



2017 Board of Variance Notice of Appeal Form

OFFICE OF THE CITY CLERK

Burnaby City Hall, 4949 Canada Way, Burnaby BC, V5G 1M2, Phone: 604-294-7290 Email: clerks@burnaby.ca

Applicant

Name of Applicant Tohmm Cobban
Mailing Address #201-309 W. Cordova Street
City/Town Vancouver Postal Code V6B 1E5
Phone Number(s) ^{ofc} (H) 604-685-6210 (C) 604-817-5875
Email Tohmm@telus.net

Property

Name of Owner _____
Civic Address of Property 4256 Venables Street
Burnaby B.C.

I hereby declare that the information submitted in support of this application is, to the best of my knowledge, true and correct in all aspects, and further that my plans have no conflict with municipal bylaws other than those applied for with in this application.

Date FEBRUARY 5th, 2018

Applicant Signature [Signature]

Office Use Only

Appeal Date 2018 March 01 Appeal Number BV# 6321

Required Documents:

- ☐ Fee Application Receipt
- ☐ Building Department Referral Letter
- ☐ Hardship Letter from Applicant
- ☐ Site Plan of Subject Property

Any documents submitted in support of this Board of
Variance Appeal will be made available to the Public

Tohmm Cobban ARCHITECT

February 04, 2018

**City of Burnaby
Board of Variance
4949 Canada Way
Burnaby BC V5G-1M2**

Attention: Board of Variance Members

**Re: Rationale for Proposed Enclosed Garage Addition to
4256 Venables Street, Burnaby BC**

To The Board of Variance Members:

The applicant requests a relaxation in the City of Burnaby Zoning Bylaw to permit an existing carport and roof deck in the R5 zone to be enlarged and converted into an enclosed garage.

The existing two-storey dwelling is currently located such that the building projects 3" into the west side setback. This is an existing non-conforming condition which can remain as is provided no new work is undertaken on that portion of the building.

The existing carport, however, needs to be enlarged in length by 2'2" in order to conform with the current City of Burnaby zoning and parking bylaws. The roof deck above will also therefore be enlarged.

The proposed floor area in question for the garage would be 0.54 sf; for the roof deck it would be 1.94 sf. The latter in any event would be excluded from floor space calculations.

In the process, the sliver of area for the proposed garage and roof deck which projects into the west side setback has been considered non-conforming by the City of Burnaby Planning Department, and therefore not approvable.

The applicant is requesting a variance in the Burnaby Zoning Bylaw to allow the minimum side yard setback to be reduced from the required 4.0 feet (1.22m) to 3.75 feet (1.14m) on that west side of the property to allow construction of the new enclosed garage and roof deck to proceed.

The existing side setback 3" encroachment, a condition inherited by the Owners and not of their making, would otherwise prove to be a very restrictive factor in what should be a fairly straight-forward garage project.

4256 Venables Street (cont'd.)

2.

The extension of the garage and roof deck above will not affect either of the adjacent neighbor's views in any significant way.

Thank-you for your time and interest in considering this matter.

Sincerely,

A handwritten signature in black ink, appearing to read 'Tohmm Cobban', written over a horizontal line.

Tohmm Cobban MAIBC

For

Susan and Albert Tremblett, Owners

#201-309 West Cordova Street, Vancouver BC V6B-1E5 (604) 685-6210
Tohmm@telus.net

BOARD OF VARIANCE REFERRAL LETTER

DATE: January 31, 2018		<i>This is <u>not</u> an application. Please submit this letter to the Clerk's office (ground floor) when you make your Board of Variance application.</i>
DEADLINE: February 6, 2018 for the March 1, 2018 hearing.		
APPLICANT NAME: Tohmm Cobban		
APPLICANT ADDRESS: #201 – 309 West Cordova Street		
TELEPHONE: 604-685-6210		
PROJECT		
DESCRIPTION: Convert attached carport to garage with sundeck above to an existing single family dwelling		
ADDRESS: 4256 Venables Street		
LEGAL DESCRIPTION:	LOT: 46	DL: 121
		PLAN: 41318

Building Permit application BLD117-10132 will be denied by the Building Department because the design is not in compliance with Burnaby Zoning Bylaw No. 4742:

Zone R5 / Sections 105.10(3)

COMMENTS:

The applicant proposes to convert an existing attached carport into a garage with a sundeck above it to an existing single family dwelling. In order to allow the Building Permit application to proceed, the applicant requests that the following variance be granted:

- 1) To vary Section 105.10(3) – “Side Yard” of the Zoning Bylaw requirement for the minimum side yard width from of 4.0 feet to 3.79 feet.

Notes:

1. The applicant recognizes that should the project contain additional characteristics in contravention of the Zoning By-law, a future appeal(s) may be required.
2. The applicability of this variance, if granted, is limited to the scope of the proposal shown on the attached plans.
3. All new principal building projections into the resulting required yards will conform to the requirements of Section 6.12.
4. Fences and retaining walls will conform to the requirements of Section 6.14.

AB



Peter Kushnir
Deputy Chief Building Inspector

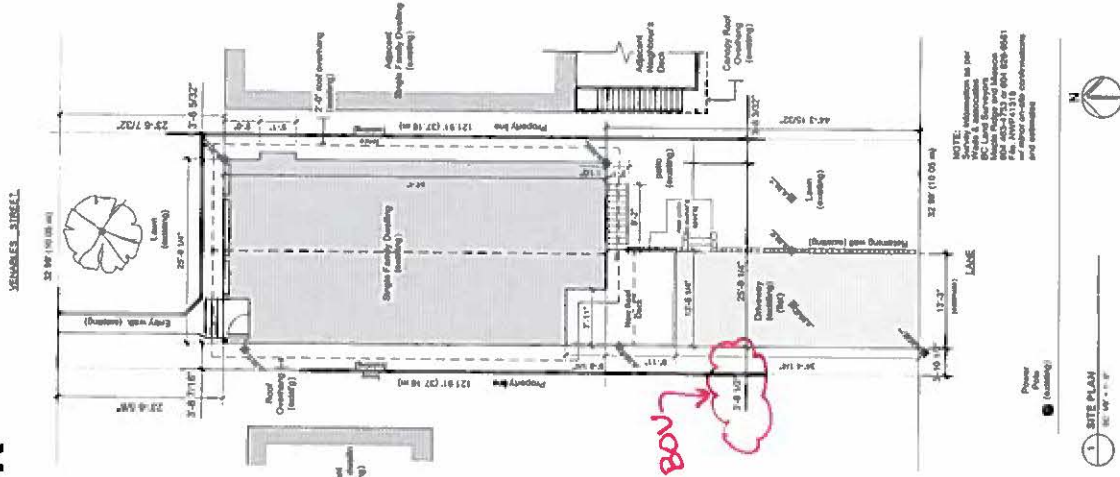
NEW GARAGE ADDITION / ROOF DECK

4256 Venables Street, Burnaby BC

TOHMM COBBAN
Architect

281-388 West Columbia Street
Vancouver B.C. V6B 4E3 • (604) 681-4216

NEW GARAGE
ADDITION
and
ROOF DECK
FOR
4256 VENABLES STREET
BURNABY BC



PROJECT DATA

1. ZONING	RS	5. Lot Coverage	100% (75%)
2. SITE AREA	4000.20 sq ft (373.48 sq m)	6. Deck	180.00 sq ft
3. OPA	2112.10 sq ft (195.55 sq m)	7. Garage	452.10 sq ft
4. AOA	2200.40 sq ft (204.55 sq m)	8. Covered Porch	25.70 sq ft
5. 1st Floor (Maximum)	1207.12 sq ft (111.82 sq m)	9. Deck	180.00 sq ft
6. 2nd Floor	1516.40 sq ft (140.14 sq m)	10. Deck	22.80 sq ft
7. Total	2723.52 sq ft (251.96 sq m)	11. Deck	202.80 sq ft

12. Deck	180.00 sq ft
13. Garage	452.10 sq ft
14. Covered Porch	25.70 sq ft
15. Deck	22.80 sq ft
16. Deck	202.80 sq ft
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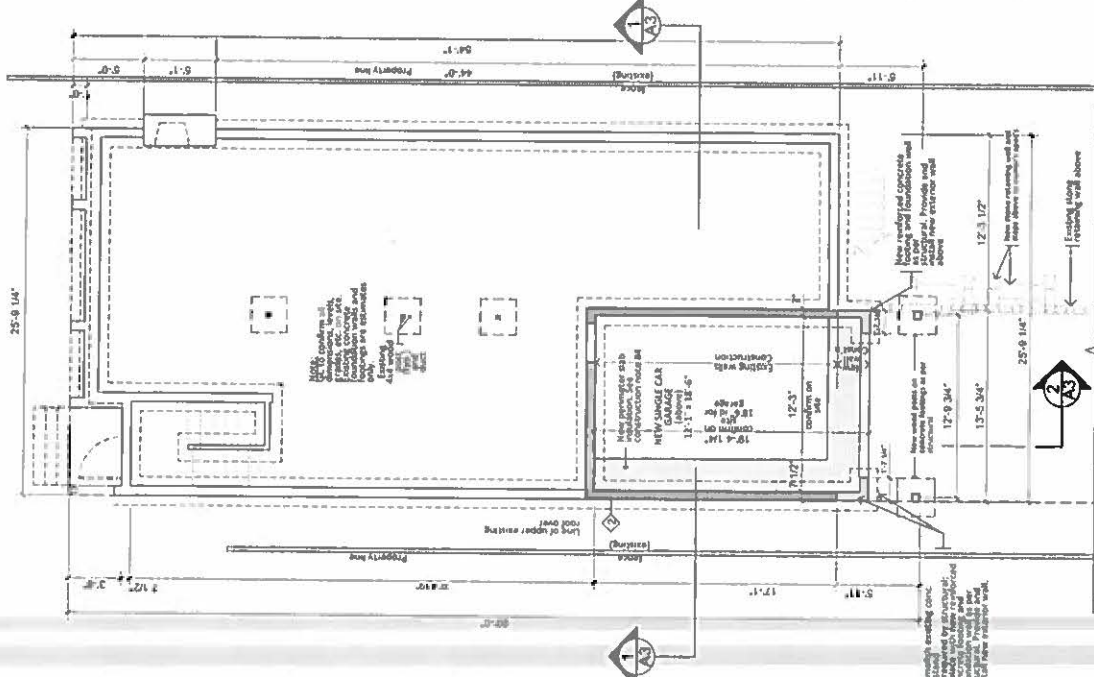
GENERAL PROJECT NOTES

1. New building.
2. All work shown in these drawings shall be in accordance with the City of Burnaby's Building Bylaw (2012), and all other applicable bylaws and regulations of the City of Burnaby.
3. The contractor shall ensure that the building is constructed in accordance with the City of Burnaby's Building Bylaw (2012), and all other applicable bylaws and regulations of the City of Burnaby.
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10. The contractor shall ensure that the building is constructed in accordance with the City of Burnaby's Building Bylaw (2012), and all other applicable bylaws and regulations of the City of Burnaby.

LIST OF DRAWINGS

ARCHITECTURAL

- A.1 Site Plan, Foundation Plan, Zoning Data, General Notes
- A.2 Proposed First Floor Plan, Second Floor Plan, and Main Floor Levels
- A.3 Building Section, Parallel Longitudinal Section
- A.4 Floor Area Overlay

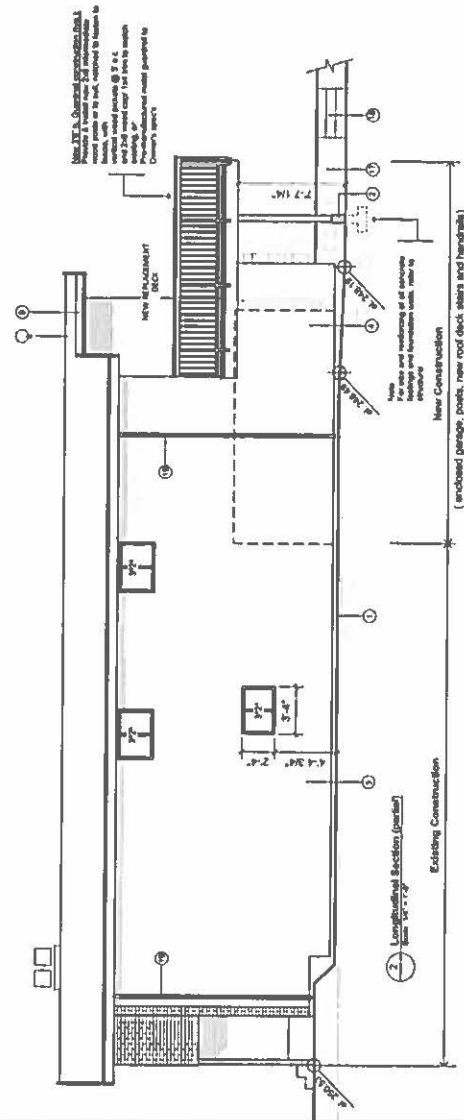


FOUNDATION PLAN - New Enclosed Garage
SC 1/4" = 1' 0"

Project No. 2017-02
Date Jan 2017
Scale as noted

A1

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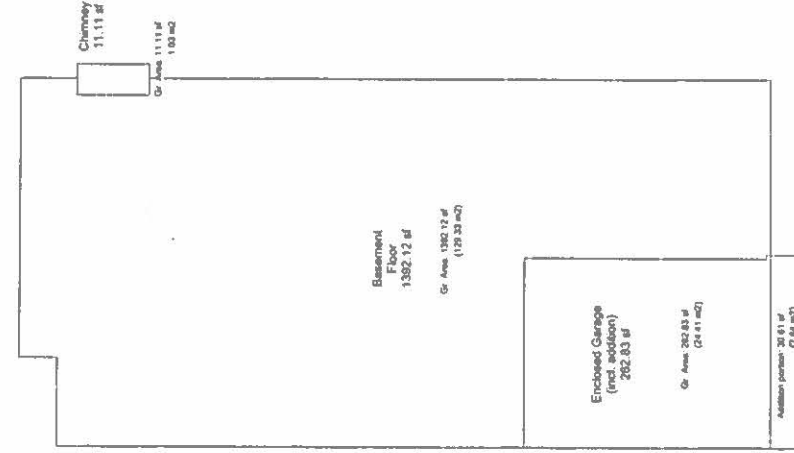
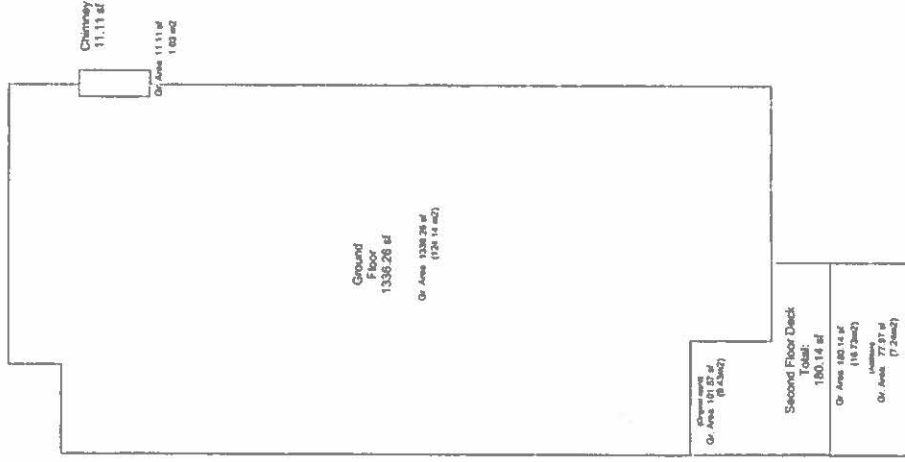


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TOHMM COBBAN Architect is not responsible for the construction of the building or for the safety of the building or for the safety of the people using the building. The user of this plan assumes all liability for the construction and use of the building.

TOHMM COBBAN
Architect
201-300 West Columbia Street
Vancouver B.C. V6B 1E5 • 604-683-4219

**NEW GARAGE
ADDITION
and
ROOF DECK
FOR
4236 VENABLES STREET
BURNABY BC**



Basement Floor finished garage	1392.12 sf
Basement Floor finished garage	432.83 sf
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