



Board of Variance Appeal Application Form

OFFICE OF THE CITY CLERK

Burnaby City Hall, 4949 Canada Way, Burnaby BC, V5G 1M2, Phone: 604-294-7290 Email: clerks@burnaby.ca

Applicant

Name of Applicant CHARLES MADDISON
Mailing Address BONI MADDISON ARCHITECTS (BMA)
3732 WEST BROADWAY
City/Town VANCOUVER Postal Code V6R 2C1
Phone Number(s) (H) 604 688 5894 (C) 604 727-7617
Email CHARLIE@BONIMADDISON.COM
Preferred method of contact: ☒ email ☐ phone ☐ mail

Property

Name of Owner MS. TINNY JONES
Civic Address of Property 7729 / 7731 ROSEWOOD ST.

I hereby declare that the information submitted in support of this application is, to the best of my knowledge, true and correct in all aspects, and further that my plans have no conflict with municipal bylaws other than those applied for with in this application.

Nov 8th, 2016
Date

David De
Applicant Signature

DAVIDA DEE
BMA

Office Use Only

Appeal Date 2016 December 01 / Appeal Number BV# 6255

Required Documents:

- ☐ Hardship Letter from Applicant
- ☐ Site Plan of Subject Property
- ☐ Building Department Referral Letter

Any documents submitted in support of this Board of
Variance Appeal will be made available to the Public



3732 West Broadway
Vancouver, BC Canada V6R 2C1
Tel: 604 688 5894 Fax: 604 688 5899
E-mail: info@bonimaddison.com

City of Burnaby Building Department
4949 Canada Way,
Burnaby, BC V5G 1M2

November 8, 2016

Attention: Ms. Irene Yuen, Senior Building Technologist

RE: 7729-7731 ROSEWOOD STREET TWO FAMILY SEMI-DETACHED DWELLING

Board of Variance Letter of Hardship

Dear Ms. Yuen,

We are writing on behalf of our client, Ms. Tinny Jones, to apply to the Board of Variance for a height variance for this duplex building project. The zoning bylaw restricts our building, with a flat roof to 6.1m (20 feet). Our design requires a building height of 7.62m (25' feet and 1/2") to the highest point of the structure.

105. RESIDENTIAL DISTRICT (R5)

[1.5.7 (2)] Height- Semi-D, 2 storey
sloping roof, 7.62 m (25 ft.)
flat roof, 6.1 m (20 ft.)

measured from the lower of the front average elevation or the rear average elevation to the highest point of the structure

Notes of Hardship

- 1) Our proposed semi-detached dwelling is being built on a sloped site. The R5 zoning requires we measure from "the lower of the front average elevation or the rear average elevation to the highest point of the structure". There is .83 m (2.75 feet) difference in height between the front and back of our house.
- 2) The Client wishes to make the ground floor of her house disabled accessible to age in place so that depressing the house into the slope would require lengthy ramps to access the ground floor and require the main floor to be below grade.
- 3) The building site is immediately next to the Kinder Morgan pipeline carrying aviation fuel to YVR. Any in ground excavation or disturbance requires review, approval and monitoring by Kinder Morgan.
- 4) The house which is being demolished to allow for this semi-detached dwelling is larger and taller than the proposed two family dwelling.
- 5) The survey information shows that our proposed building height is lower than its neighbours and smaller in mass and scale. Please reference our street scape drawings documenting these conditions. Included also please find surveys documenting these building elevations.
- 6) The building is being built using proprietary light gauge steel framing which requires floor and roof truss assemblies of greater depth than wood construction. Our ground floor ceiling height is 9 feet. Our Upper floor ceiling height is 8 feet. This is consistent with current, acceptable, housing design.

We have addressed the remainder of the concerns which you identified in your Building Permit review and will resubmit our drawings to you November 7 along with revised structural drawings, to follow by November 10.

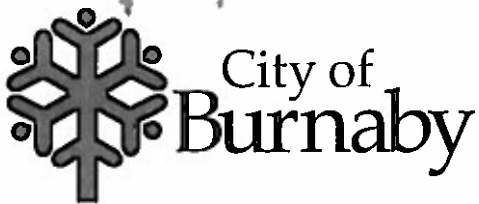
Please let us know if you require anything else to provide your referral letter to the Board of Variance.

We will attend the December 1, 2016, meeting of the Board of Variance to present our project to the Board.

Respectfully,

Charlie Maddison Architect AIBC OAA
Partner Boni•Maddison Architects
Regards,



**BOARD OF VARIANCE REFERRAL LETTER**

DATE: November 8, 2016	DEADLINE: Nov 08, 2016 for the Dec 1, 2016 hearing	<i>This is <u>not</u> an application. Please take letter to Board of Variance. (Clerk's office - Ground Floor)</i>	
NAME OF APPLICANT: Davida Dee (Boni-Maddison Architects)			
ADDRESS OF APPLICANT: 3732 West Broadway			
TELEPHONE: 604-688-5894 ext 121			
PROJECT			
DESCRIPTION: New Two Family Dwelling with Detached Garage			
ADDRESS: 7729 / 7731 Rosewood Street			
LEGAL:	LOT: 4	DL: 90	PLAN: 13173

The above mentioned application, which includes the attached plan of the proposal, has been refused by the Building Department on the basis of contravention of:

Zone/Section(s) R5 [105.7(2)(c)]
of the Burnaby Zoning Bylaw No. 4742

COMMENTS:

The applicant is proposing to build a new two family dwelling. The following relaxations are being requested:

1. To vary Section 105.7(2)(c) – “Height of Principal Building” of the Zoning Bylaw from 20 ft. to 24.79 ft. The purpose of this variance is to allow construction of the proposed two family dwelling with a flat roof to exceed the permitted maximum building height, as measured from the rear average elevation
2. To vary Section 105.7(2)(c) – “Height of Principal Building” of the Zoning Bylaw from 20 ft. to 22.04 ft. The purpose of this variance is to allow construction of the proposed two family dwelling with a flat roof to exceed the permitted maximum building height, as measured from the front average elevation.

Note: The applicant recognizes that should the project contain additional characteristics in contravention of the zoning by-law a future appeal(s) may be required.

IV

Peter Kushnir
Deputy Chief Building Inspector

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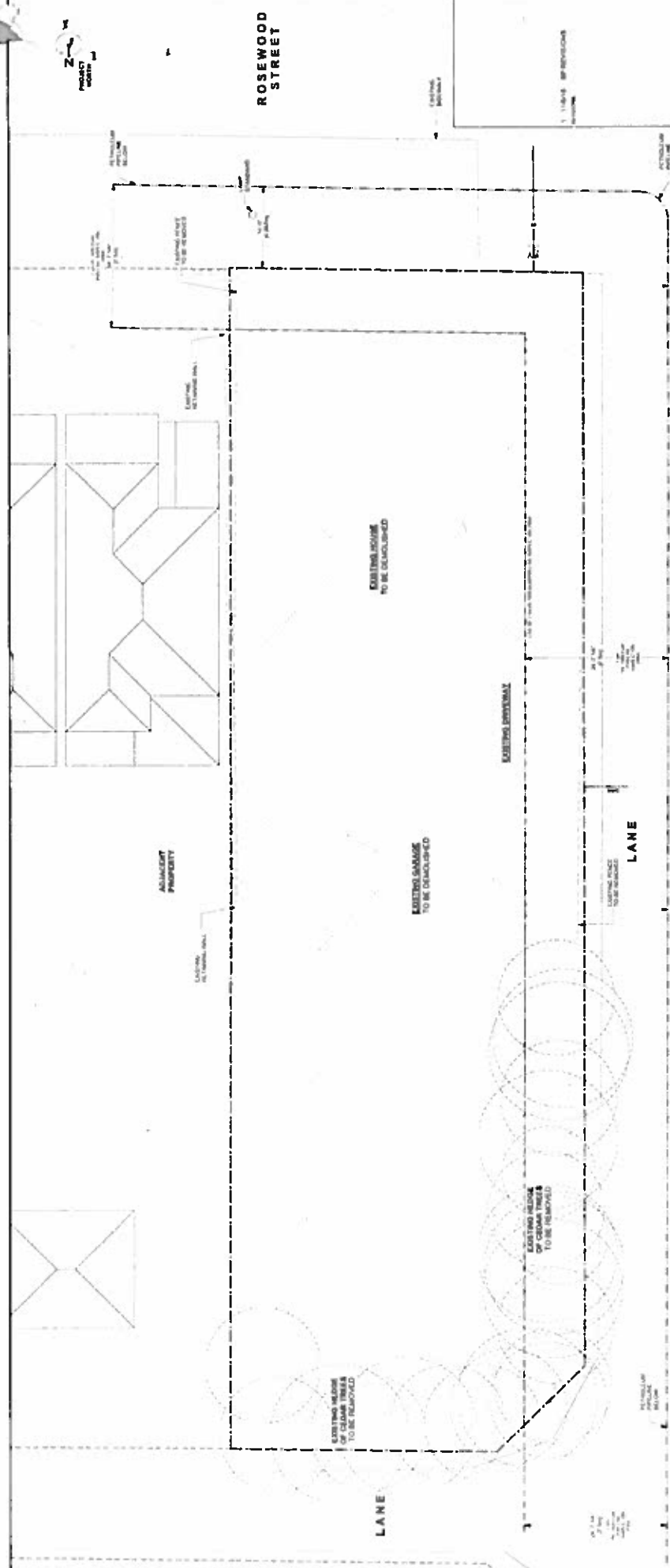
BONI-MADDISON Architects

7711 Rosewood
 Vancouver, BC V6N 1C1
 T 604.683.1894
 F 604.683.1895
 E info@bonimaddison.com

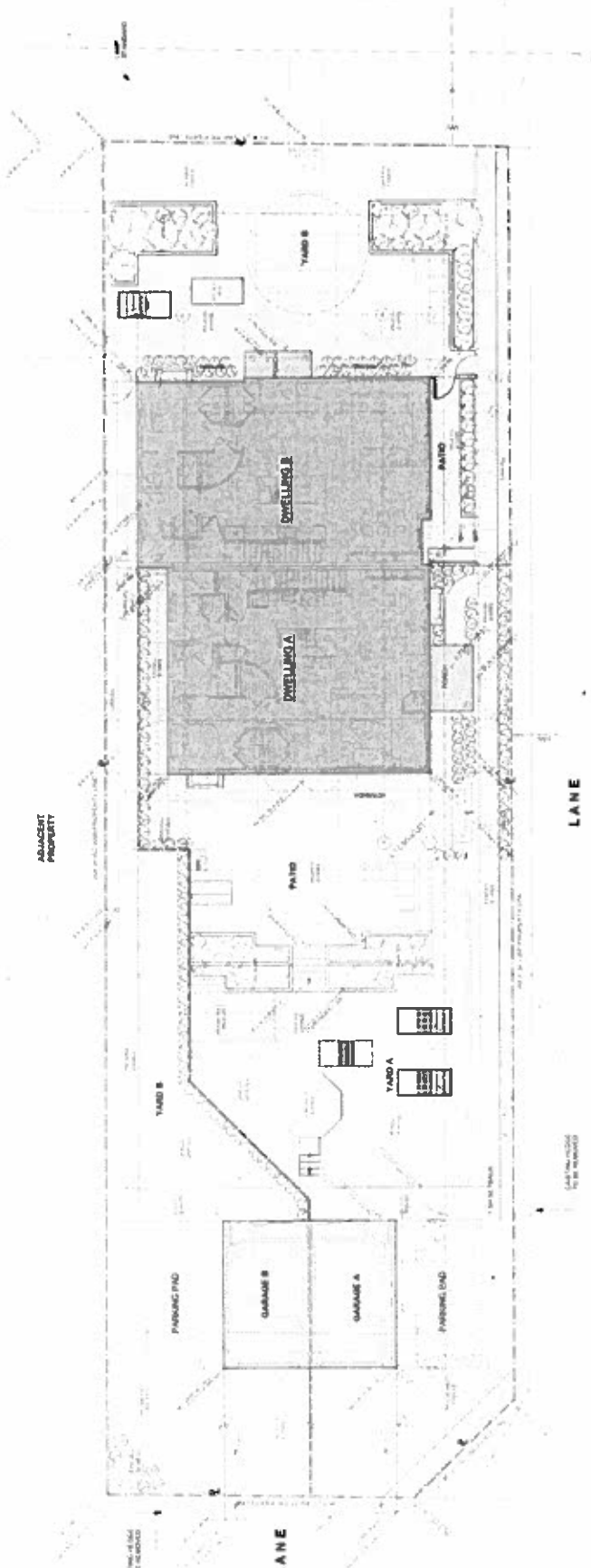
TWO FAMILY V SEM-D
 7711 ROSEWOOD
 BURNABY, B.C.
 DEMOLITION PLAN

A2.1

DATE: FEB 12, 2014



SITE DEMOLITION PLAN
 Scale: 1/8" = 1'-0"



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SITE LANDSCAPE PLAN
Scale 1/8" = 1'-0"

ROSEWOOD STREET

1 11/24/16 SP REVISED

A. BENTON - GRABED FOR SP

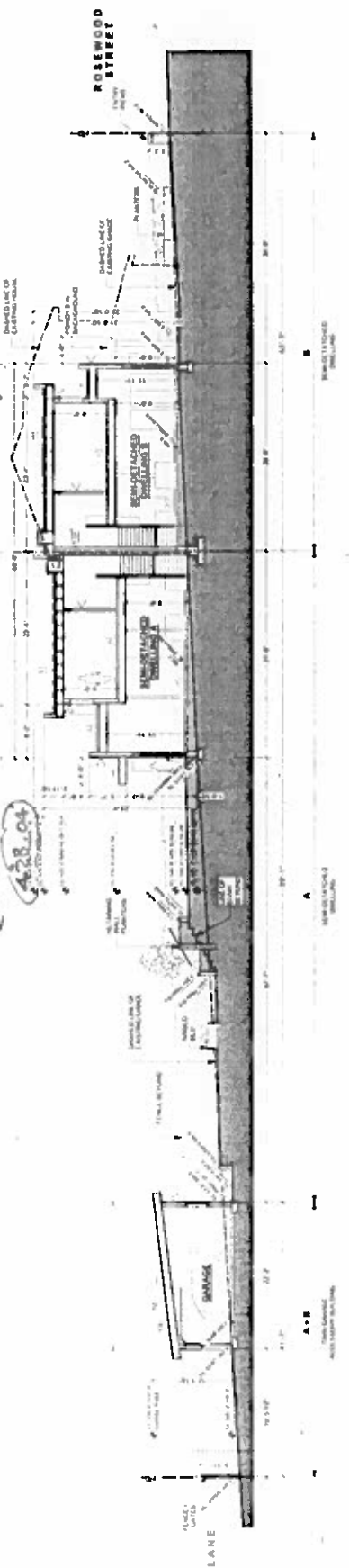
BONI-MADDOISI
Architects

1712 West Broadway
Vancouver, B.C. V6J 1C1
T: 604-683-1094
F: 604-683-1095
E: info@bonimaddoisi.com

TWO-FAMILY SEMI-D
7728 / 7731 ROSEWOOD
BURNABY, B.C.

SITE PLAN (LANDSCAPE)

PROJECT	DO	DATE	A2.3
SCALE	1/8" = 1'-0"	DATE	
DATE		DATE	



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SITE SECTION
 Scale 1/8" = 1'-0"

BONI - MADDISO
 Architects

1712 Wood Street
 New York, NY 10014
 T 212 691 1234
 F 212 691 1234
 E admin@bonimaddiso.com

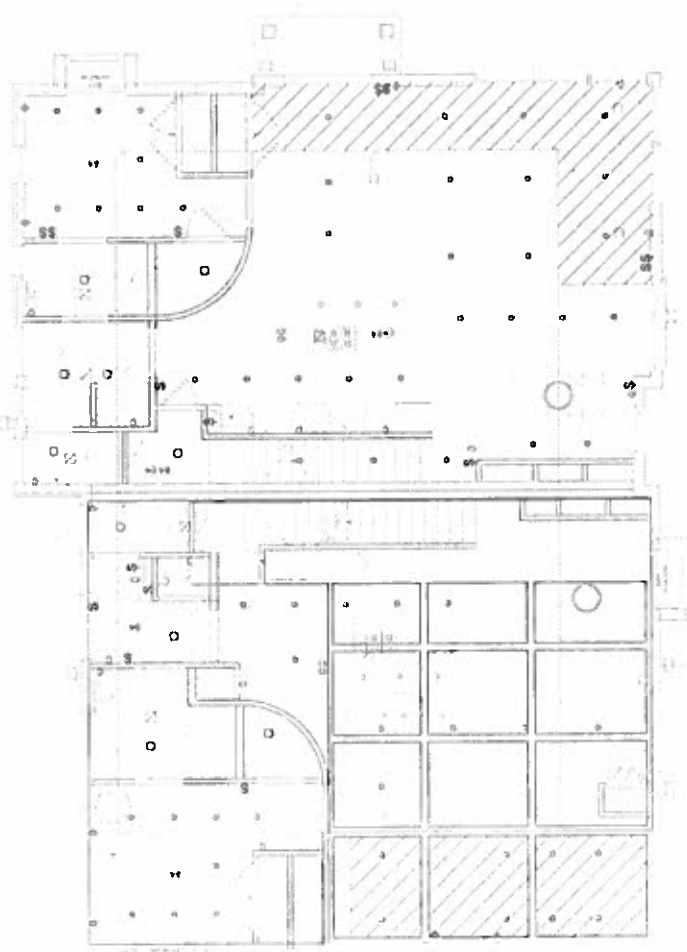
TWO-FAMILY SEMI-D
 1728/1731 ROSEWOOD
 BURNABY, B.C.

SITE SECTION

DATE	10/12/16	BY	
SCALE	1/8" = 1'-0"		
PROJECT	A2.4		

1. 11/6/16 BP REVISIONS

A 09/17/16 ISSUED FOR BP



1	DOUBLE FLUO
2	LIGHT CONTROL
3	3' X 5' RECESSED LIGHT
4	WALL MOUNTED
5	DOWNLIGHT LIGHT
6	5' X 7' LIGHT
7	2' X 4' LIGHT
8	CENTRAL RETURN
9	1' X 4' RECESSED
10	2' X 4' RECESSED
11	2' X 4' RECESSED
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GROUND FLOOR REFLECTED CEILING PLAN
Scale 1/4" = 1'-0"

A. BENTON DESIGN GROUP

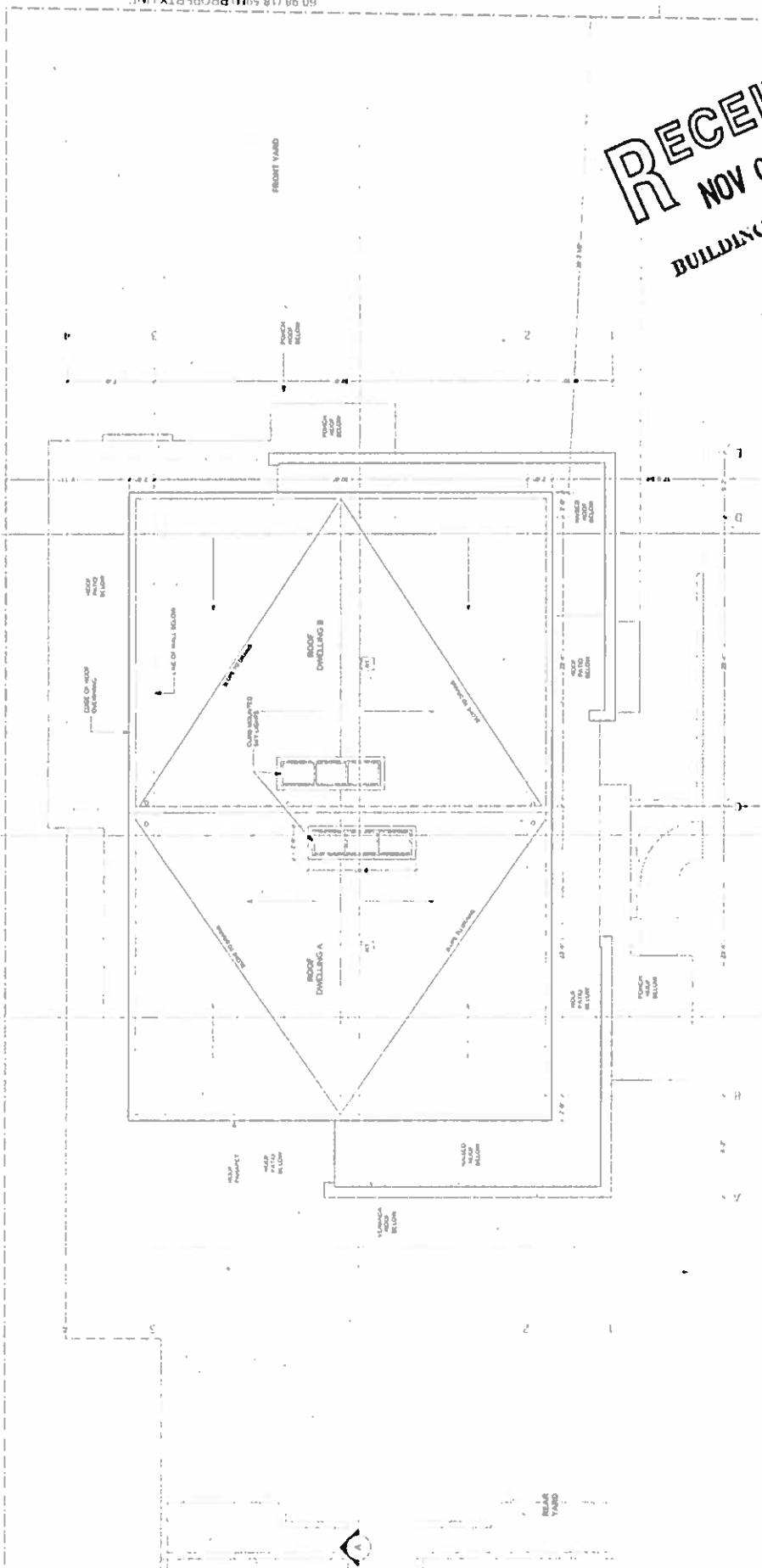
BONI-MADDISON
Architects
3712 West Broadway
Vancouver, B.C. V6R 4T1
Tel: 604-683-5894
Fax: 604-683-5895
E: info@bonimaddison.com

TWO-FAMILY SEMI-D
7779 / 7731 ROSEWOOD
BURNABY, B.C.
GROUND FLOOR RCP

DATE	NOV 12, 2016
BY	12/12/16
SCALE	1/4" = 1'-0"
SHEET	A3.1



204.38 (62.30M) PROPERTY LINE



(57.72M) PROPERTY LINE

ROOF PLAN
Scale: 1/4" = 1'-0"



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1 11/8/16 09 REVISED

A 09/1/16 ISSUED FOR BP

BONI - MADDISON Architects

312 West Broadway
Portland, ME 04101
T 603.683.5994
F 603.683.5995
E info@bonimaddison.com

THO-FAMILY SEASIDE
77777 ROSEWOOD
BURNABY, B.C.

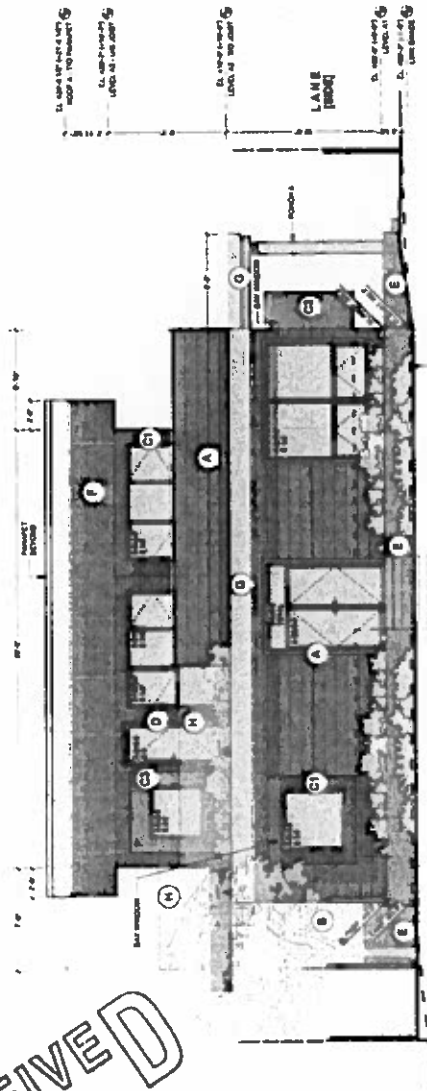
ROOF PLAN

A33

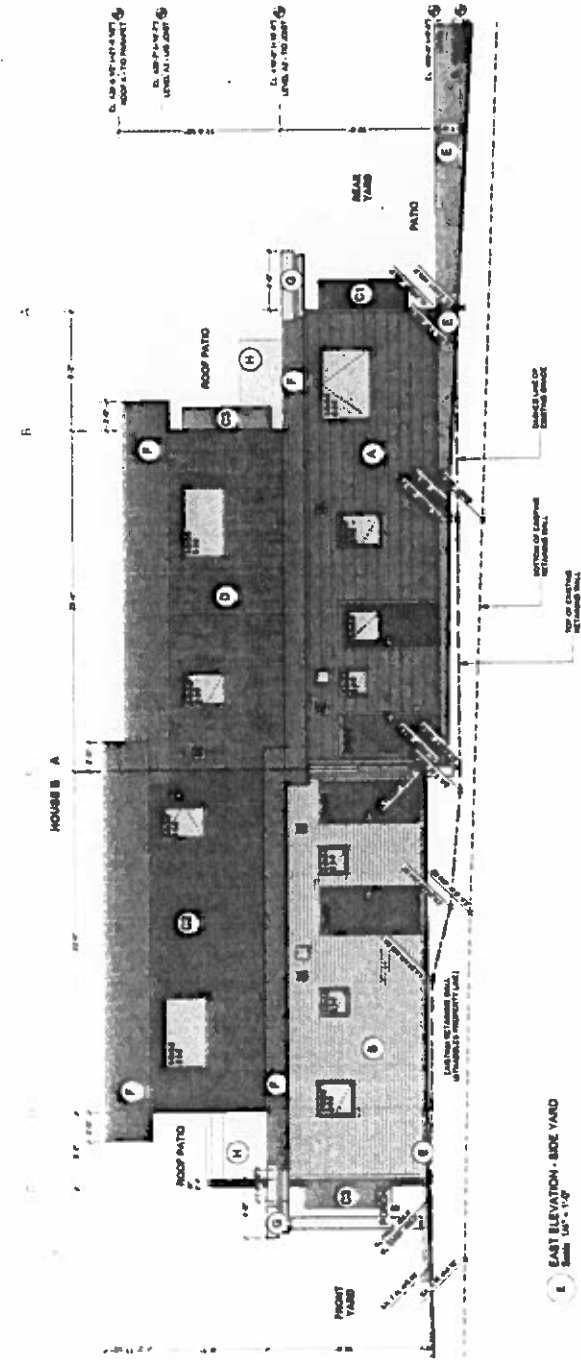
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EXTERIOR FINISHES:

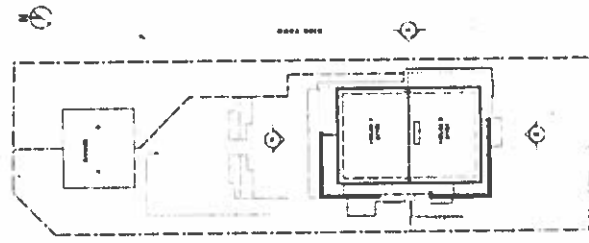
- A FIBRE CEMENT PLANK LAP SIDING (white finish)
- B FIBRE CEMENT PLANK LAP SIDING (pewee finish)
- C FIBRE CEMENT PANEL VERTICAL SIDING W/ REVEAL SYSTEM - VARIOUS COLOURS
- D WOOD LOOK METAL PANEL W/ REVEAL SYSTEM
- E LEDGESTONE
- F ROOF FASCIA FIBRE CEMENT PANEL W/ REVEAL SYSTEM
- G METAL FASCIA VERANDA - STEPPED PROFILE
- H GLASS HANDRAIL
- J WINDOW - DOOR FRAMES - GREY
- K FENCE MATERIAL



NORTH ELEVATION - REAR YARD (HOUSE A)
 Scale: 1/4" = 1'-0"



EAST ELEVATION - SIDE YARD
 Scale: 1/4" = 1'-0"



1. FINISH - SP. FINISHES

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ROSEWOOD STREET

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BONI - MADDOX Architects
 1732 West Broadway
 Vancouver, B.C. V6J 1K1
 P: 604 688 5499
 E: boni@bonimaddox.com

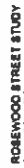
TWO-FAMILY SEMI-D
 7728 / 7731 ROSEWOOD
 BURNABY, B.C.

ELEVATION: N/E

A5.2

PG. 12 OF 18

BUILDING ELEMENT



NAME	100-1-8	A5.3	DATE
ZIP	10-00		
DATE	FEB 12 2010		10-0-0

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Project Manual #2

**Building Envelope and
*Architectural Details***

**TWO-FAMILY SEMI DETACHED
DWELLINGS
AT
7729/7731 ROSEWOOD STREET,
BURNABY, B.C.**

Direct all inquiries to:

CHARLIE MADDISON, MAIBC

Boni•Maddison Architects

(604) 688-5894 ex.112

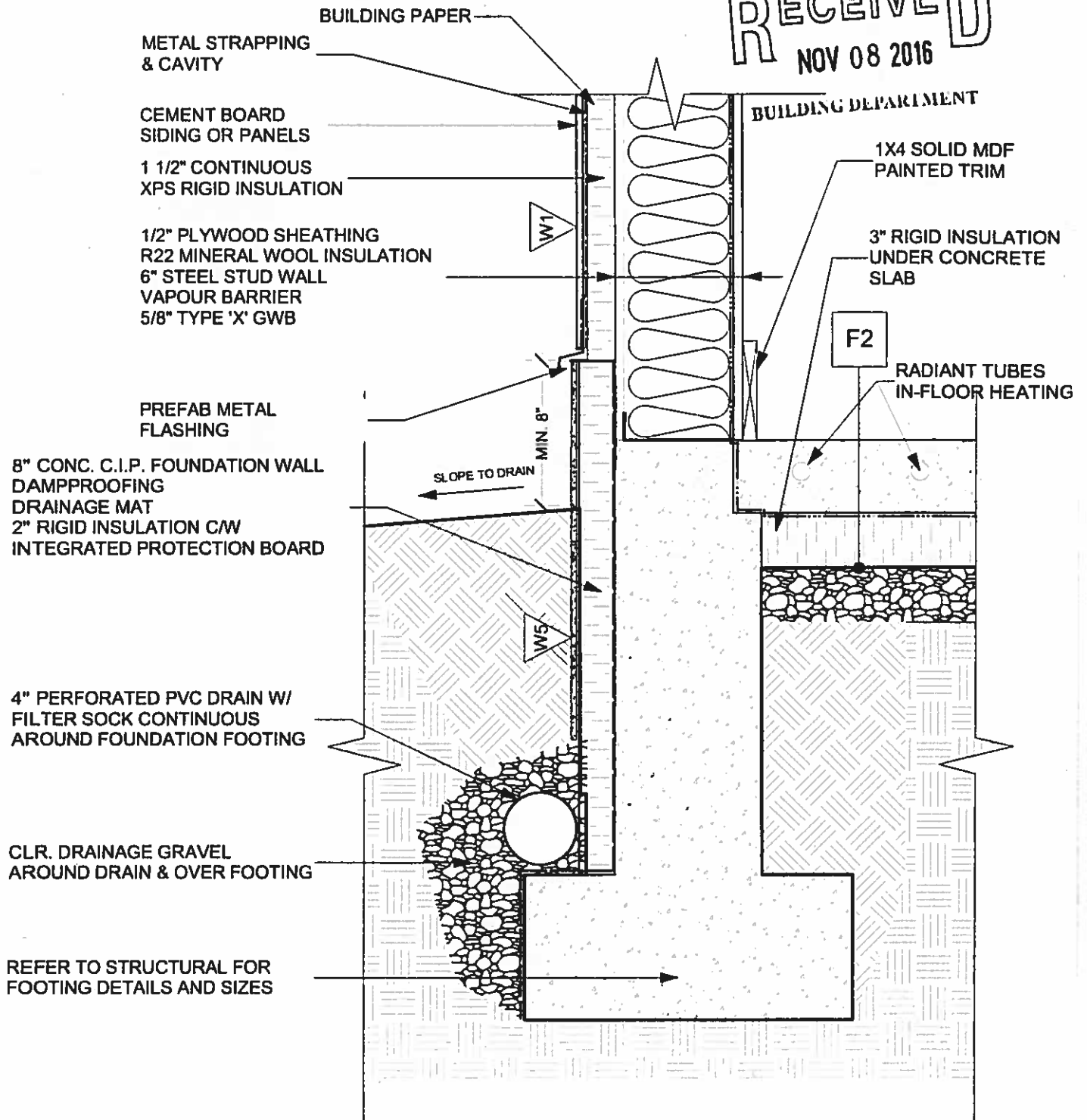


Project Manual #2

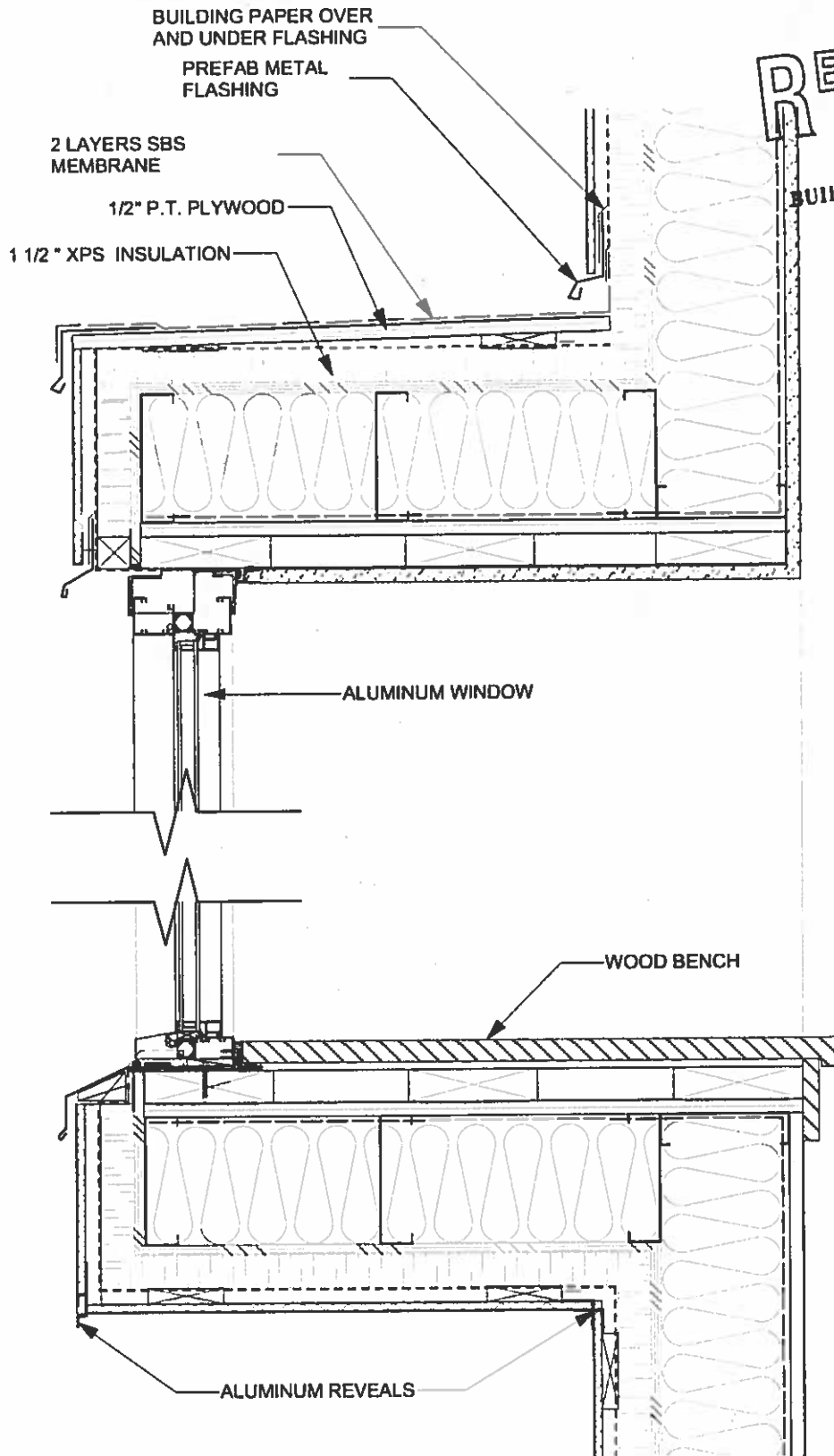
Issued for Building Permit, June 03, 2016

Revised Nov 08, 2016

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NOV 08 2016



BONI-MADDISON Architects 3732 West Broadway, Vancouver, B.C., V6R 2C1 T: 604 688 5894 F: 604 688 5899	TITLE: FOUNDATION WALL (TYP)		JOB N°: 16-07	DATE: MAY 2016
	PROJECT: TWO-FAMILY SEMI-D 7729/7731 ROSEWOOD ST. BURNABY, BC		REVISIONS: 1 11/8/16 BP REVISIONS	DRAWING N°: D1.01
	ISSUES: A 06/03/16 ISSUED FOR BP		SCALE: 1.5"=1'-0"	DRAWN: TG



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BONI-MADDISON Architects 3732 West Broadway, Vancouver, B.C., V6R 2C1 T: 604 688 5894 F: 604 688 5899	TITLE: BAY WINDOW DETAIL		JOB N°: 16-07	DATE: MAY 2016
	PROJECT: TWO-FAMILY SEMI-D 7729/7731 ROSEWOOD ST. BURNABY, BC		REVISIONS: 1 11/8/16 BP REVISIONS	DRAWING N°:
			A 06/03/16 ISSUED FOR BP	SCALE: 1.5"=1'-0"
			ISSUES:	DRAWN: TG D1.02

SPRAYED INSULATION AT ROOF
OVERHANG BETWEEN STEEL
TRUSSES TYP.

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VAPOUR BARRIER
CORROGATED STEEL DECK
12" OWSJ, SEE STRUCTURAL

2 LAYERS SBS MEMBRANE
2 LAYERS OF FIBREBOARD
INSULATION PROTECTION

SLOPED POLYISO
INSULATION TO MIN.
OF 5" THICK

R1

SLOPE TO DRAIN 2% MIN.

8" MIN.

12" STEEL STUD OWSJ ON STEEL FRAME
SEE STRUCTURAL

VAPOUR
BARRIER

3/4" STEEL HAT
TRACK

5/8" TYPE 'X'
GWB

2'-0" TYP.

PERFORATED
FIBRE CEMENT
SOFFIT

INSIDE

OUTSIDE

SECTION THRU ROOF OVERHANG

Scale: 1 1/2" = 1'-0"

1

BONI-MADDISON
Architects

3732 West Broadway,
Vancouver, B.C., V6R 2C1
T: 604 688 5894 F: 604 688 5899

TITLE:

TYP. ROOF
OVERHANG @ OWSJ

PROJECT:

TWO-FAMILY SEMI-D
7729/7731 ROSEWOOD ST.
BURNABY, BC

1 11/8/16 BP REVISIONS

REVISIONS:

A 06/03/16 ISSUED FOR BP
ISSUES:

JOB N°:

16-07

DATE:

MAY 2016

SCALE:

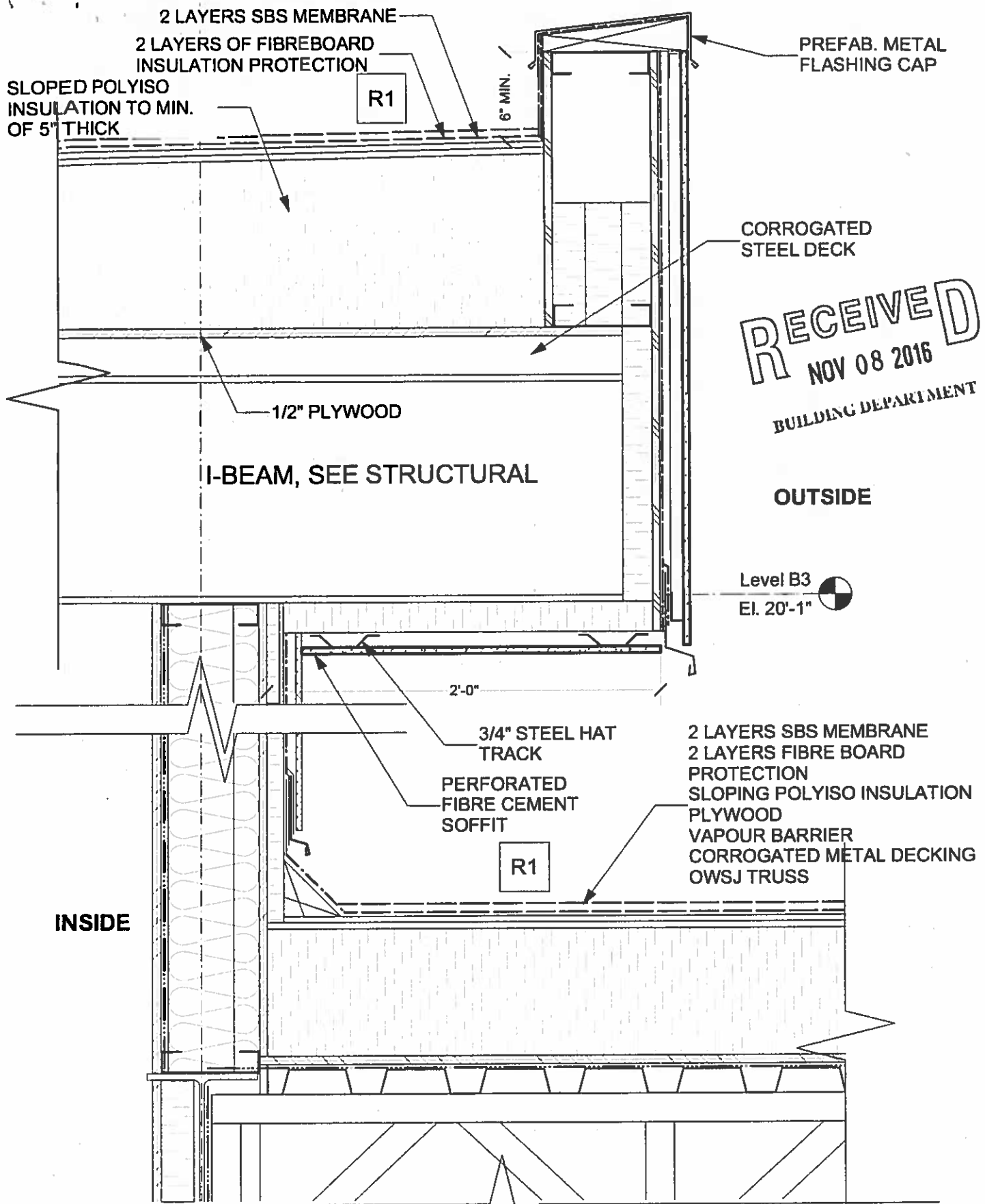
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D1.03

DRAWN:

TG



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OUTSIDE

INSIDE

BONI-MADDISON
Architects

3732 West Broadway,
Vancouver, B.C., V6R 2C1
T: 604 688 5894 F: 604 688 5899

TITLE:

TYP. OWSJ @ I-BEAM

PROJECT:

TWO-FAMILY SEMI-D
7729/7731 ROSEWOOD ST.
BURNABY, BC

1 11/8/16 BP REVISIONS

REVISIONS:

A 06/03/16 ISSUED FOR BP
ISSUES:

JOB N°:

16-07

SCALE:

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DATE:

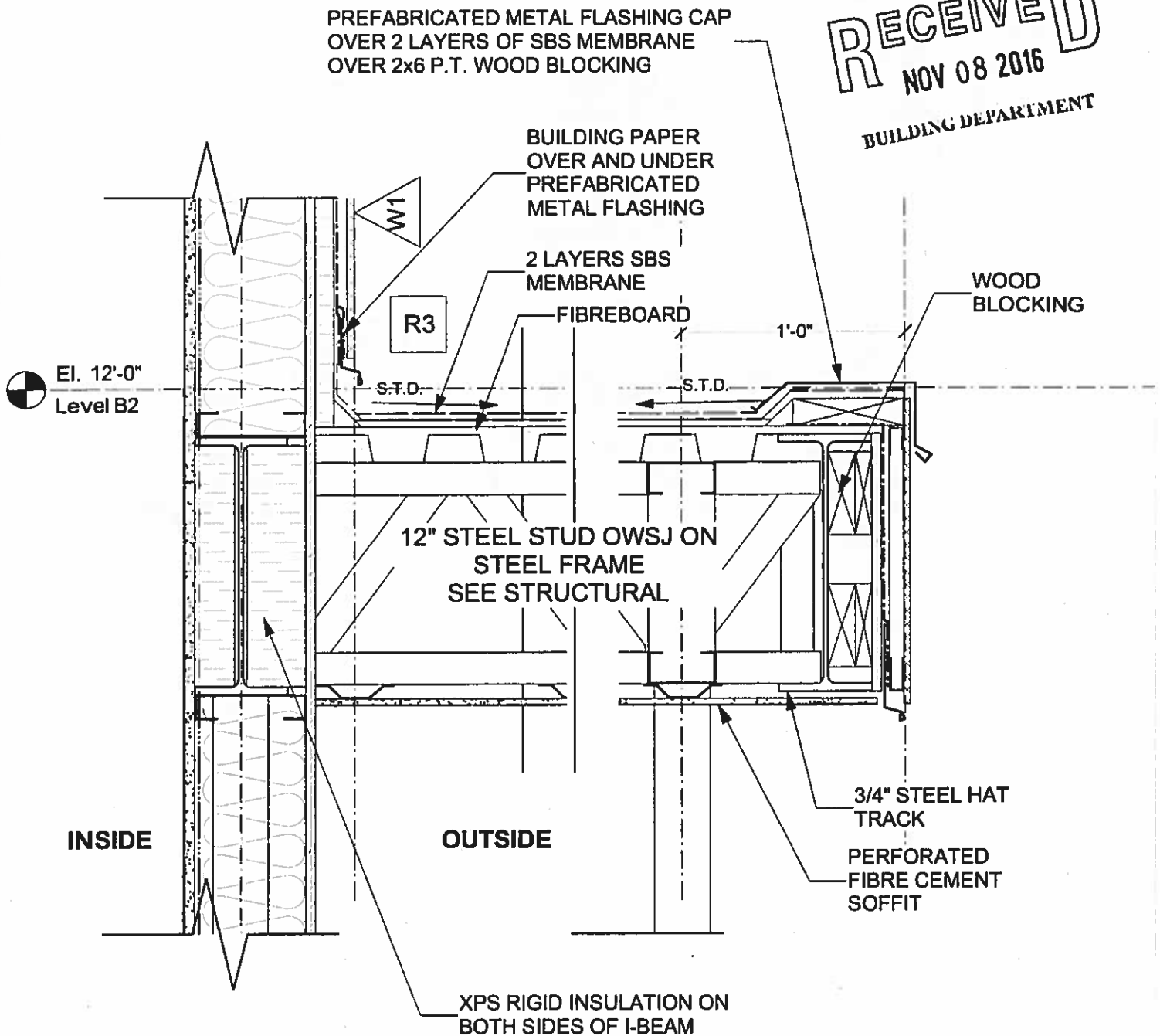
MAY 2016

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D1.04

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BONI-MADDISON
Architects

3732 West Broadway,
Vancouver, B.C., V6R 2C1
T: 604 688 5894 F: 604 688 5899

TITLE:

TYP. ENTRANCE
PORCH

PROJECT:

TWO-FAMILY SEMI-D
7729/7731 ROSEWOOD ST.
BURNABY, BC

1 11/8/16 BP REVISIONS
REVISIONS:

A 06/03/16 ISSUED FOR BP
ISSUES:

JOB N°:
16-07

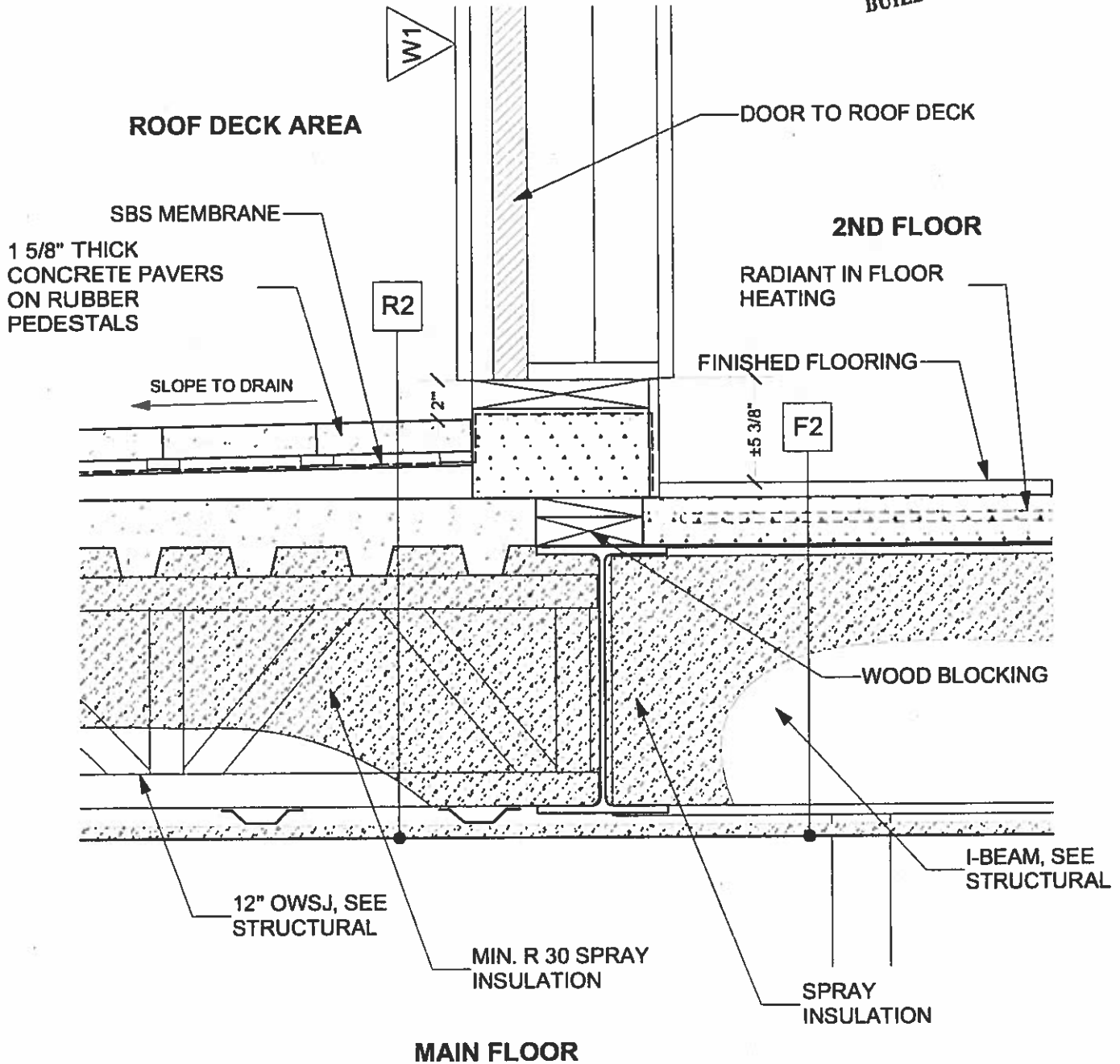
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DRAWN:
TG

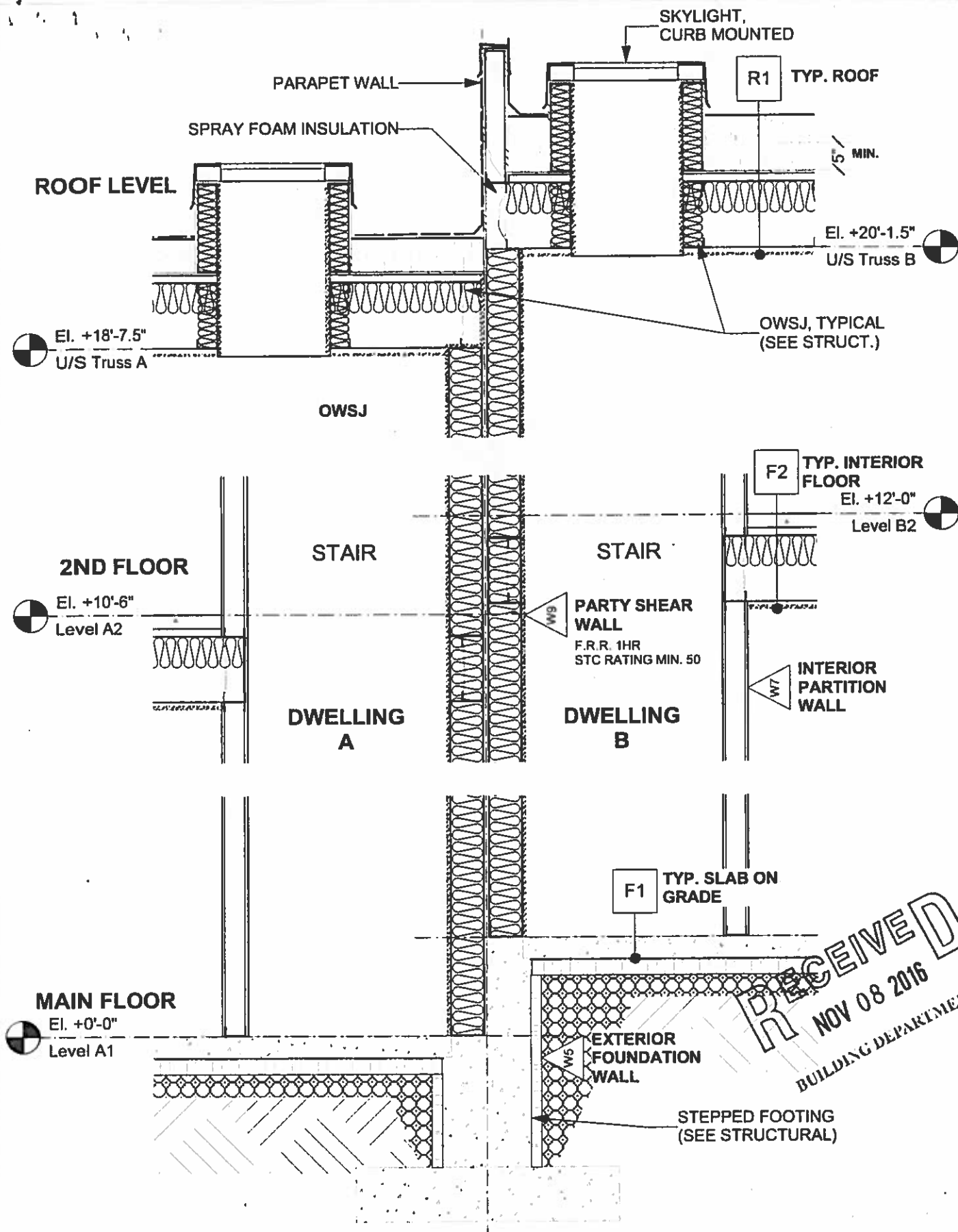
DATE:
MAY 2016

DRAWING N°:
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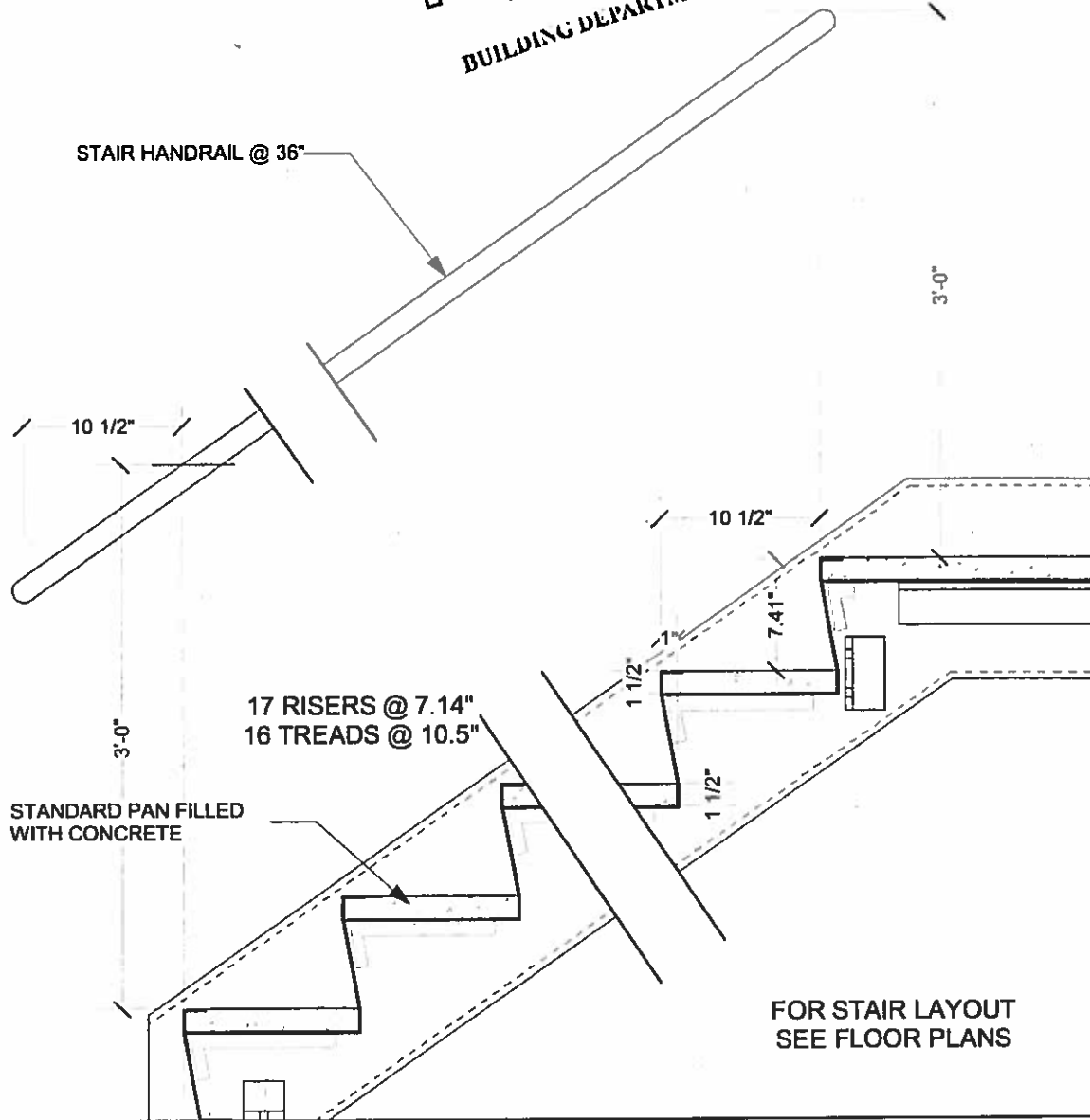
BONI-MADDISON Architects 3732 West Broadway, Vancouver, B.C., V6R 2C1 T: 604 688 5894 F: 604 688 5899	TITLE: SECTION AT DECK DOOR		JOB N°: 16-07	DATE: MAY 2016
	PROJECT: TWO-FAMILY SEMI-D 7729/7731 ROSEWOOD ST. BURNABY, BC		REVISIONS: 1 11/8/16 BP REVISIONS	DRAWING N°: D1.06
	ISSUES: A 06/03/16 ISSUED FOR BP		SCALE: 1.5"=1'-0"	
			DRAWN: TG	



BONI-MADDISON Architects	TITLE: PARTY WALL	JOB N°: 16-07	DATE: MAY 2016
3732 West Broadway, Vancouver, B.C., V6R 2C1 T: 604 688 5894 F: 604 688 5899	PROJECT: TWO-FAMILY SEMI-D 7729/7731 ROSEWOOD ST. BURNABY, BC	SCALE: 1.5"=1'-0"	DRAWING N°:
	A 11/8/16 ADDITIONAL INFO ISSUES:	DRAWN: TG	D1.07

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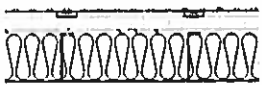
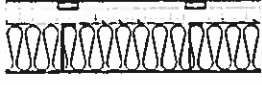
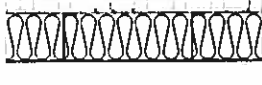
BUILDING DEPARTMENT



1 **TYP. STEEL STAIR DETAIL**
Scale: 1" = 1'-0"

BONI-MADDISON Architects 3732 West Broadway, Vancouver, B.C., V6R 2C1 T: 604 688 5894 F: 604 688 5899	TITLE: STAIR DETAIL DECK DOOR		JOB N°: 16-07	DATE: MAY 2016
	PROJECT: TWO-FAMILY SEMI-D 7729/7731 ROSEWOOD ST. BURNABY, BC		SCALE: 1"=1'-0"	DRAWING N°: D3.01
	ISSUES: A 06/03/16 ISSUED FOR BP		DRAWN: TG	

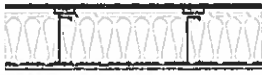
EXTERIOR WALL ASSEMBLIES:

W1a		<u>W1a EXTERIOR STEEL STUD WALL W/ CEMENTIOUS LAP SIDING</u> • FIBRE CEMENT LAP SIDING 5/16" THICK, 8.25" WIDE (EXPOSURE 7") • 1" x 3" P.T. WOOD STRAPS, VERTICAL • BUILDING PAPER • 1 1/2" XPS RIGID INSULATION (R-7.5) • 1/2" PLYWOOD SHEATHING • 6" STRUCTURAL STEEL STUD @ 16" O.C. • R22 BATT INSULATION • 6 MIL. VAPOUR BARRIER • 5/8" GWB TYPE 'X'
W1b		<u>W1b EXTERIOR STEEL STUD WALL W/ CEMENTIOUS LAP SIDING</u> • SAME AS W1a EXCEPT DIFFERENT SIDING SIZE • FIBRE CEMENT LAP SIDING 5/16" THICK, 5.25" WIDE (EXPOSURE 4")
W1c		<u>W1c EXTERIOR STEEL STUD WALL W/ CEMENTIOUS SIDING OF NONCOMBUSTIBLE CONSTRUCTION 1HR FRR</u> • FIBRE CEMENT LAP SIDING 5/16" THICK, 5.25" WIDE (EXPOSURE 4") - OR FIBRE CEMENT BOARDS C/W REVEALS • 0.75" HAT TRACK, VERTICAL @ 16" O.C. SCREWED IN 6" STEEL JOISTS • BUILDING PAPER • 1 1/2" MINERAL WOOL RIGID INSULATION • FIBERGASS MAT GYPSUM PANEL • 6" STRUCTURAL STEEL STUD @ 16" O.C. • R22 BATT INSULATION • 6 MIL. VAPOUR BARRIER • 5/8" GWB TYPE 'X'
W2		<u>W2 EXTERIOR STEEL STUD WALL W/ CEMENTIOUS PANELS</u> • FIBRE CEMENT PANELS • 1" x 3" P.T. WOOD STRAPS, VERTICAL • BUILDING PAPER • 1 1/2" XPS RIGID INSULATION (R-7.5) • 1/2" PLYWOOD SHEATHING • 6" STRUCTURAL STEEL STUD @ 16" O.C. • R22 BATT INSULATION • 6 MIL. VAPOUR BARRIER • 5/8" GWB TYPE 'X'
W3	DELETED	DELETED

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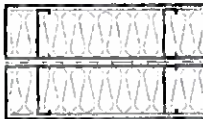
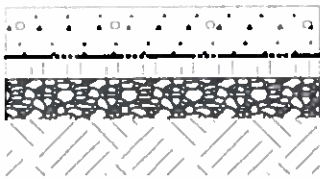
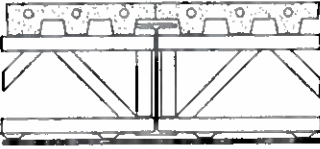
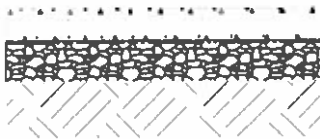
BONI-MADDISON Architects 3732 West Broadway, Vancouver, B.C., V6R 2C1 T: 604 688 5894 F: 604 688 5899	TITLE:	WALL TYPES 1	1 11/8/16 BP REVISIONS	JOB N°:	16-07	DATE:	MAY 2016
	PROJECT:	TWO-FAMILY SEMI-D 7729/7731 ROSEWOOD ST. BURNABY, BC	REVISIONS: A 06/03/16 ISSUED FOR BP ISSUES:	SCALE:	1/2"=1'-0"	DRAWING N°:	D7.01
				DRAWN:	NB		

EXTERIOR WALL ASSEMBLIES:

W4a		<u>W4a WOOD LOOK ALUMINUM PANEL SIDING W/ REVEAL SYSTEM</u> • ALUMINUM PANEL RAINSCREEN SYSTEM • BUILDING PAPER • 1 1/2" XPS RIGID INSULATION (R-7.5) • 1/2" PLYWOOD SHEATHING • 6" STEEL STUD WALL • R22 BATT INSULATION • 6 MIL. VAPOUR BARRIER • 5/8" GWB TYPE 'X'
W4b		<u>W4b FIBRE CEMENT PANEL SIDING W/ REVEAL SYSTEM</u> • FIBRE CEMENT PANEL • 1"x4" P.T. WOOD STRAPPING • BUILDING PAPER • 1 1/2" XPS RIGID INSULATION (R-7.5) • 1/2" PLYWOOD SHEATHING • 6" STEEL STUD WALL W/ R22 BATT INSULATION • R22 BATT INSULATION • 6 MIL. VAPOUR BARRIER • 5/8" GWB TYPE 'X'
W5		<u>W5 EXTERIOR CONC. FOUNDATION WALL</u> • 2" XPS INSULATION (R-10) - W/ INTEGRAL PROTECTION BOARD • DRAINAGE MAT • DAMPPROOFING • 8" C.I.P.
W6		<u>W6 GARAGE EXTERIOR STEEL STUD WALL W/ CEMENTIOUS LAP SIDING</u> • FIBRE CEMENT LAP SIDING 5/16" THICK, 8.25" WIDE (EXPOSURE 7") • 1" x 3" P.T. WOOD STRAPS, VERTICAL • BUILDING PAPER • 1/2" PLYWOOD SHEATHING • 6" STRUCTURAL STEEL STUD @ 16" O.C. • R22 BATT INSULATION • 6 MIL. VAPOUR BARRIER • 1/2" GWB
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BONI-MADDISON Architects 3732 West Broadway, Vancouver, B.C., V6R 2C1 T: 604 688 5894 F: 604 688 5899	TITLE: WALL TYPES 2		JOB N°: 16-07 DATE: MAY 2016
	PROJECT: TWO-FAMILY SEMI-D 7729/7731 ROSEWOOD ST. BURNABY, BC	1 11/8/16 BP REVISIONS REVISIONS: A 06/03/16 ISSUED FOR BP ISSUES:	SCALE: 1/2"=1'-0" DRAWN: NB DRAWING N°: D7.02

INTERIOR WALL AND FLOOR ASSEMBLIES:

W7		<u>W7 INTERIOR PARTITION WALL</u> • 1/2" GWB • 3 5/8" STEEL STUD @ 16" O.C. • 1/2" GWB • ACOUSTIC INSULATION OPTIONAL
W8		<u>W8 INTERIOR PARTITION WALL</u> • 1/2" GWB • 6" STEEL STUD @ 16" O.C. • 1/2" GWB • ACOUSTIC INSULATION OPTIONAL
W9		<u>W9 SHEAR PARTY WALL [F.R.R 1HR, STC MIN. 50]</u> • 5/8" GWB TYPE 'X' • METAL STRAP (SEE STRUCTURAL) • 6" STEEL STUD @ 16" O.C. • ACOUSTIC INSULATION • 1" AIR SPACE • ACOUSTIC INSULATION • 6" STEEL STUD @ 16" O.C. • METAL STRAP (SEE STRUCTURAL) • 5/8" GWB TYPE 'X'
F1		<u>F1 TYP. SLAB ON GRADE (INSULATED)</u> • SLAB ON GRADE C/W IN-FLOOR RADIANT HEATING, SEE STRUCTURAL • 6 MIL. VAPOUR BARRIER • 3" XPS INSULATION (R-15) • COMPACTED SAND
F2	 .33 .125 1.0 .06 .05 1.56	<u>F2 TYP. INTERIOR FLOOR ASSEMBLY</u> • FINISHED FLOOR (SEE FINISH SCHEDULE) • 4" CONC. TOPPING C/W IN-FLOOR RADIANT HEATING • 1 1/2" CORROGATED STEEL DECK • 12" STEEL STUD OWSJ ON STEEL FRAME • 3/4" STEEL HAT TRACK • 5/8" GWB TYPE 'X'
F3		<u>F3 GARAGE SLAB ON GRADE</u> • SLAB ON GRADE • SEE STRUCTURAL • 6 MIL. VAPOUR BARRIER • COMPACTED SAND

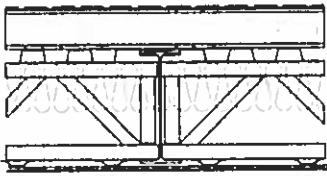
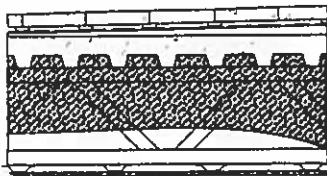
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BONI-MADDISON Architects 3732 West Broadway, Vancouver, B.C., V6R 2C1 T: 604 688 5894 F: 604 688 5899	TITLE: WALL TYPES 3	1 11/8/16 BP REVISIONS REVISIONS:	JOB N°: 16-07	DATE: MAY 2016
	PROJECT: TWO-FAMILY SEMI-D 7729/7731 ROSEWOOD ST. BURNABY, BC	A 06/03/16 ISSUED FOR BP ISSUES:	SCALE: 1/2"=1'-0"	DRAWING N°: D7.03
			DRAWN: TG	

ROOF ASSEMBLIES:

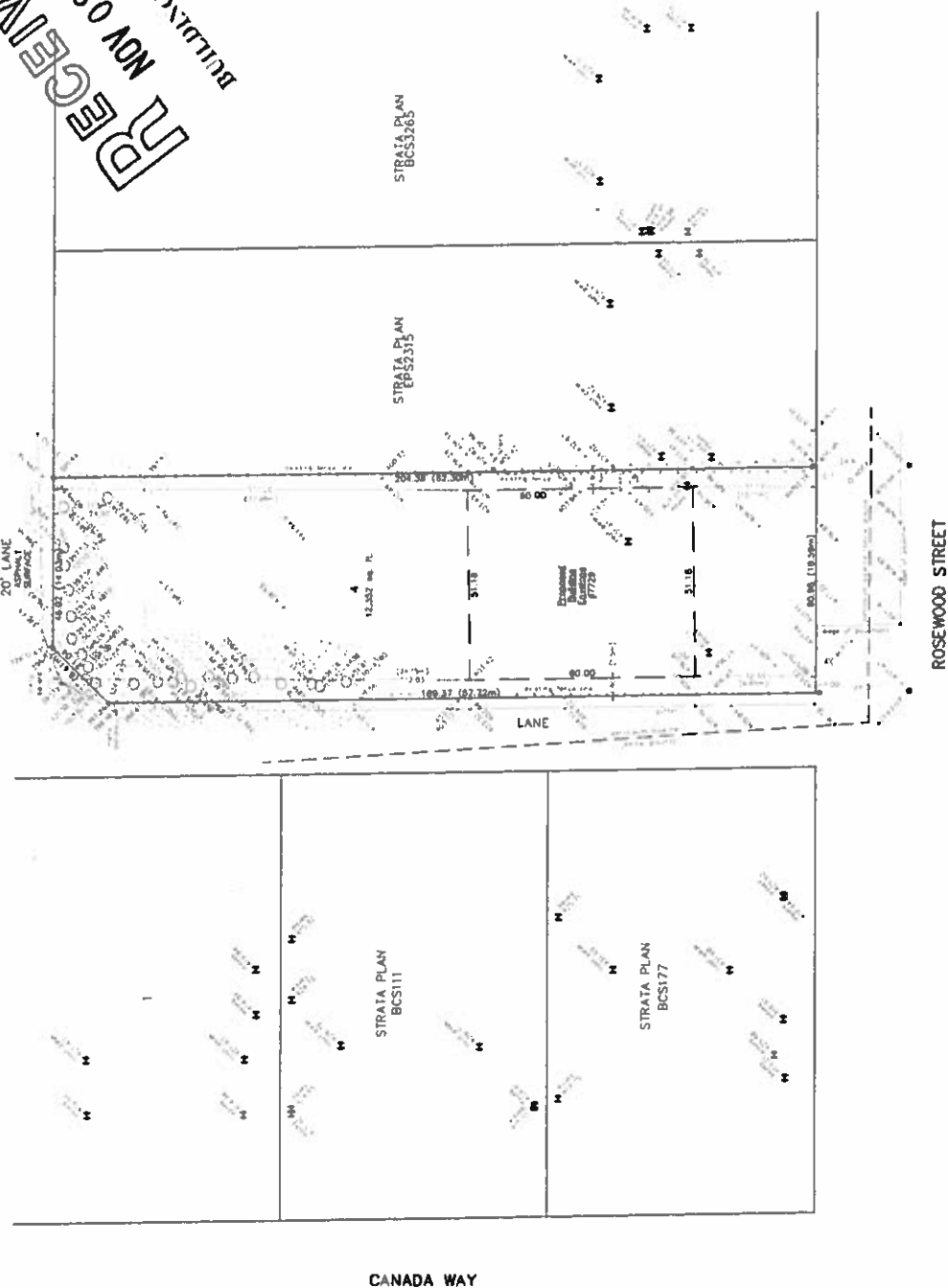
R1		<u>R1 ROOF ASSEMBLY, TYP.</u> • 2 LAYER SBS MEMBRANE • PROTECTION BOARD • MIN. 5" RIGID POLYISO INSULATION, SLOPING (R-30) • 1/2" PLYWOOD • 1 1/2" CORROGATED STEEL DECK • R22 BATT INSULATION • 12" OWSJ ON STEEL FRAME • 3/4" STEEL HAT TRACK • 1/2" TYPE X GWB
R2		<u>R2 ROOF PATIO ASSEMBLY, TYP.</u> • 1 5/8" CONCRETE PAVERS ON RUBBER PEDESTALS • SBS MEMBRANE • 4" CONCRETE TOPPING • 1 1/2" CORROGATED STEEL DECK • MIN. R-30 SPRAY INSULATION • 12" STEEL STUD OWSJ ON STEEL FRAME • 3/4" STEEL HAT TRACK • 5/8" TYPE 'X' GWB
R3		<u>R3 ROOF: PORCH (NO INSULATED REQUIRED)</u>
R4		<u>R4 VERANDA: ROOF PROJECTION (NO INSULATED REQUIRED)</u>
R5		<u>R5 ROOF: GARAGE (SLOPED)</u> RECEIVED NOV 08 2016 BUILDING DEPARTMENT

BONI-MADDISON Architects 3732 West Broadway, Vancouver, B.C., V6R 2C1 T: 604 688 5894 F: 604 688 5899	TITLE: ROOF TYPES 1		JOB N°: 16-07 DATE: MAY 2016	
	PROJECT: TWO-FAMILY SEMI-D 7729/7731 ROSEWOOD ST. BURNABY, BC		REVISIONS: A 06/03/16 ISSUED FOR BP ISSUES:	
			SCALE: 1/2"=1'-0" DRAWN: TG	DRAWING N°: D7.04

SCALF - 16

Applicable Adjusted Means	Digits of Fixed Part
1.10% American-born Foreign	27.99
1.00% American-born Foreign	16.00
1.00%	16.00
Average	27.99

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