



2019 Board of Variance Notice of Appeal Form

OFFICE OF THE CITY CLERK

Burnaby City Hall, 4949 Canada Way, Burnaby BC, V5G 1M2, Phone: 604-294-7290 Email: clerks@burnaby.ca

Applicant

Name of Applicant Dave Hayre
Mailing Address 4014 Napier St.
City/Town Burnaby Postal Code V5C3G2
Phone Number(s) (H) 778-855-7662 (C) _____
Email maxx1hayre@yahoo.com

Property

Name of Owner Gurdev (Dave) Hayre
Civic Address of Property 4014 Napier St.
Burnaby B.C V5C3G2

I hereby declare that the information submitted in support of this application is, to the best of my knowledge, true and correct in all aspects, and further that my plans have no conflict with municipal bylaws other than those applied for with in this application.

12th feb 2019
Date

[Signature]
Applicant Signature

Office Use Only

Appeal Date March 1st 2019 Appeal Number BV# 6355

Required Documents:

- ☒ Fee Application Receipt
- ☒ Building Department Referral Letter
- ☒ Hardship Letter from Applicant
- ☐ Site Plan of Subject Property

Any documents submitted in support of this Board of
Variance Appeal will be made available to the Public

Letter of Request for Variance

February 2019

Attn: Board of Variance
- City of Burnaby

Re: 4014 Napier Street - Height Variance

Dear Honourable Board Members,

This is a letter of request for a variance for a one foot height allowance at 4014 Napier Street. The one foot height allowance is for the current connections to be able to reach the storm sewer connection while building our new home.

We feel that the Engineering Department has given us an unrealistic depth for the storm water drainage connection to build a new house. We are on a difficult sloped lot and have met all the other zoning requirements.

The Engineering Department has also given us a financial hardship due to unexpected fees to build the new storm sewer for our house. This is an unforeseen financial hardship that is not fair to our growing family.

Due to the reasons stated, we respectfully request a variance to allow encroachment of the proposed garage into the required vision clearance.

Thank you for your time and genuine consideration on our proposal.

Regards,



Dave Hayre

BOARD OF VARIANCE REFERRAL LETTER

DATE: February 20, 2019		<i>This is not an application. Please submit this letter to the Clerk's office (ground floor) when you make your Board of Variance application.</i>
DEADLINE: February 12, 2019 for the March 07, 2019 hearing.		
APPLICANT NAME: Trevor Toy		
APPLICANT ADDRESS: 2642 E. Hastings Street, Vancouver, V5K 1Z6		
TELEPHONE: 604-251-4610		
PROJECT		
DESCRIPTION: New single family dwelling with secondary suite and detached garage		
ADDRESS: 4014 Napier Street		
LEGAL DESCRIPTION:	LOT: 2	DL: 117
		PLAN: NWP1222

Building Permit application BLD18-00946 will be denied by the Building Department because the design is not in compliance with Burnaby Zoning Bylaw No. 4742:

Zone R5 / Sections 105.6(1)(a)

COMMENTS:

The applicant proposes to build a new single family dwelling with secondary suite and detached garage. In order to allow the Building Permit application to proceed, the applicant requests that the following variance be granted:

- 1) To vary Section 105.6(1)(a) – “Height of Principal Building” of the Zoning Bylaw requirement for the maximum building height from 29.50 feet to 30.66 feet as measured from the rear average grade for the proposed single family dwelling with a sloping roof.
- 2) To vary Section 105.6(1)(a) – “Height of Principal Building” of the Zoning Bylaw requirement for the maximum building height from 29.50 feet to 30.31 feet as measured from the front average grade for the proposed single family dwelling with a sloping roof.

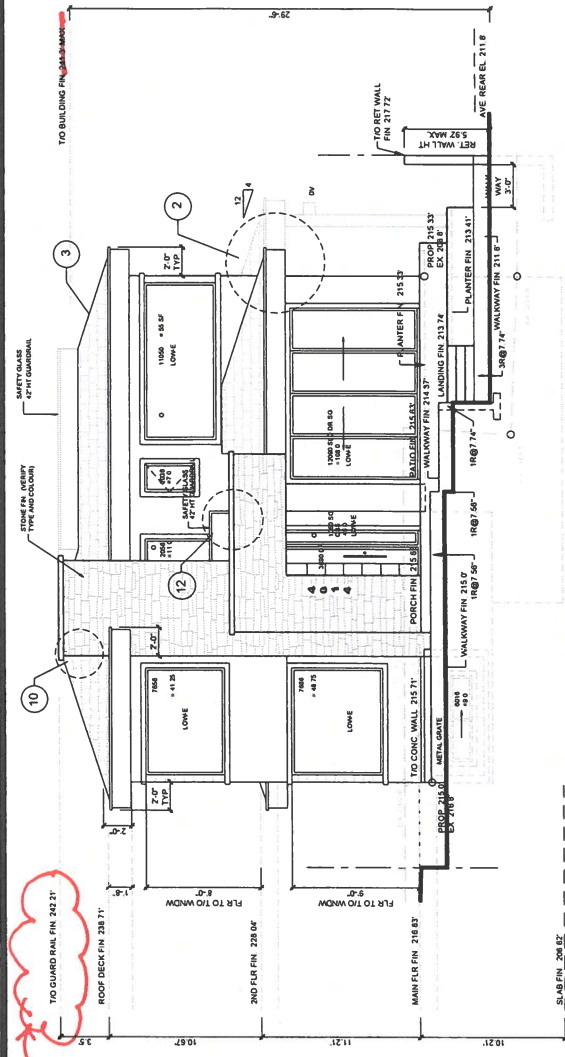
Notes:

- 1. The applicant recognizes that should the project contain additional characteristics in contravention of the Zoning By-law, a future appeal(s) may be required.*
- 2. The applicability of this variance, if granted, are limited to the scope of the proposal shown on the attached plans.*
- 3. All new principal building projections into the resulting required yards will conform to the requirements of Section 6.12.*
- 4. Fences and retaining walls will conform to the requirements of Section 6.14.*

CN



Peter Kushnir
Deputy Chief Building Inspector



FRONT ELEVATION
SCALE: 1/4" = 1'-0" NORTH
PROP. OPENING AREA = 282.5 SF

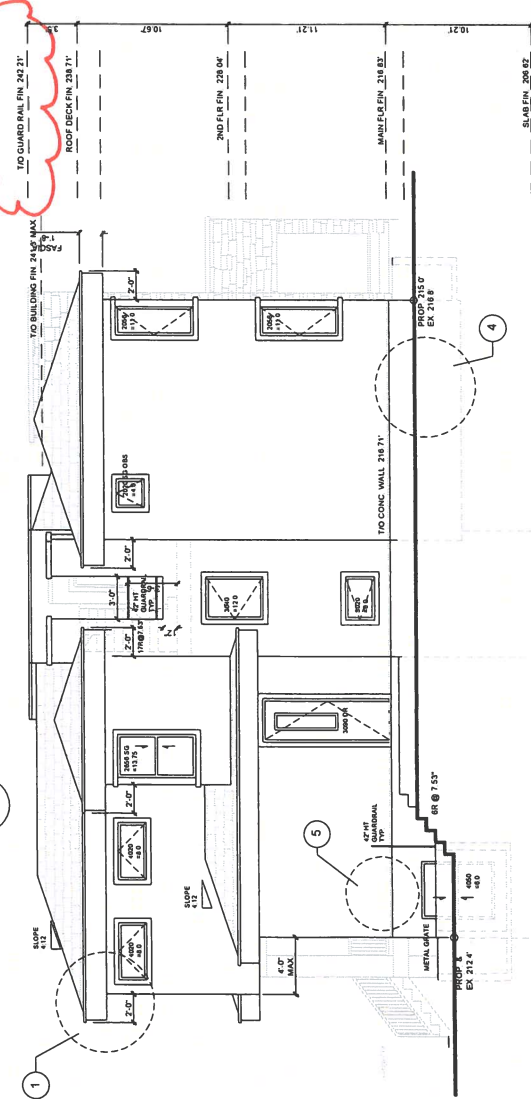
SCALE: 1/4" =
PROP. OPENING

HIDDEN GUTTER DETAIL

SCALE : 1/2" = 1'-0"

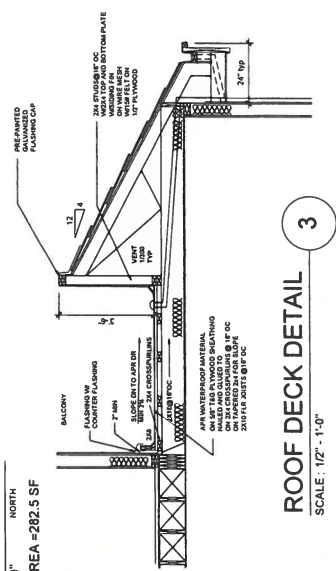
2

AS PER BCSC2012



LEFT ELEVATION
SCALE: 1/4" = 1'-0" EAST

WALL AREA = 934.25
LIMITING DISTANCE = 6.0'
MAX. OPENING AREA = 934.25 X 8% = 74.74 SF
PROP. OPENING AREA = 73.75 SF



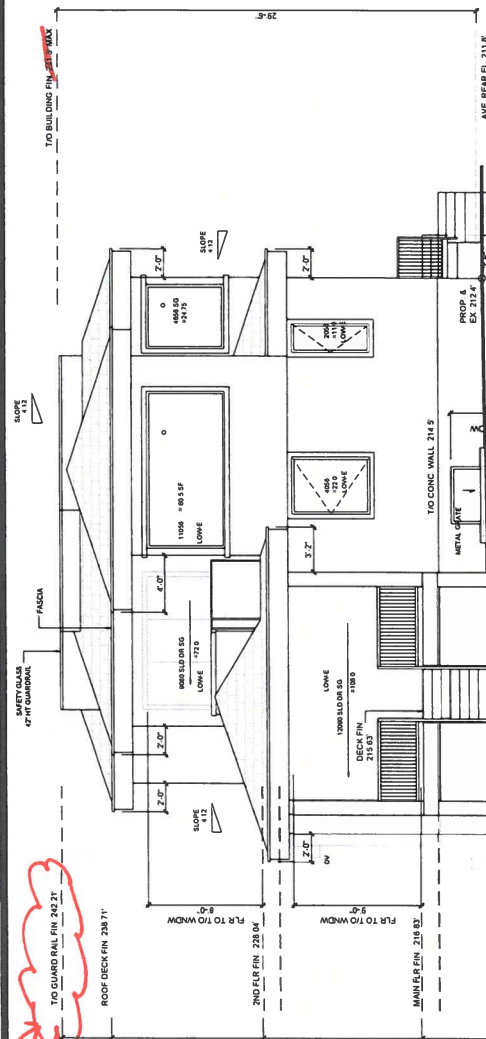
3
ROOF DECK DETAIL
SCALE : 1/2" = 1'-0"

WINDOWS AND GLAZE CALCULATIONS:	
TOTAL FLOOR AREA	3,044.6 SF
UNGLAZED OPENINGS	544.9 SF
APPROX. DEBRIS	732.5
APPROX. 3" THICK DOUBLE GLAZE	USING 59
HEAT LOSS 22 BTU/HR. / SQ. FT. @ 1" IN.	544.9 x 59 = 32,148.1 BTU/HR.
APPROX. HEAT LOSS:	
ACTUAL TOTAL HEAT LOSS	
HEAT LOSS 22 BTU/HR. / SQ. FT. @ 1" IN.	18,225.1 x 4.4 = 80,990.4 BTU/HR.
HEAT LOSS 22 BTU/HR. / SQ. FT. @ 1" IN.	59,723.1 x 4.4 = 262,980.2 BTU/HR.

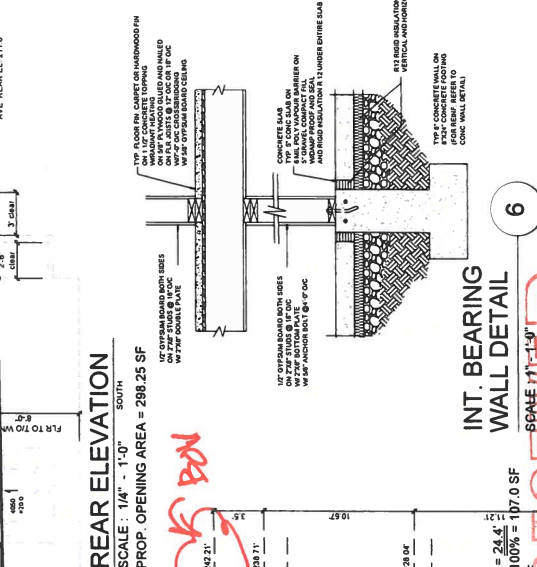
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FEB 05 2019

BUILDING DEPARTMENT



REAR ELEVATION



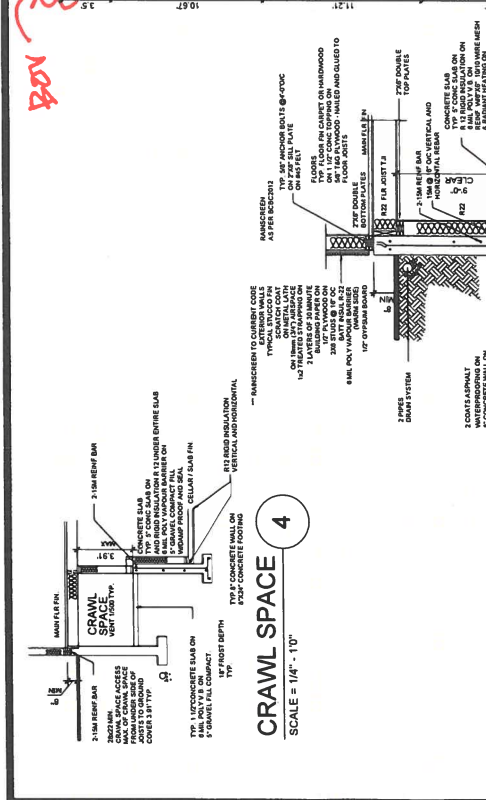
INT. BEARING
WALL DETAIL



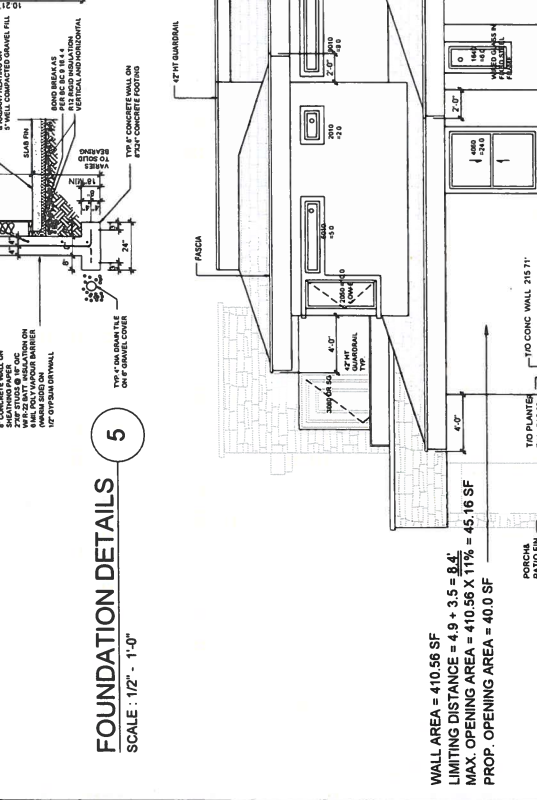
WALL AREA = 143.2 SF
LIMITING DISTANCE = 4.9'
MAX. OPENING AREA = $143.2 \times 9\% = 12.89$ SF
PROP. OPENING AREA = 12.0 SF



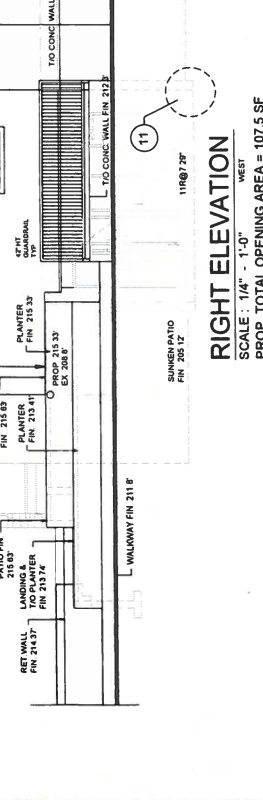
RIGHT ELEVATION
SCALE: 1/4" = 1'-0" WEST
PROP. TOTAL OPENING AREA = 107



FOUNDATION DETAILS
SCALE : 1/2" - 1'-0"



WALL AREA = 410.56 SF
 LIMITING DISTANCE = $4.9 + 3.5 = 8.4'$
 MAX. OPENING AREA = $410.56 \times 11\% = 45.16$ SF
 PROP. OPENING AREA = 40.0 SF



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

WEST

PROB TOTAL OPENING AREA = 107

[illegible]

- * SPECIAL SEPARATION REQUIREMENTS: GLAZED OPENINGS HAVE BEEN SPECIFICALLY DESIGNED TO RESIST SHOT-IMPACT WEAPONS WHICH WILL INCLUDE DOORS, WINDOWS AND GLAZED WALLS
- * NOISE CONTROL HVAC EQUIPMENT TO CONFORM TO NOISE CONTROL BY-LAW
- * LOCATION OF EXHAUST VENTS FOR SIMILAR EQUIPMENT VERTICALLY THROUGH ROOF 1.5M(5') AWAY FROM PROPERTY LINE OR HORIZONTALLY THROUGH EXTERIOR WALL FACING STREET AND SLOP 8471 FROM PROPERTY LINE
- * DRAIN WAYS 75% EFFICIENT
- * CHYMELC / R10 TANK WRAP
- * PIPE W/PIPE INSULATION TO MEET ALL CODES
- * ALL ELECTRICAL WORK TO BE DONE IN ACCORDANCE WITH ALL REGULATIONS
- * ALL ELECTRICAL WORK TO BE DONE IN ACCORDANCE WITH ALL REGULATIONS

WALL AREA = 143.2 SF
LIMITING DISTANCE = 4.9'
MAX. OPENING AREA = $143.2 \times 9\% = 12.89$ SF
PROP. OPENING AREA = 12.0 SF

RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

WEST

PROB TOTAL OPENING AREA = 107

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FEB 09 2019

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AUG 21 2018
DEC 20 2018
JAN 2 2019
FEB 4 2019

RAFFAELE & ASSOCIATES
Design & Planning Consultants
2642 E. HASTINGS ST., VANCOUVER, B.C. V6K 1Z8
TEL: (604) 251-4610
rff@raffaele.com

PROJECT NAME
RESIDENTIAL PROJECT
FOR MR. & MRS. DAVE HAYRE
AT 4014 NAPIER ST., BURNABY

SECTIONS
DETAILS
SHEET CONTENTS
DATE: AUG. 2018
SCALE: AS SHOWN
DRAWN: MH
JOB:
SHEET: A7

13

WINDOW WELL
DETAIL
SCALE: 1/4" = 1'-0"

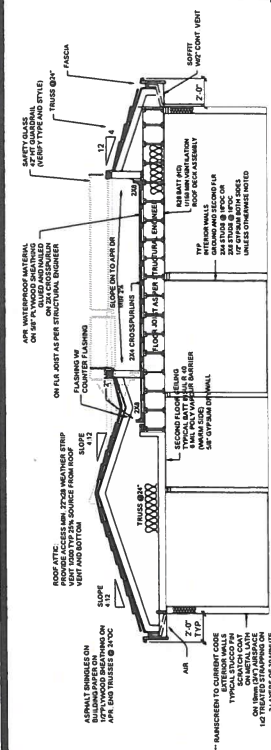
SECTION D-D
SCALE: 1/2" = 1'-0"

SECTION F-F
SCALE: 1/4" = 1'-0"

12

GUARDRAIL
ATTACHMENT
SCALE: NTS

SECTION E-E
SCALE: 1/4" = 1'-0"



SECTION C-C
SCALE: 1/4" = 1'-0"

SECTION E-E
SCALE: 1/4" = 1'-0"

SECTION F-F
SCALE: 1/4" = 1'-0"

SECTION G-G
SCALE: 1/4" = 1'-0"

SECTION H-H
SCALE: 1/4" = 1'-0"

SECTION I-I
SCALE: 1/4" = 1'-0"

SECTION J-J
SCALE: 1/4" = 1'-0"

SECTION K-K
SCALE: 1/4" = 1'-0"

SECTION L-L
SCALE: 1/4" = 1'-0"

SECTION M-M
SCALE: 1/4" = 1'-0"

SECTION N-N
SCALE: 1/4" = 1'-0"

SECTION O-O
SCALE: 1/4" = 1'-0"

SECTION P-P
SCALE: 1/4" = 1'-0"

SECTION Q-Q
SCALE: 1/4" = 1'-0"

SECTION R-R
SCALE: 1/4" = 1'-0"

SECTION S-S
SCALE: 1/4" = 1'-0"

SECTION T-T
SCALE: 1/4" = 1'-0"

SECTION U-U
SCALE: 1/4" = 1'-0"

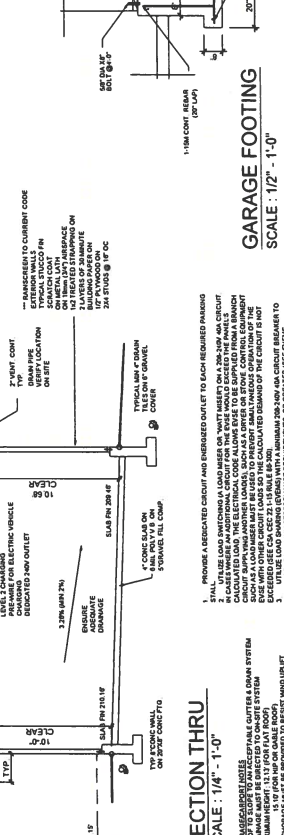
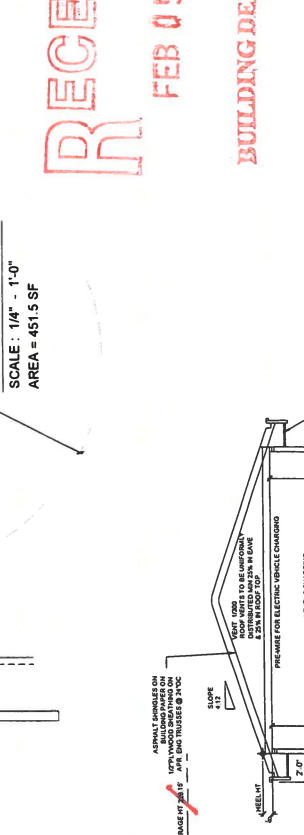
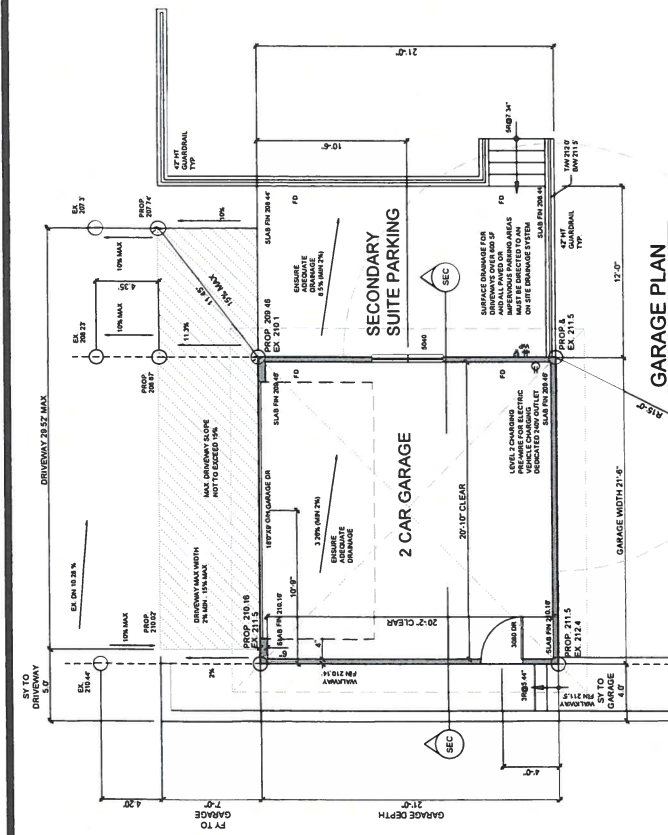
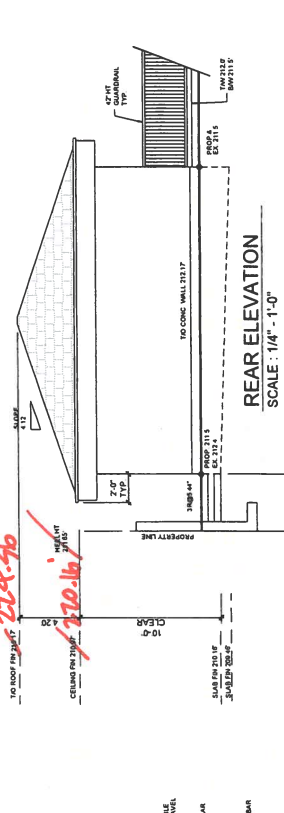
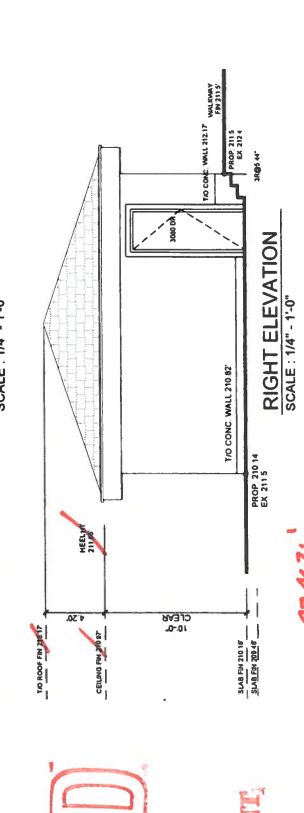
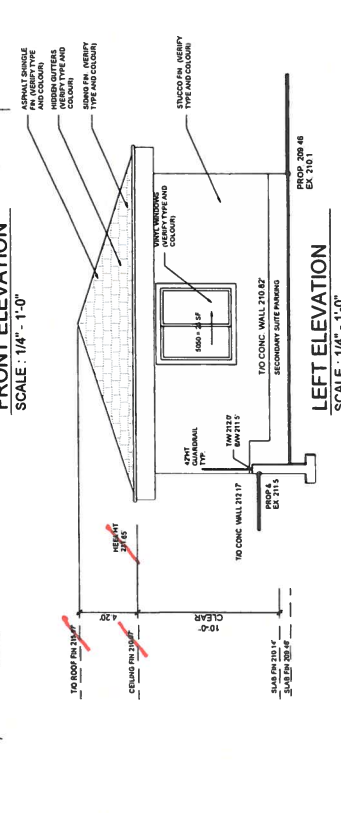
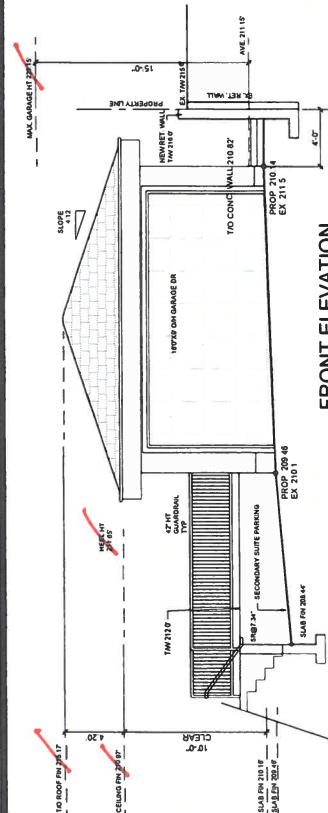
SECTION V-V
SCALE: 1/4" = 1'-0"

SECTION W-W
SCALE: 1/4" = 1'-0"

SECTION X-X
SCALE: 1/4" = 1'-0"

SECTION Y-Y
SCALE: 1/4" = 1'-0"

SECTION Z-Z
SCALE: 1/4" = 1'-0"



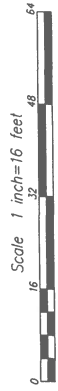
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P.O. 002-483-793
Civic Address: 4014 Napier Street,
City of Burnaby

BLD18-00946

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SEP 27 2018
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TOPOGRAPHICAL PLAN OF LOT 2 EXCEPT: THE SOUTH 10 FEET; BLOCK 21 DISTRICT LOT 117 GROUP 1 NEW WESTMINSTER DISTRICT PLAN 1222



The intended plot size of this plan is 560mm width by 432mm in height (C-size) when plotted at a scale of 1 inch=16 feet.

All Distances And Elevation Are In Feet And Decimals Thereof Unless Otherwise Stated.

Note: Trees pursuant to by tree law 1996 are shown

Legend:

- - Standard Iron Post
- - Lead Plug
- ⊕ - Tree (diameter in mm 2500 (canter and Species)
- ⊙ - Manhole
- ⊙ - Inspection Chamber
- ⊙ - Power Pole

Suffix:

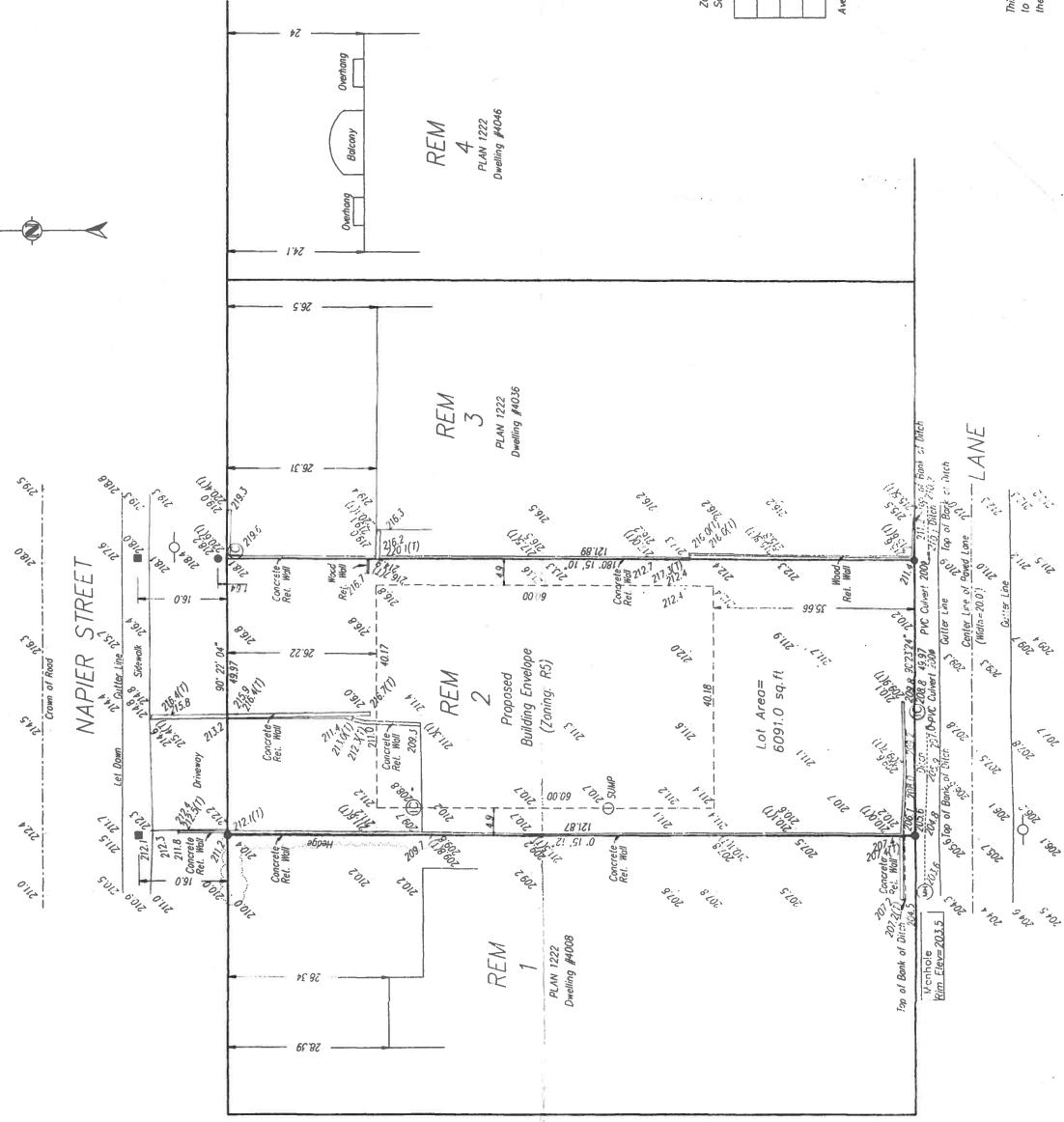
(1) - Elevation of top of wall

Remarks:

Elevations Are Goodie
Referred To Monument 75415432
Monument Elevation: 256.00(78.03m)
Grid bearings are derived from observations between geodetic control monuments 75415432 and 7546784. Lot dimensions are based on site survey.

Notes:

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Building envelope shown is only approximate.
For interpretation of City Building Bylaws please consult Planning Department for final building envelope when required.



Zoning: R5
Setbacks

Lot	Front	Address
REM 1	28.34	4008
REM 3	26.31	4036
REM 4	24	4046

Average = 26.27

This is certified correct and is valid only with respect to the improvements as shown hereon and located on the 25th day of May, 2018

LIMING YUAN
- B.C.L.S. #659

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