

**BOARD OF VARIANCE REFERRAL LETTER**

DATE: January 8, 2016	DEADLINE: January 12, 2016 for the February 4, 2016 hearing	<i>This is <u>not</u> an application. Please take letter to Board of Variance. (Clerk's office - Ground Floor)</i>	
NAME OF APPLICANT: Marius Serban			
ADDRESS OF APPLICANT: 212-4155 Central Blvd, Burnaby B.C. V5H 4X2			
TELEPHONE: 604.690.2041			
PROJECT			
DESCRIPTION: New Single Family Dwelling			
ADDRESS: 4042 Marine Drive			
LEGAL:	LOT: 184	DL: 175	PLAN: 41124

The above mentioned application, which includes the attached plan of the proposal, has been refused by the Building Department on the basis of contravention of:

Zone/Section(s) R2 [102.6(1)(a); 102.8(1)]
of the Burnaby Zoning Bylaw No. 4742

COMMENTS:

The applicant is proposing to build a new single family dwelling. The following relaxations are being requested.

- 1) The principal building height, measured from the rear average elevation will be 34.10 feet. The principal building height, measured from the front average elevation will be 28.17 feet. The maximum building height of 29.5 feet is permitted.
- 2) The front yard setback will be 45.0 feet to the foundation where a minimum front yard setback of 72.08 feet is required based on front yard averaging. The roof overhang will be 2.0 feet beyond the foundation.

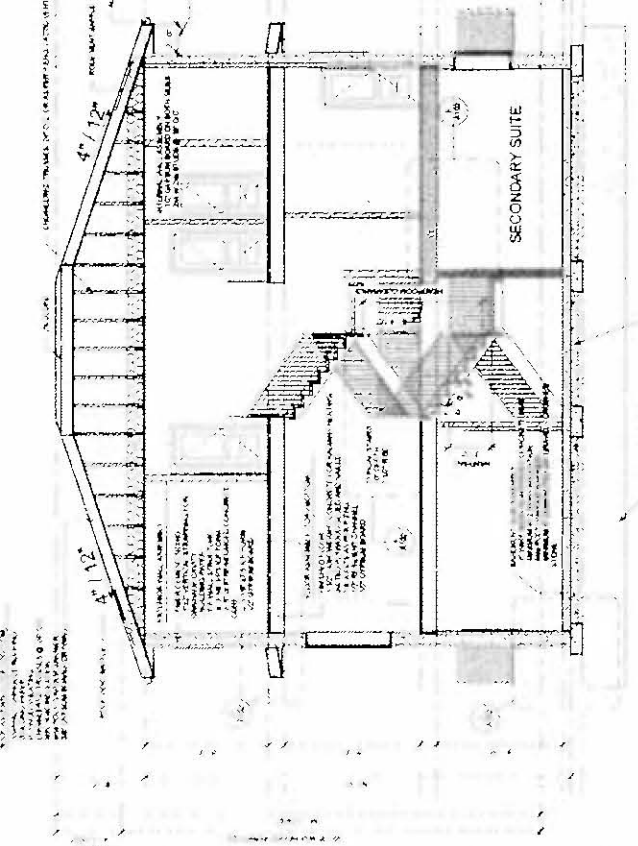
Note: The applicant recognizes that should the project contain additional characteristics in contravention of the zoning by-law a future appeal(s) may be required.

DS

Peter Kushnir
Assistant Chief Building Inspector, Permits and Customer Service

B. of V. REFERRAL

TO ROOF
6/12



COMPLETED BY OWNER

PROPOSED RESIDENCE



SECTION 11: MAIN FLOOR ASSEMBLY
8' 10" x 10"

PROPOSED RESIDENCE AT 4042 MARINE DRIVE, BURNABY, BC

DESIGNER: MARIUS SERBAN | 604.690.2041 | marius.serban@gmail.com

4155 CENTRAL BLVD., UNIT #212, BURNABY, BC, V5H 4X2

DATE: SEP 18 2015

A102

As required

NOTES

1. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.
2. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.
3. THE DESIGNER SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY DETAILS AND SPECIFICATIONS.
4. THE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CANADIAN NATIONAL BUILDING CODE AND ALL LOCAL MUNICIPAL REGULATIONS.
5. THE DESIGNER SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY DETAILS AND SPECIFICATIONS.
6. THE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CANADIAN NATIONAL BUILDING CODE AND ALL LOCAL MUNICIPAL REGULATIONS.
7. THE DESIGNER SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY DETAILS AND SPECIFICATIONS.
8. THE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CANADIAN NATIONAL BUILDING CODE AND ALL LOCAL MUNICIPAL REGULATIONS.
9. THE DESIGNER SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY DETAILS AND SPECIFICATIONS.
10. THE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CANADIAN NATIONAL BUILDING CODE AND ALL LOCAL MUNICIPAL REGULATIONS.

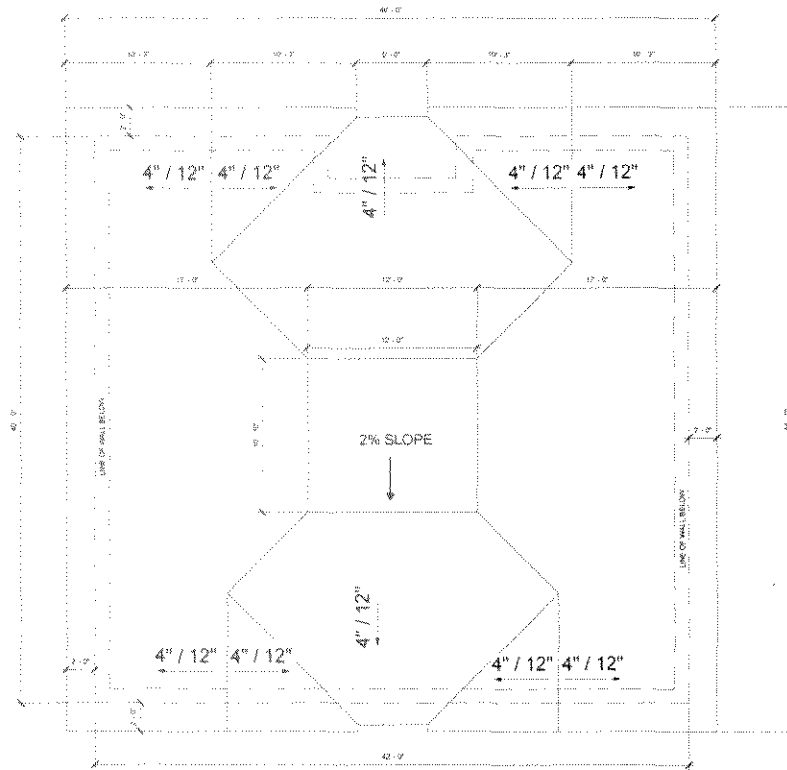
B/C BUILDING CODE 2012 REFERENCE NOTES

1. THE BUILDING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CANADIAN NATIONAL BUILDING CODE AND ALL LOCAL MUNICIPAL REGULATIONS.
2. THE DESIGNER SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY DETAILS AND SPECIFICATIONS.
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OCT 2 2015

BUILDING DEPARTMENT

~ ROOF SLOPE: 4"/12"



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OCT 21 2015

BUILDING DEPARTMENT



ROOF PLAN
1/4" = 1'-0"

DESIGNER: MARIUS SERBAN | 604.690.2041 | marius.serban@gmail.com

Case

867. 13. 2013

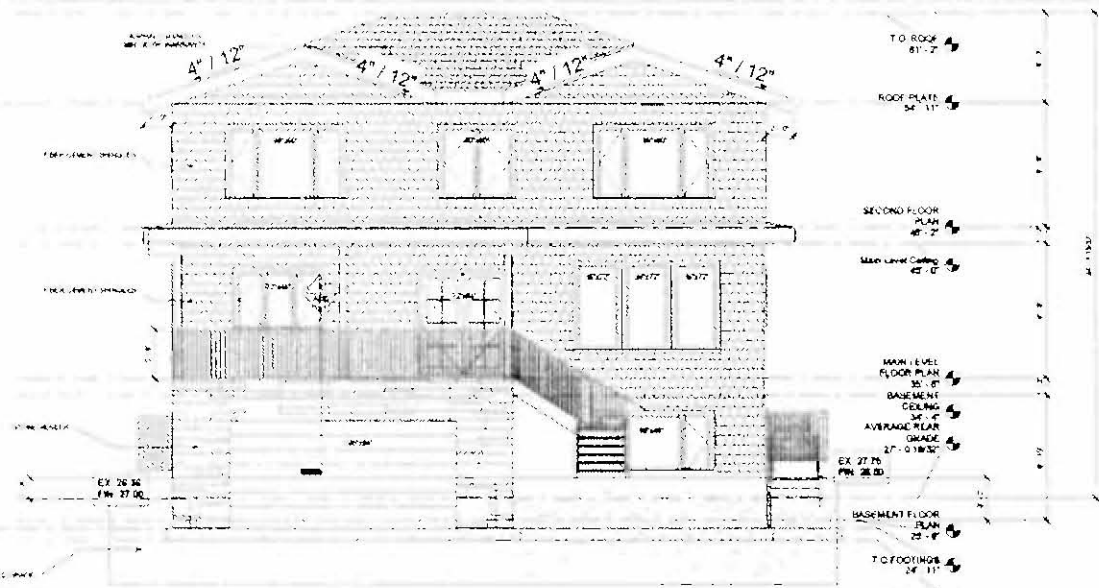
A106

4155 CENTRAL BLVD., UNIT #212, BURNABY, BC, V5H 4X2

✓

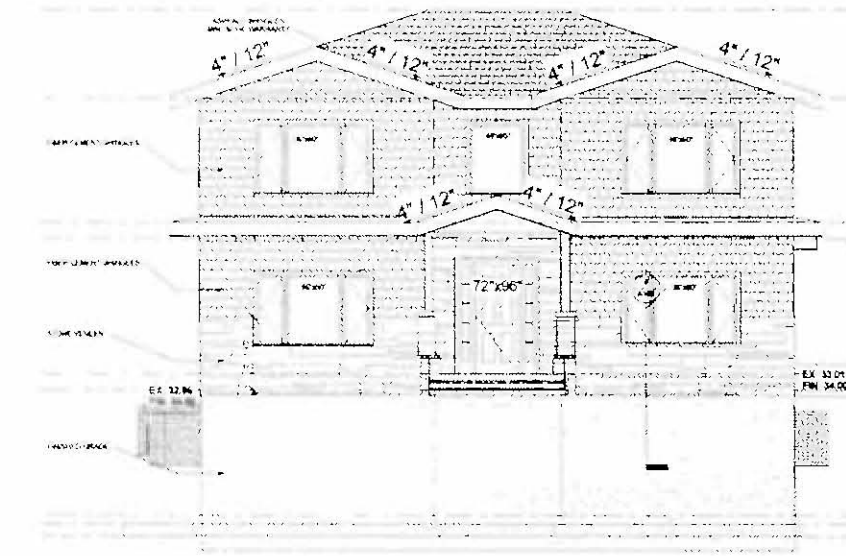
June

128



SOUTH ELEVATION NOTES

WINDOWS/DOORS SIZES ARE DISPLAYED IN INCHES (i.e. 30"x80" DENOTES 30" IN WIDTH AND 80" IN HEIGHT)



NORTH ELEVATION NOTES

WINDOWS/DOORS SIZES ARE DISPLAYED IN INCHES (i.e. 30"x80" DENOTES 30" IN WIDTH AND 80" IN HEIGHT)

B. of V. REFERRAL

RECEIVED
OCT 21 2015

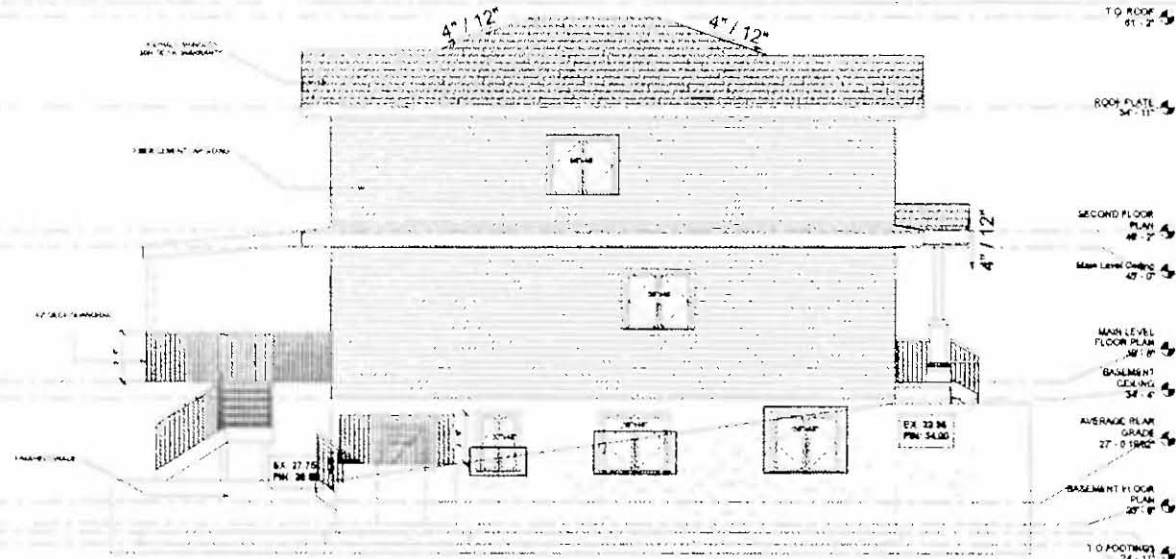
BUILDING DEPARTMENT

PROPOSED RESIDENCE AT 4042 MARINE DRIVE, BURNABY, BC

DESIGNER: MARIUS SERBAN | 604.690.2041 | marius.serban@gmail.com

4155 CENTRAL BLVD., UNIT #212, BURNABY, BC. V5H 4X2

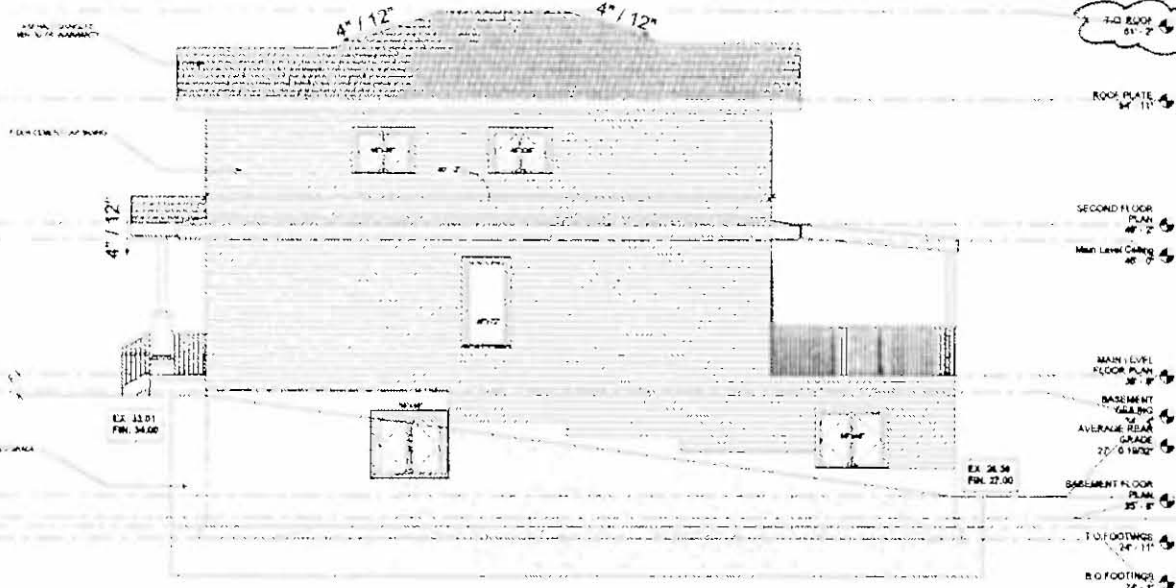
SEP 15 2015	A107
Checked by	Scale 1/4" = 1'-0"



EAST ELEVATION NOTES

TOTAL WALL AREA	946.44 SF
LIMITING DISTANCE	19.5 FT
WINDOW OPENING ALLOWED (12%)	113.57 SF
WINDOW OPENING PROPOSED	105.3 SF

- WINDOWS/DOORS SIZES ARE DISPLAYED IN INCHES (i.e. 30"x80" DENOTES 30" IN WIDTH AND 80" IN HEIGHT)



B. of V. REFERRAL WEST ELEVATION NOTES

TOTAL WALL AREA	1040.58 SF
LIMITING DISTANCE	8 FT
WINDOW OPENING ALLOWED (8%)	83.24 SF
WINDOW OPENING PROPOSED	79.32 SF

- WINDOWS/DOORS SIZES ARE DISPLAYED IN INCHES (i.e. 30"x80" DENOTES 30" IN WIDTH AND 80" IN HEIGHT)

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OCT 21 2015

BUILDING DEPARTMENT

PROPOSED RESIDENCE AT 4042 MARINE DRIVE, BURNABY, BC

DESIGNER: MARIUS SERBAN | 604.690.2041 | manus.serban@gmail.com

4155 CENTRAL BLVD., UNIT #212, BURNABY, BC, V5H 4X2

DATE: SEP 15 2015

A108

1/4" = 1'-0"

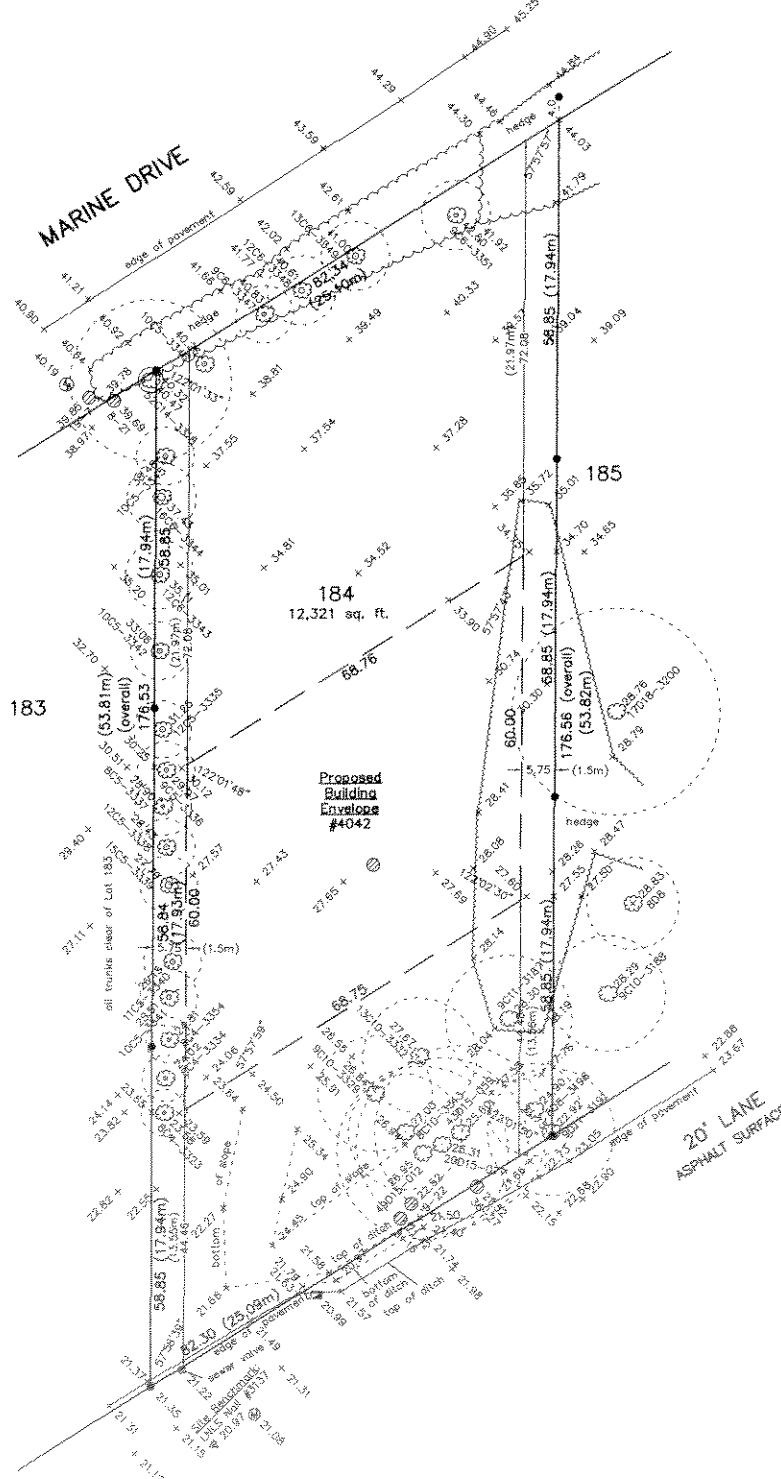
**SURVEY PLAN OF LOT 184
DISTRICT LOT 175, GROUP 1
NEW WESTMINSTER DISTRICT, PLAN 41124**

SCALE 1" = 16'
All distances are in feet.

Applicable Adjacent House	Depth of Front Yard
4028 Marine Drive	58.64 ft
4032 Marine Drive	74.59 ft
4052 Marine Drive	78.02 ft
4062 Marine Drive	77.06 ft
Total	285.31 ft
Average	72.08 ft

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JAN 08 2016

BUILDING DEPARTMENT



NOTES:

- Lot dimensions are derived from field survey.
- Elevations are based on Geodetic Datum of Burnaby and are derived from control monument DTS-392 situated in front of house #2965 on Marine Drive. Elevation = 33.42 feet.
- For elevation control, use control monument or site benchmark only.
- Building envelope shown is just an approximate interpretation of City Zoning Bylaws. Consult Planning Department for final building envelope prior to design.
- All trees and stumps shown as required by municipal bylaws.
- All elevations along curb lines are gutter levels.
- Symbols plotted are for illustrative purposes and are not representative of their true size.
- denotes standard iron post. ☐ denotes catch basin.
- ⊗ denotes tree stump. Ⓢ denotes manhole.
- 8-10 height (inches) Ⓜ denotes hydro pole.
- diameter (inches)
- ⊙ denotes tree.
- BC10-1234 (tree tag number)
- drip line radius (feet)
- C=coniferous
- D=deciduous
- diameter (inches)

CIVIC ADDRESS
4042 MARINE DRIVE
BURNABY, B.C.

ZONING: R2

CERTIFIED CORRECT.
DATED THIS 14TH DAY OF AUG., 2015

IVAN NGAN B.C.L.S.

**L N L S METRO VANCOUVER
LAND SURVEYORS**

4932 VICTORIA DRIVE, VANCOUVER, BC, V5P 3T6
T 604.327.1535 WEB WWW.LNLS.CA