



Board of Variance Appeal Application Form

OFFICE OF THE CITY CLERK

Burnaby City Hall, 4949 Canada Way, Burnaby BC, V5G 1M2, Phone: 604-294-7290 Email: clerks@burnaby.ca

Applicant

Name of Applicant Tommy NGO & MANJOT SOHAL
Mailing Address 4760 SHEPHERD ST.
City/Town BURNABY Postal Code V5H 1L7
Phone Number(s) (H) — (C) 778-996-8898
Email Tommy-N@HOTMAIL.COM
Preferred method of contact: ☒ email ☐ phone ☐ mail

Property

Name of Owner Coastalwind Dvlp. Inc.
Civic Address of Property 6654 WALKER AVE.

I hereby declare that the information submitted in support of this application is, to the best of my knowledge, true and correct in all aspects, and further that my plans have no conflict with municipal bylaws other than those applied for with in this application.

April 12th/2016
Date

[Signature]
Applicant Signature

Office Use Only

Appeal Date 2016 May 05 Appeal Number BV# 6223

Required Documents:

- ☐ Hardship Letter from Applicant
- ☐ Site Plan of Subject Property
- ☐ Building Department Referral Letter

CITY OF BURNABY

APR 12 2016

Any documents submitted in support of this Board of
Variance Appeal will be made available to the Public

K'S OFFICE

April 12th, 2016

Hardship Letter

Our Names are Nghia (Tommy) Ngo and Manjot Sohal. We are the owners of Coastalwind Development Inc. which owns the property at 6654 Walker Ave.

We have submitted our plans to the city and are waiting for the release of our permits to build a new single family dwelling house.

This letter is in regards to our minimum front yard setback which is calculated by the average from the 2 adjacent homes on both sides of the property.

Our issue is that the 2 homes on the north west side adjacent to our property were built previous to the current bylaws set in 1965.

All homes built previous to 1965 did not have to take averages from their adjacent neighbours to calculate the minimum front yard setback. Without taking this average the owners were allowed to push their homes further back then everyone else on the same block.

We've spoken to the engineering department at city hall and understand that minimum setbacks are created to keep all homes on the block aligned and symmetrical.

The reason we are challenging our minimum front yard setback is because all homes south east to our property has an average between 20'-25' and the 2 properties on the north west side has a setback of 41.28' and 61.84'.

We are asking the board to allow us to pull our average front yard setback from the 2 homes on the south east side of the property and disregard the 2 homes on the north west side.

This will allow our new single family home to fall under the same average front yard setback as the rest of the neighbouring homes south east to our property.

Thank You,
Tommy Ngo & Manjot Sohal



BOARD OF VARIANCE REFERRAL LETTER

DATE: April 7, 2016	DEADLINE: April 12, 2016 for the May 5, 2016 hearing	<i>This is not an application. Please take letter to Board of Variance. (Clerk's office - Ground Floor)</i>	
NAME OF APPLICANT: Tommy Ngo			
ADDRESS OF APPLICANT: 4760 Shepard Street, Burnaby B.C. V5H 1L7			
TELEPHONE: 778.996.8898			
PROJECT			
DESCRIPTION: New Single Family Dwelling			
ADDRESS: 6654 Walker Avenue			
LEGAL:	LOTS: 19 and 20	DL: 91	PLAN: 1346

The above mentioned application, which includes the attached plan of the proposal, has been refused by the Building Department on the basis of contravention of:

Zone/Section(s) R3 [103.8]
of the Burnaby Zoning Bylaw No. 4742

COMMENTS:

The applicant is proposing to build a new single family dwelling. The following relaxation is being requested.

- 1) The front yard setback will be 22.60 feet to the post where a minimum front yard setback of 36.43 feet is required based on front yard averaging. The roof overhang will be 1.5 feet beyond the post.

Note: The applicant recognizes that should the project contain additional characteristics in contravention of the zoning by-law a future appeal(s) may be required.

DS

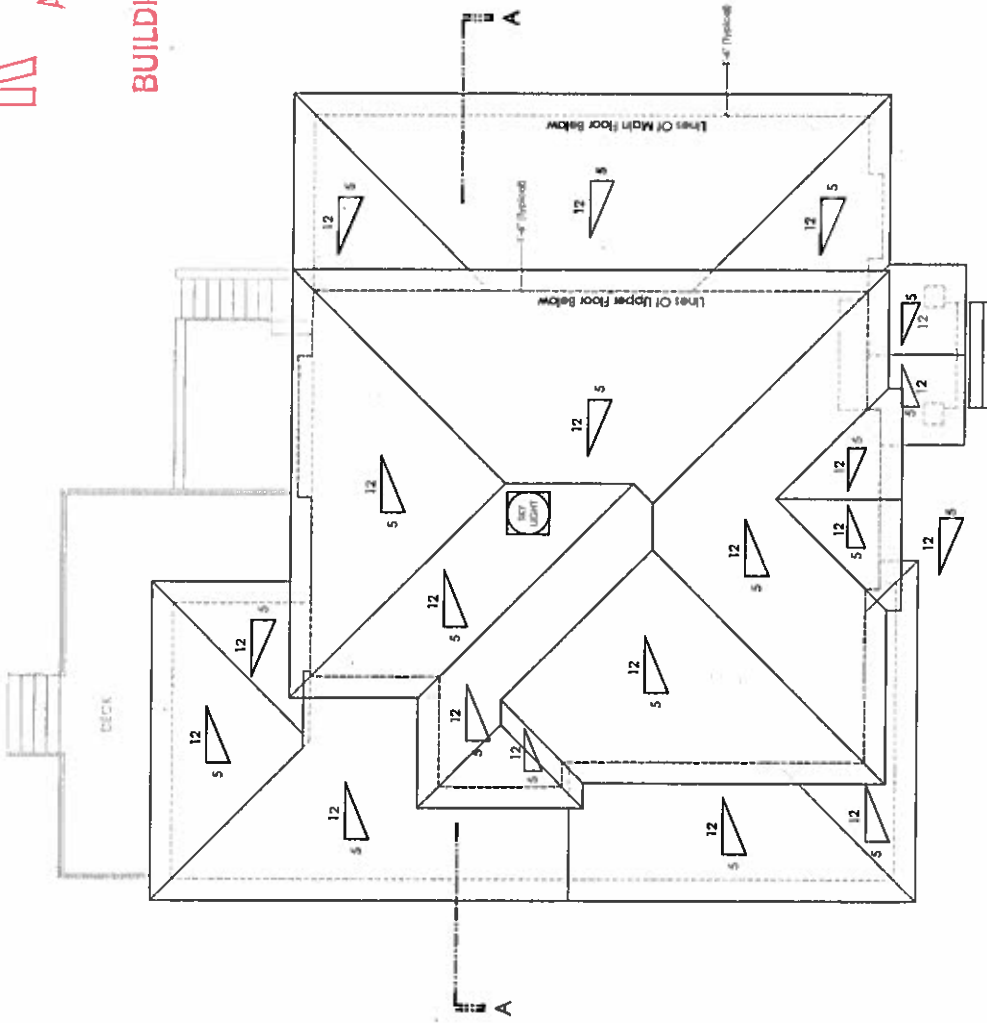
for Pat Shuk

Peter Kushnir
Deputy Chief Building Inspector

RECEIVED

APR 07 2016

BUILDING DEPARTMENT



ROOF PLAN

Scale: 1/4" = 1'-0"



aid DESIGN
480-777-4618
480-777-4618
480-777-4618

Name: _____

FOR PERMIT

Client: MR. TOMMY NGO

Project: NEW SINGLE FAMILY RESIDENCE

Site Address: 6656 WALKER AVENUE, BURNABY BC

Legal Description: Parcel "B" (Explanatory Plan 14244) Lots 15 & 29 Block 1 District Lot 91 Group 1 NWD Plan 1346

Scale: 1/4" = 1'-0"

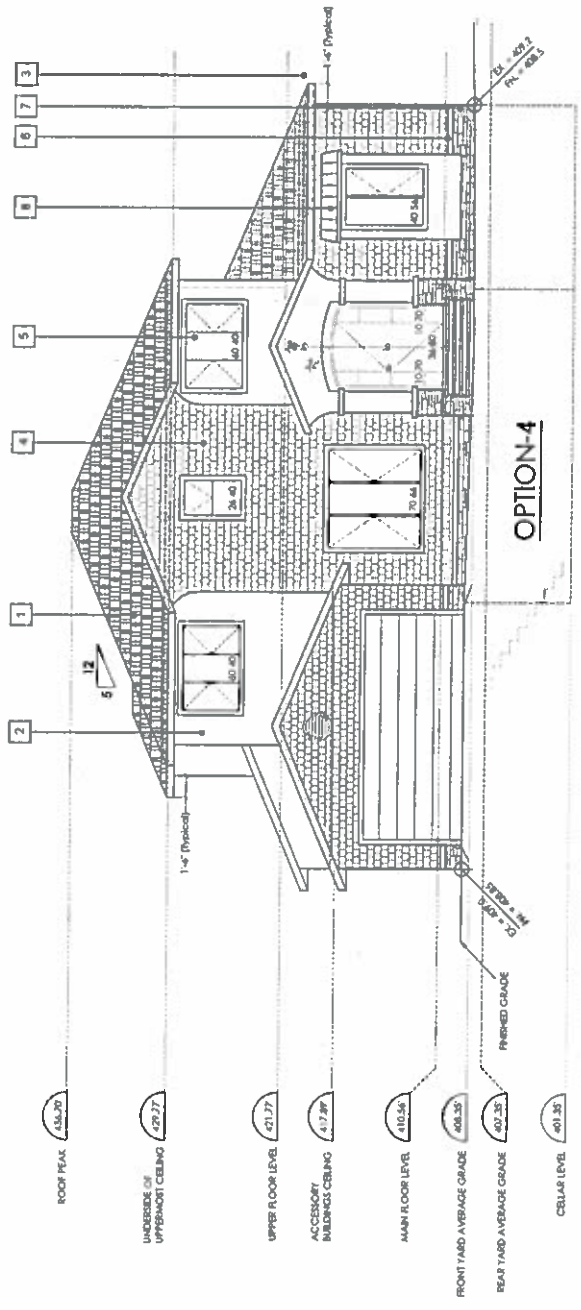
Rev 1	March 28, 2016
Date: Jan 2, 2016	Drawings: 8
A1.5	

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APR 07 2016

BUILDING DEPARTMENT

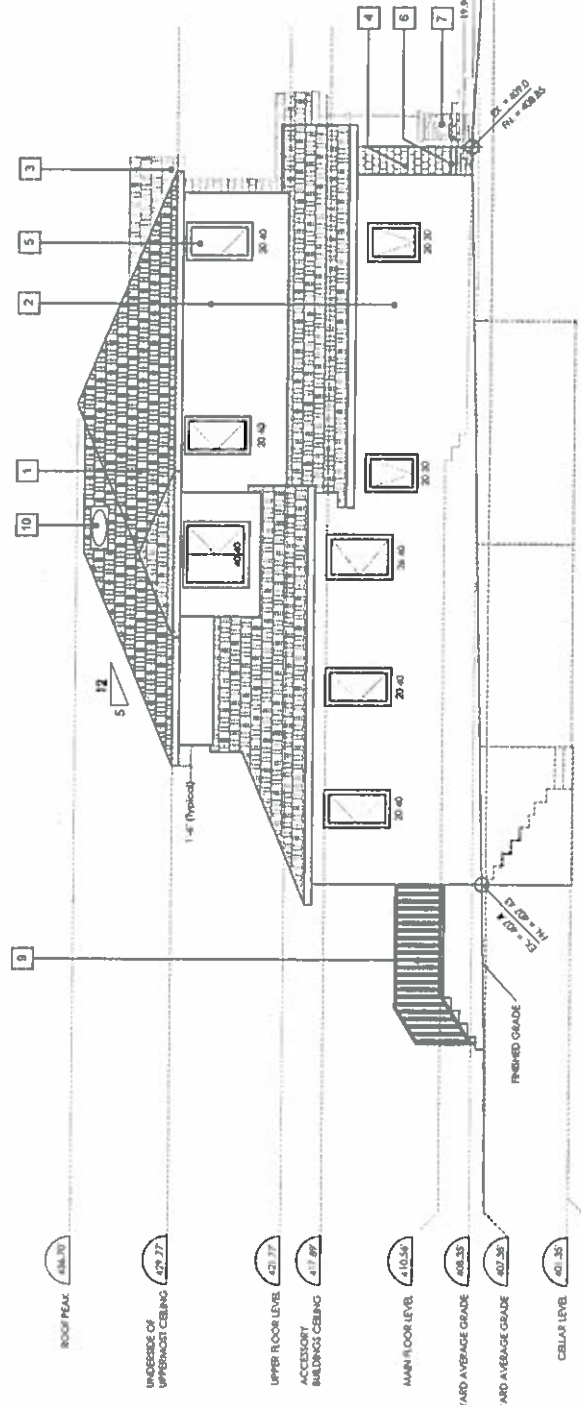
LEGEND

- 1 ASPHALT ROOF SHINGLES
- 2 PAINTED HARDY BOARD SIDING
- 3 ALUMINUM GUTTER
- 4 CEDAR WALL SHINGLES
- 5 DOUBLE GLAZED WOODWORK WITH 4" TYP.
- 6 WOOD LEDGE/SPANNATOR WITH METAL FLASHING
- 7 STONE CLADDING
- 8 METAL ROOF
- 9 4" HIGH GUARDRAIL
- 10 BAYLIGHT TO MANUFACTURERS



WEST ELEVATION

Scale: 1/4" = 1'-0"



SOUTH ELEVATION

Scale: 1/4" = 1'-0"

id 10000
SOUTH TOWN
400 - 1000 10th Street, Burnaby, BC
460-771-0888
www.idbc.ca
Design: Burnaby
This drawing is prepared under the terms of a contract with the client.

Notes:
1- ALL WORK SHALL COMPLY WITH THE CURRENT EDITION OF THE BC BUILDING CODE (CBC) AND THE BC ELECTRICAL CODE (BCEC).
2- REFER TO STRUCTURAL DRAWINGS FOR ALL STRUCTURAL REQUIREMENTS.
3- TYPE OF HEATING: RADIANT HEAT IN CONCRETE SLAB.
4- WINDOWS, DOORS & EXTERIOR FINISHES SHALL COMPLY WITH THE CURRENT EDITION OF THE BC BUILDING CODE (CBC) - PERFORMANCE CLASS B.
5- PERFORMANCE GRADE POLYMER POOLING.

Issued FOR PERMIT
Client: ARL TOMMY NGQ
Project: NEW SINGLE FAMILY RESIDENCE
City Address: 6655 WALKER AVENUE, BURNABY, BC

Legal Description:
Parcel "B"
(Explanatory Plan 4244)
Lots 19 & 20
Block 1 District Lot 41
Group 1 NVD Plan 1346

WEST & SOUTH ELEVATIONS
Scale: 1/4" = 1'

Rev: 1	March 20, 2016
Drawn: Jim 2, 2016	Drawings: 8
A3.1	

SPATIAL SEPARATION	5 feet (1.50 m)
LIMITING DISTANCE	500 ft (152.4 m)
WALL AREA	68.47277 m ²
ALLOWED OPENINGS	70 ft ²

APR 07 2016

BUILDING DEPARTMENT



100-44-4000
100-44-4000
100-44-4000

3. ALL WORK SHALL COMPLY WITH THE CURRENT EDITION OF THE BUILDING CODE AREA SETTLING CODE (B.C.C.).

4. REFER TO STRUCTURAL DRAWINGS FOR FRAMING AND STRUCTURAL REQUIREMENTS.

5. TYPE OF HEATING, RADIANT HEAT IN CONCRETE SLAB.

6. WINDOWS, DOORS + WALLS/CLIGHTS SHALL COMPLY WITH C.R.A.A.B.

7. PERFORMANCE CLASS 2.

8. PERFORMANCE GRADE FCI408 (FCI-308)

—part

Host:
DR. TOMMY NGO

re/fect:

CONSUMER SERVICE RESOURCES

Public Address:

URNABY BC

Anal Description:

and 'B'

19 & 20

Block 1 District 1491

1

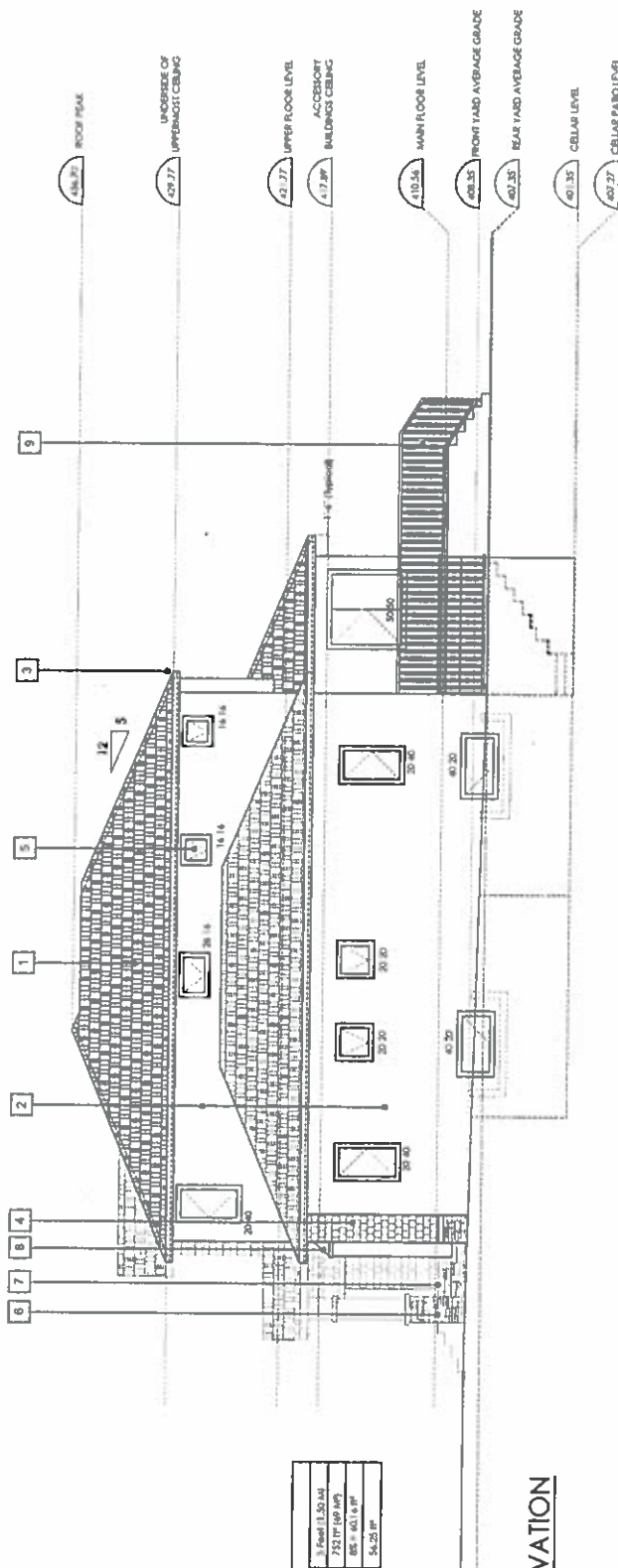
EAST & NORTH ELEVATIONS

 $\text{scale} = 1^{\text{st}} = 1^{\text{st}}$

March 22, 1917

1

A37



EAST ELEVATION

Scale: 1" = 100'

NORTH ELEVATION

Scale: $1'' = 1'-0''$

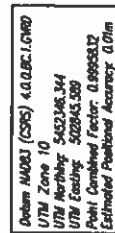
- ## LEGEND

- | | |
|----|--|
| 1 | ASPHALT ROOF SHINGLES |
| 2 | PARTIALLY HARDENED BOARD ROOFING |
| 3 | ALUMINUM GUTTER |
| 4 | CEDAR WALL SHINGLES |
| 5 | DOUBLE GLAZED WINDOW WITH A TRIM |
| 6 | WOOD LEADERS/SEPARATOR WITH METAL FLASHING |
| 7 | STONE CLADDING |
| 8 | METAL ROOF |
| 9 | 4" HIGH GUARDRAIL |
| 10 | BOULEY TO MANUFACTURERS |

SPATIAL SEPARATION	
LIMITING DISTANCE	≥ Feet (1.50 m)
WALL AREA	752 m ² (8099 ft ²)
ALLOWED OPENINGS	85 ± 60.1 ± 1%
PROPOSED OPENINGS	54.74 m ²

PLAN EPP57195

RECEIVED
JAN 08 2015
BUILDING DEPARTMENT

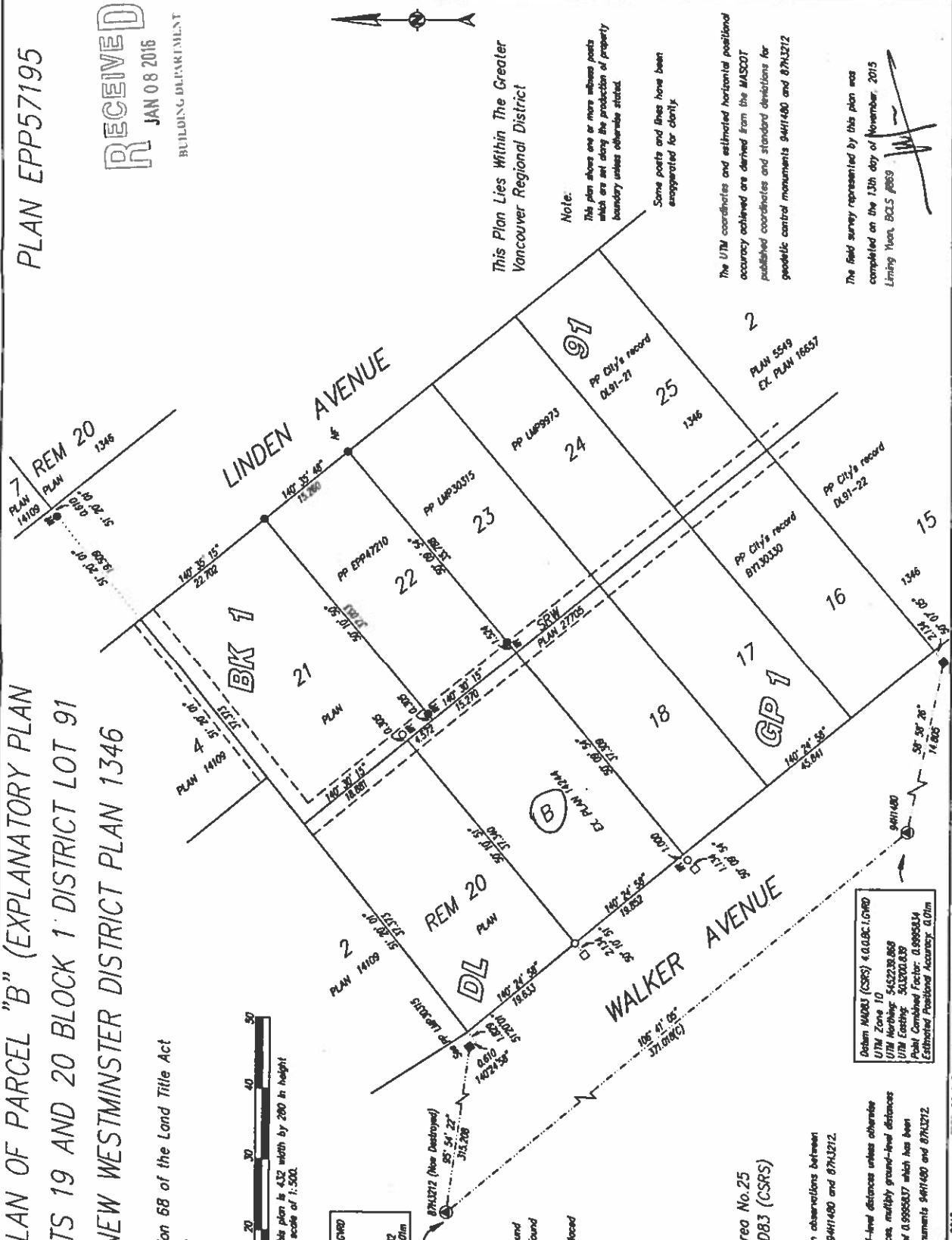


- Legend:**
- Ⓐ - Control Monument Found
 - - Standard Iron Post Found
 - - Lead Plug Found
 - - Standard Iron Post Placed
 - - Lead Plug Placed
 - PP - Pasting Plan
 - WT - Witness
 - NF - Nothing Found

Integrated Survey Area No.25
City Of Burnaby, NAD83 (CSRS)
4.0.0.BC.1.GVRD

Grid bearings are derived from observations between geodetic control monuments 9441480 and 0743212.

This Plan shows horizontal ground-level distances unless otherwise specified. To compute grid distances, multiply ground-level distances by the average combined factor of 0.9995837 which has been derived from accurate control monuments 9467400 and 9741712.



Amroy Land Surveying Ltd. 2015

1201-5010 Smith Avenue Burnaby BC V5G 2M5

Tel: 604-620-5209

7

31

F74 Mo R1720

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TOPOGRAPHICAL PLAN OF PARCEL "B" (EXPLANATORY PLAN 14244) LOTS 19 AND 20 BLOCK 1 DISTRICT LOT 91 GROUP 1 NWD PLAN 1346



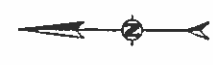
The proposed plan of this parcel is 350' wide by 432' in height.
(C. 100') when plotted at a scale of 1 inch=16 feet.
All Distances And Elevations Are In Feet And Decimals
Toward Unless Otherwise Stated.

PID: 002-787-610
Civic Address: 6654 Walker Avenue,
City of Burnaby

Note: Trees pursuant to by tree law 1996 are shown

Notes:

Information shown herein is for municipal purposes only and is for the exclusive use of the owner.
All rights reserved. No person may copy, reproduce, transmit, offer, distribute, or store copies of this document in whole or in part without the prior written consent of the undersigned.



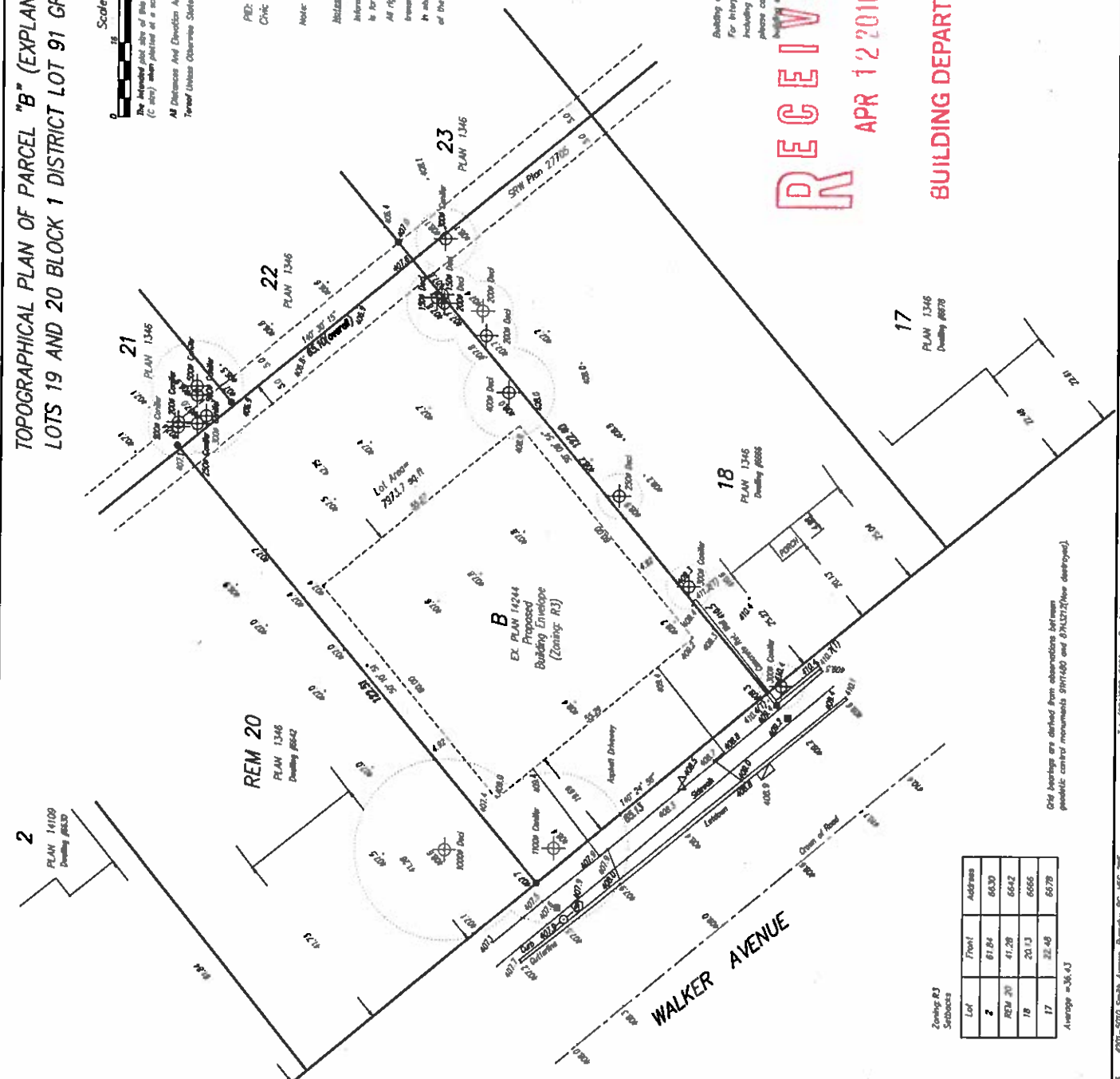
Building envelope shown is only approximate.
For interpretation of City Building Bylaws,
including the effect of building envelope,
please consult Planning Department for final
building envelope plan.

RECEIVED
APR 12 2016

BUILDING DEPARTMENT

This is certified correct and is valid only with respect to the improvements as shown herein and located on the 10th day of November, 2015

CLERK: YAM
This Document is Not Valid Unless
Originally Signed And Sealed
B.C.L.S. #689



- Legend:**
- Standard Iron Post
 - Lead Plug
 - Tree (diameter in mm and Species)
 - Sign
 - Power Pole
 - Square Catch Basin
 - Water Valve

Symbol:
T - Direction of top of wall

Zoning R3
Setbacks

Lot	Front	Address
2	61.84	6630
REM 20	41.26	6642
18	20.13	6666
17	22.46	6678

Average = 36.43

Background Notes:
Distances Are Given
Referenced To Monument 94911.00
Monument Elevations: 125.77m

Grid bearings are derived from observations between geodetic control monuments 94911.00 and 94912.02 (now destroyed).