions and
structure before proceeding with
construction, to report all errors or
omissions to the designer. Failure to report
this information will absolve designer of all
responsibility associated with the
construction of this project.

[illegible]

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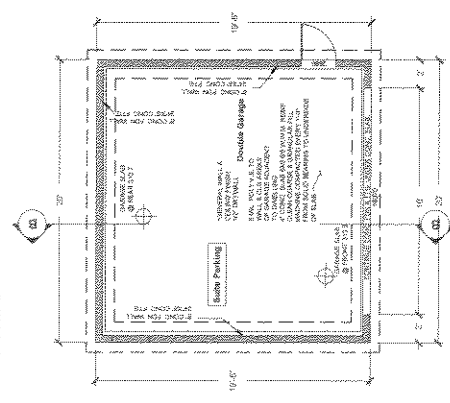
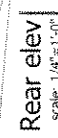
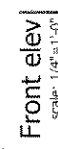
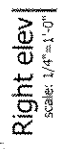
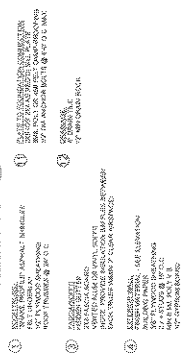
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Report	Impact	Relevance	Access	Quality	Timeliness
1. Report on the progress of the project	High	High	High	High	High
2. Report on the financial status of the project	High	High	High	High	High
3. Report on the technical progress of the project	High	High	High	High	High
4. Report on the human resources of the project	High	High	High	High	High
5. Report on the equipment and materials of the project	High	High	High	High	High
6. Report on the results of the project	High	High	High	High	High
7. Report on the conclusions of the project	High	High	High	High	High
8. Report on the recommendations of the project	High	High	High	High	High
9. Report on the future plans of the project	High	High	High	High	High
10. Report on the overall status of the project	High	High	High	High	High

Burnaby B.C.
7357 Newcom

Garage
25 Aug 2015
1:48
6 of 6

Figure 1 consists of 16 small diagrams arranged vertically, each illustrating a step in the proposed algorithm. The diagrams show a grid of points (represented by dots) and various operations being performed on them. The steps are numbered 1 through 16. The operations include selecting points, moving points, and connecting points. The diagrams are arranged in a vertical sequence, showing the progression of the algorithm from step 1 to step 16.



GARAGE
Scale: $1/4" = 1'-0"$
Garage = 450 sq. ft.

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TOPOGRAPHICAL PLAN OF LOT 32 BLOCK "D" DISTRICT
LOT 25 GROUP 1 NWD PLAN 14945

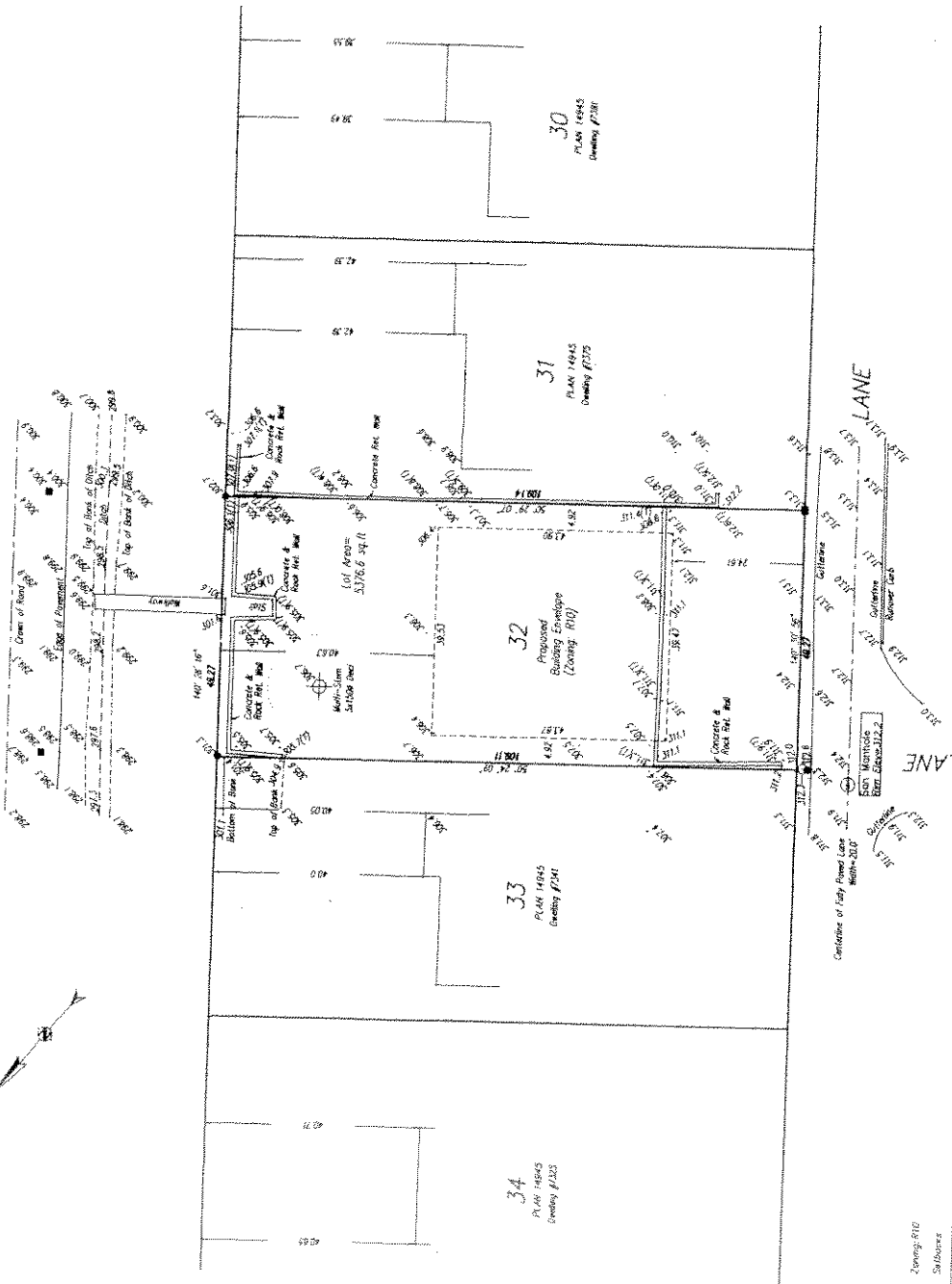
BUILDING DEPARTMENT

PD: 010-028-293
Civic Address: 7157 Newcombe Street,
City of Burnaby

Note: Lines pursuant to by law use 1986 are shown



NEWCOMBE STREET



- LEGEND:
- Standard iron post
 - Lead plug
 - Iron (copper) in iron
 - 200 Center
 - Power Pole
 - Marker
 - Section
 - Direction of top of wall

BOUNDARY NOTES:
Elevations are spot heights
Reference to documents P-51-17
Monument Elevation 80.55m

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Building envelope shown is only approximate.
For interpretation of City Building Bylaws.
Please consult Planning Department for final building envelope when required.

20mmp R10
Subsidence

Lot	Area	Area
34	406.5	7225
33	40.0	7341
31	42.39	7175
30	38.49	7207

Average = 405.3

This is certified correct and is valid only with respect to the improvements as shown herein and located on the 22nd day of April, 2015.

PLAN 14945
Drawing P101

The Document is Not Valid Unless
Originally Signed And Sealed

File No. B174-1090

For: 100-028-293 Email Address: reynolds@burnaby.ca

6701-1010 Smith Avenue Burnaby BC V5C 1K6

100-028-293

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B. C. G. S. 926.026

BUILDING DEPARTMENT



	= Control Monument Found
	-- Standard Iron Post Found
	- Lead Plug Found
	- Standard Iron Post Placed
	- Lead Plug Placed
	= Footing Plan
	= Witness
	= Unrecovered

Grid bearings are derived from observations between geodetic control monuments 344142 and P-52-17.

Note:

Some posts and lines have been exaggerated for clarity.

This Plan Lies Within The Greater Vancouver Regional District

The field survey represented by this plan was completed on the 23rd day of April, 2015
Linming Yuan, BCLS #8859

Amiray Land Surveying Ltd. 2015 2201-5010 Smith Avenue Burnaby, BC V5G 2W5 Tel: 604-620-5299

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