



2019 Board of Variance Notice of Appeal Form

OFFICE OF THE CITY CLERK

Burnaby City Hall, 4949 Canada Way, Burnaby BC, V5G 1M2, Phone: 604-294-7290 Email: clerks@burnaby.ca

Applicant

Name of Applicant Nazeer Bawa
Mailing Address Unit 213-3993 Henning Drive
City/Town Bby Postal Code V5C 6P7
Phone Number(s) (H) _____ (C) 604-338-8127
Email info@ewandc.com

Property

Name of Owner Naziraj & Navdeep Khehlon
Civic Address of Property 5570 Rudby Street, Bby BC

I hereby declare that the information submitted in support of this application is, to the best of my knowledge, true and correct in all aspects, and further that my plans have no conflict with municipal bylaws other than those applied for with in this application.

11th MARCH 2019
Date

[Signature]
Applicant Signature

Office Use Only

Appeal Date April 4th 2019 Appeal Number BV# _____

Required Documents:

- ☒ Fee Application Receipt
- ☒ Building Department Referral Letter
- ☒ Hardship Letter from Applicant
- ☒ Site Plan of Subject Property

Any documents submitted in support of this Board of
Variance Appeal will be made available to the Public



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DESIGN + CONSTRUCT INC

Creative building solutions + Value creation

8th March 2019

To: The Board of Variance
City of Burnaby

Dear Madam/Sir

LETTER OF HARDSHIP

PROJECT: SINGLE FAMILY DWELLING AT

5570 RUGBY STREET, BURNABY, BC.

We are acting as the agents for the owners for the above project.

This site is irregular in shape and located in a cul-di-sac. The site setbacks creates severe constraints on the building envelope and results in a hardship in fulfilling the requirements of the owners is achieving a single family dwelling of decent building depth. We have proposed a creative design solution considering all the impediments impacting this site. However, the front yard setback for the portion of the cul-di-sac impacts the proposed design as 183 sqft of lot coverage falls outside the setback as shown in the hatched portion of the site plan. We kindly request a relaxation of the front yard setback for this portion of the building so that the proposed design is permitted as per the drawings submitted to the building department.

Thank you

Truly

Nazeer Bawa AIA(SL) , MSc Spatial Planning, PMP
Principal



BOARD OF VARIANCE REFERRAL LETTER

DATE: February 27, 2019			<i>This is <u>not</u> an application. Please submit this letter to the Clerk's office (ground floor) when you make your Board of Variance application.</i>
DEADLINE: March 12, 2019 for the April 04, 2019 hearing.			
APPLICANT NAME: Nazeer Bawa			
APPLICANT ADDRESS: Unit 213 – 3993 Henning Drive, Burnaby, B.C., V5C 6P7			
TELEPHONE: 604-338-8127			
PROJECT			
DESCRIPTION: New Single Family Dwelling and Attached Garage			
ADDRESS: 5570 Rugby Street			
LEGAL DESCRIPTION:	LOT: 12	DL: 85	PLAN: NWP17524

Building Permit application BLD18-01105 will be denied by the Building Department because the design is not in compliance with Burnaby Zoning Bylaw No. 4742:

Zone R1 / Section 101.8

COMMENTS:

The applicant proposes to build a new single family dwelling and attached garage. In order to allow the Building Permit application to proceed, the applicant requests that the following variance be granted:

- 1) To vary Section 101.8 – “Front Yard” of the Zoning Bylaw requirement for the minimum front yard depth from 29.50 feet to 24.33 feet.

- Notes:
1. The applicant recognizes that should the project contain additional characteristics in contravention of the Zoning By-law, a future appeal(s) may be required.
 2. The applicability of this variance, if granted, are limited to the scope of the proposal shown on the attached plans.
 3. All new principal building projections into the resulting required yards will conform to the requirements of Section 6.12.
 4. Fences and retaining walls will conform to the requirements of Section 6.14.

MS

Peter Kushnir
Deputy Chief Building Inspector

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DESIGN + CONSTRUCT INC.

#215-3993 HENNING DRIVE
BURNABY, BC V5C 6P7
Telephone: (604) 338-8127
e-mail: info@ewaninc.com

PROJECT INFO:

ADDRESS: 5570 RUGBY ST. BURNABY BC V5C 2N1
PID N010.280.685
LEGAL DESCRIPTION: LOT/12 BLOCK/ DISTRICT LOT/185
PLAN/17524
ZONER1

FLOOR SPACE RATIO STATEMENT

LOT AREA: 10,890 sq.ft.
GFA PERMITTED: 6,330.90 sq.ft.
AGFA PERMITTED: 40% = 4,276.00 sq.ft.
CELLAR: 2,180.54 sq.ft.
2,098.74 sq.ft.
FIRST STOREY: 2,118.50 sq.ft.
TOTAL GROSS AREA: 6,398.80 sq.ft.
ATTACHED GARAGE AREA: = 452.10 sq.ft. (exclusion)

NET AREA: 5,946.70 sq.ft.
ENCL. PORCH & ENCL. DECK: 289.20 sq.ft. [58.30%]
TOTAL NET AREA: 6,235.90 sq.ft.
AGFA PERMITTED: 4,276.00 sq.ft. AGFA 40%
AGFA PROPOSED: 4,217.24 sq.ft. (39.45%)
DECK AREA PERMITTED: 508.10 sq.ft. (8% OF 6,330.9)
DECK AREA PROPOSED: 486.15 sq.ft.

TOTAL ROOF AREA: 2,195.33 sq.ft.
ROOF AREA PROPOSED WITH 7.2% SLOPE: 903.94 sq.ft. (86%)
AREA PROPOSED WITH FLAT ROOF: 21.37
MAX HEIGHT FOR A BUILDING WITH
TWO STOREYS: 10.00 m
HEIGHT PROPOSED: 29.5
BUILDING DEPTH PERMITTED: 53'
BUILDING DEPTH PROPOSED: 38' 8"
MINIMUM FRONT YARD PERMITTED: 29.5'
FRONT YARD PROPOSED: 32.5'
MINIMUM SIDE YARD PERMITTED: 9.0'
SIDE YARD PROPOSED: 9.11'
MINIMUM REAR YARD PERMITTED: 29.5'
REAR YARD PROPOSED: 30'
PERMITTED LOT COVERAGE AREA: 4,276.00 sq.ft. 40%
PROPOSED LOT COVERAGE AREA: 2,675.00 sq.ft.
PERMITTED SITE IMPERMEABLE AREA: 7,483.00 sq.ft. 70%
PROPOSED SITE IMPERMEABLE AREA: 4,338.18

IMPERVIOUS AREA CALCULATION
MAIN BUILDING, COV. PORCHE AND GARAGE: 2,875 sq.ft.
SIDE WALK, FRONT WALK, DRIVEWAY AND STAIRS:
1,663.18
PROPOSED IMPERVIOUS AREA: 4,338.18 sq.ft.
PERMITTED IMPERVIOUS AREA: 7,483.00 sq.ft.

ALL CONSTRUCTION TO CONFORM TO REQUIREMENTS OF BCBC 2012

SITE PLAN

DATE	FEBRUARY, 2010	DRAWING NO.	A1
SCALE	1"=8'		
DRAWN BY			
CHECKED BY	N.O.		
PROJECT NO.			

RECEIVED
FEB 28 2019

BUILDING DEPARTMENT

PROJECT INFO:

ADDRESS: 5570 RUGBY ST. BURNABY BC V5E 2N1
PID N 010.280.685
LEGAL DESCRIPTION: LOT/12 BLOCK/ DISTRICT LOT/85
PLAN/7524
ZONE R1

FLOOR SPACE RATIO STATEMENT
LOT AREA: 10,690 sq.ft.
GFA PERMITTED: 6,350.90 sq.ft.
AGFA PERMITTED: 4,276.00 sq.ft.

FLOOR AREA PROPOSED
CELLAR: 2,180.56 sq.ft.
FIRST STOREY: 2,078.74 sq.ft.
SECOND STOREY: 2,139.50 sq.ft.
TOTAL GROSS AREA: 6,398.80 sq.ft.
ATTACHED GARAGE AREA: 452.10 sq.ft. (exclusion)

NET AREA: 5,946.70 sq.ft.
ENCL. PORCH & ENCL. DECK: 289.20 sq.ft.
TOTAL NET AREA: 6,235.90 sq.ft. (58.30%)
AGFA PERMITTED: 4,276.00 sq.ft. AGFA 40%
AGFA PROPOSED: 4,217.24 sq.ft. (59.45%)
DECK AREA PERMITTED: 508.10 sq.ft. (8% OF 6,350.9)
DECK AREA PROPOSED: 486.15 sq.ft.

TOTAL ROOF AREA: 2195.33 sq.ft.
ROOF AREA PROPOSED WITH 12% SLOPE: 903.94 sq.ft. (84%)
AREA PROPOSED WITH FLAT ROOF: 291.39
PEAK HEIGHT ELEVATION: 121.30'
MAX HEIGHT FOR A BUILDING WITH A SLOPE ROOF: 29.5'
HEIGHT PROPOSED: 29.5'
BUILDING DEPTH PERMITTED: 33'
BUILDING DEPTH PROPOSED: 38' 8"
MINIMUM FRONT YARD PERMITTED: 29.5'
FRONT YARD PROPOSED: 32.5'
MINIMUM SIDE YARD PERMITTED: 9.0'
SIDE YARD PROPOSED: 9' 11"
MINIMUM REAR YARD PERMITTED: 29.5'
REAR YARD PROPOSED: 30'

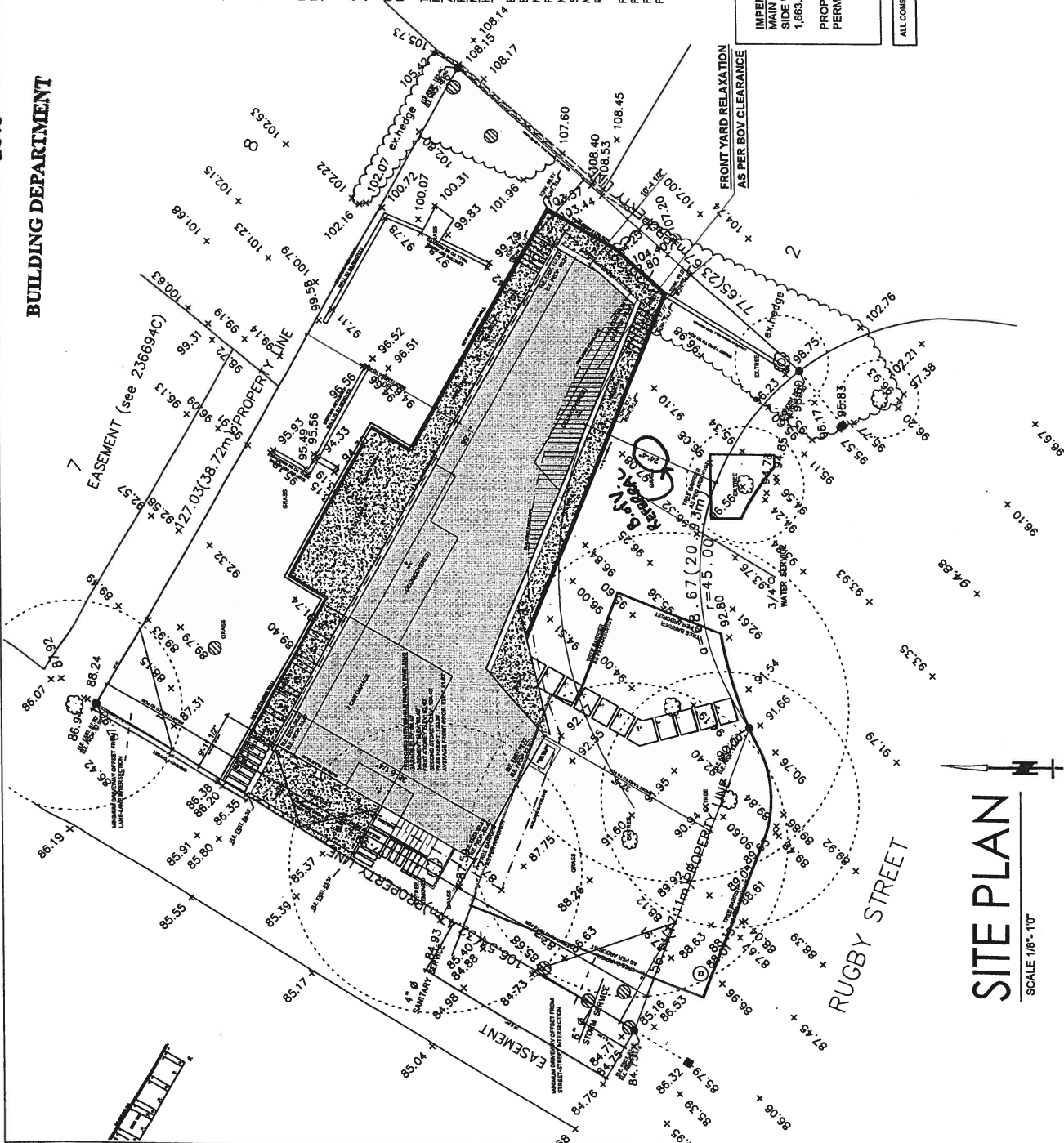
PERMITTED LOT COVERAGE AREA: 4,276.00 sq.ft. 40%
PROPOSED LOT COVERAGE AREA: 4,338.18 sq.ft.
PERMITTED SITE IMPERVIOUS AREA: 7,483.00 sq.ft. 70%
PROPOSED SITE IMPERVIOUS AREA: 4,338.18

IMPERVIOUS AREA CALCULATION
MAIN BUILDING, COV. PORCH AND GARAGE: 2,875 sq.ft.
SIDE WALK, FRONT WALK, DRIVEWAY AND STAIRS:
1,863.18
PROPOSED IMPERVIOUS AREA: 4,338.18 sq.ft.
PERMITTED IMPERVIOUS AREA: 7,483.00 sq.ft.

ALL CONSTRUCTION TO CONFORM TO REQUIREMENTS OF BCBC 2012

SITE PLAN

SCALE 1/8" = 10'



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DESIGN + CONSTRUCT INC.

#213,380 HENNING DRIVE
BURNABY, BC V5C 6P7
Telephone: (604) 338-8127
email: info@ewan.co

NO.	DATE	REVISION
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SINGLE FAMILY HOUSE
5570 RUGBY STREET
BURNABY B.C.

DATE: 1/14/19

SITE PLAN

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A1

#213-3993 HENNING DRIVE
BURNABY, BC, V5C 6P7
Telephone: (604) 338-8127
e-mail: info@ewandc.com

[illegible]

SINGLE FAMILY HOUSE
5570 RUGBY STREET
BURNABY B.C.

DRAWING TITLE :

ROOF PLAN

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ROOF PLAN

SCALE 1/4" = 1'0"

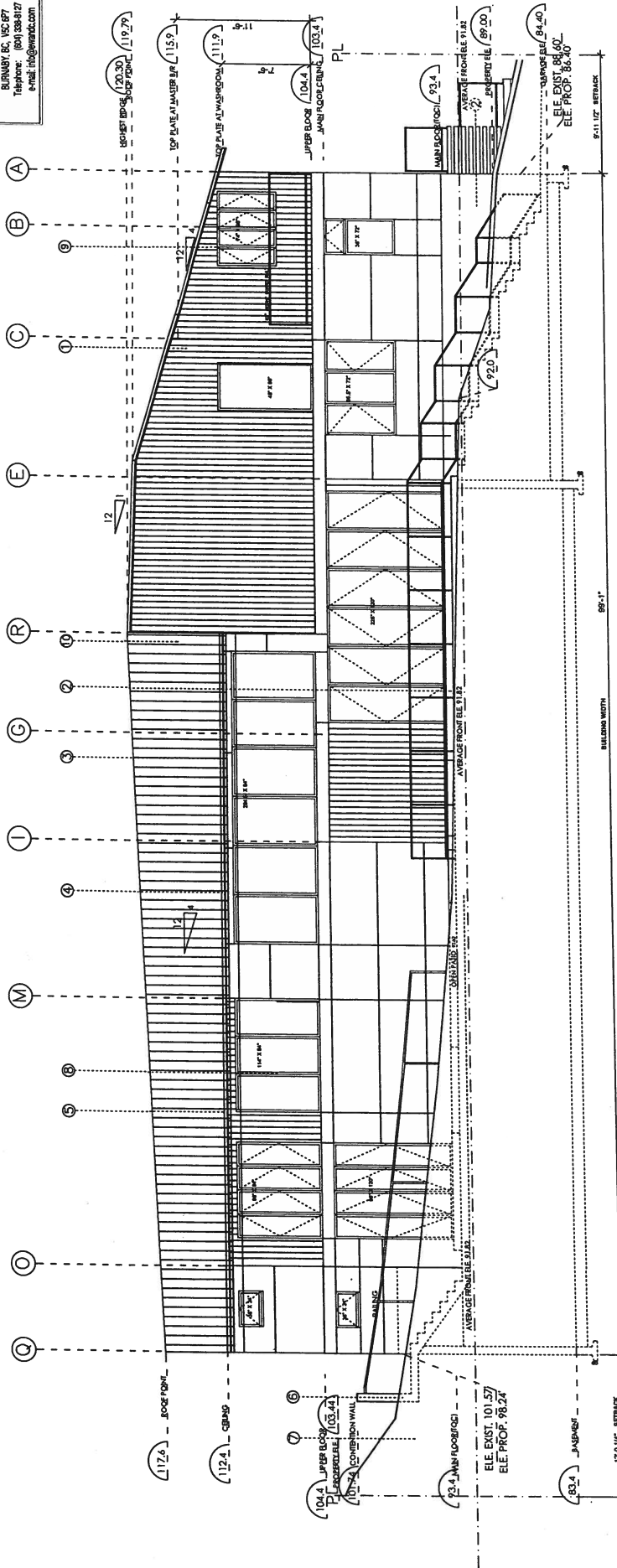
TOTAL ROOF AREA: 2195.33 sq.ft.
ROOF AREA PROPOSED WITH 12-4
GLAZE: 1,903.94 sq.ft. (86%)
AREA PROPOSED WITH FLAT ROOF: 2

NOTED OVERHANG
DESIGNS TAKEN
TO OUTSIDE OF
GUTTER - TYPICAL
SEE SECTION

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DESIGN + CONSTRUCT INC.

#2153881 HENNING DRIVE
BURNABY, BC, V5C 9P7
Telephone: (604) 336-8127
e-mail: info@ewan.com



- 1.- 6" natural cedar siding planks.
- 2.- Architectural concrete.
- 3.- Fibre Cement panel (Equitone / Tectiva TE90).
- 4.- Natural stone / Black.
- 5.- 4" natural black fluting.
- 6.- Contention architectural concrete wall.
- 7.- Glass following the natural slope.
- 8.- Black aluminum guard rail with glass panel.
- 9.- Clear glass window.
- 10.- Metal glass window.
- 11.- Perma-Crete panel system / Black.

NORTH ELEVATION

SCALE 1/4" = 1'

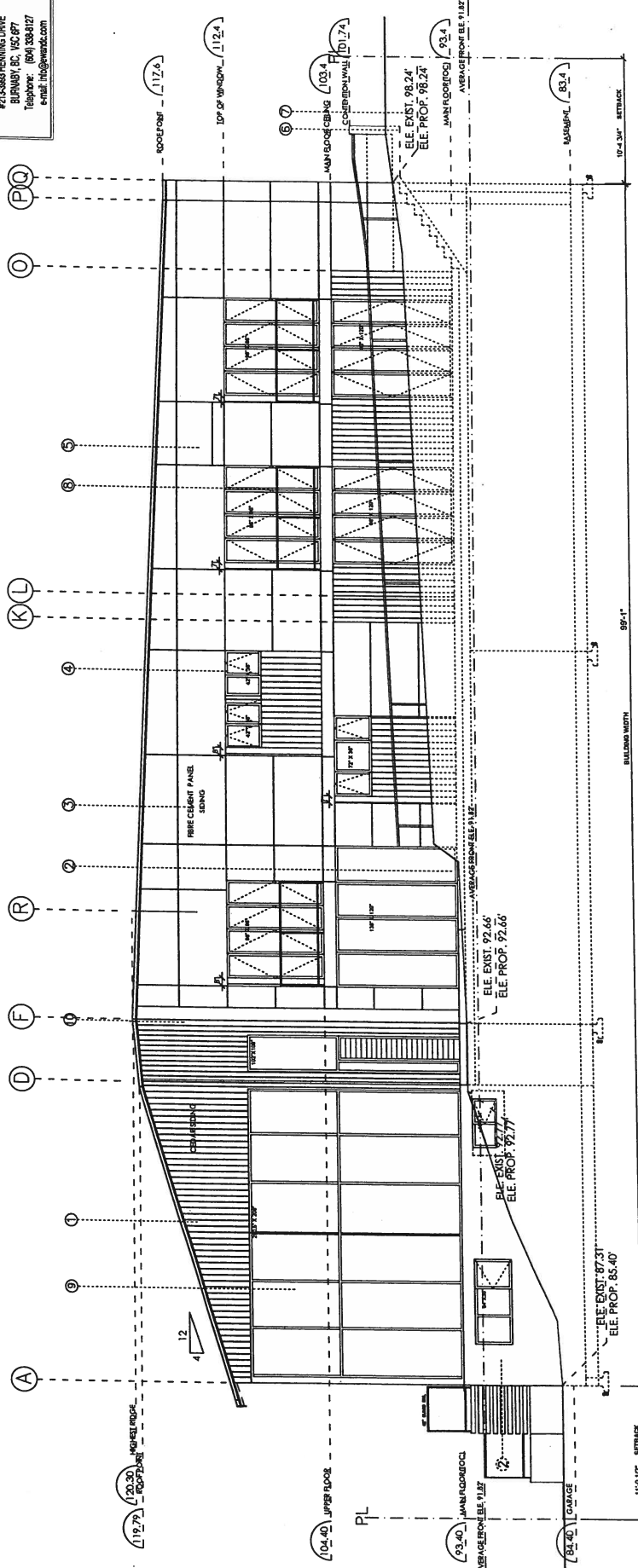
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ewan

DESIGN + CONSTRUCT INC.

#215388 HENNING DRIVE
BURNABY, BC, V5C 8P7
Telephone: (604) 338-8127
e-mail: info@ewaninc.com



- 1.- 6" natural cedar siding planks.
- 2.- Architectural concrete.
- 3.- Fibre Cement panel (Equitone / Tectiva TE90).
- 4.- Window Frames / Black.
- 5.- 4" Metal black flashing.
- 6.- Concrete and architectural concrete wall.
- 7.- Glass following the natural slope.
- 8.- Black aluminum guard rail with glass panel.
- 9.- Clear glass windows.
- 10.- Metal panel / Black.
- 11.- Fibra-Cidra panel system / Black.

SOUTH ELEVATION

SCALE 1/4" = 1'0"

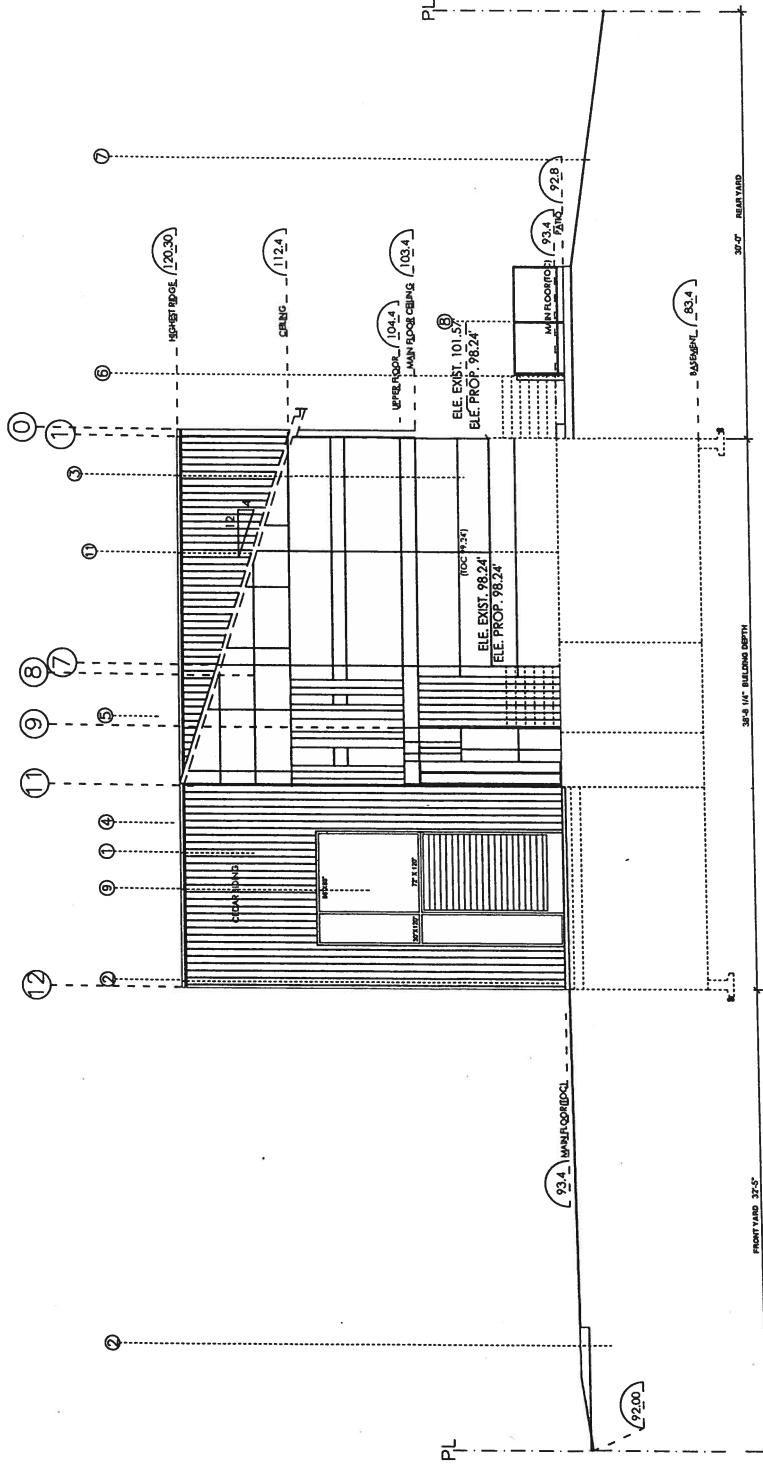
NO.	DATE	REVISION
1	11/11/11	ISSUED FOR PERMIT
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100	11/11/11	REVISED PER COMMENTS

A7

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DESIGN + CONSTRUCT INC.

#213-3880 HENNING DRIVE
BURNABY, BC, V5C 6T7
Telephone: (604) 338-8127
e-mail: info@ewan.co



- 1.- 6" natural cedar siding planks.
- 2.- Architectural concrete.
- 3.- Fibre Cement panel (Equitone / Teciva T90).
- 4.- Window Frames / Black.
- 5.- Main Entrance.
- 6.- Contention architectural concrete wall.
- 7.- Grass following the natural slope.
- 8.- Black aluminum guard rail with glass panel.
- 9.- Clear glass window.
- 10.- Main Entrance.
- 11.- Perma-Crete panel system / Black.

EAST ELEVATION

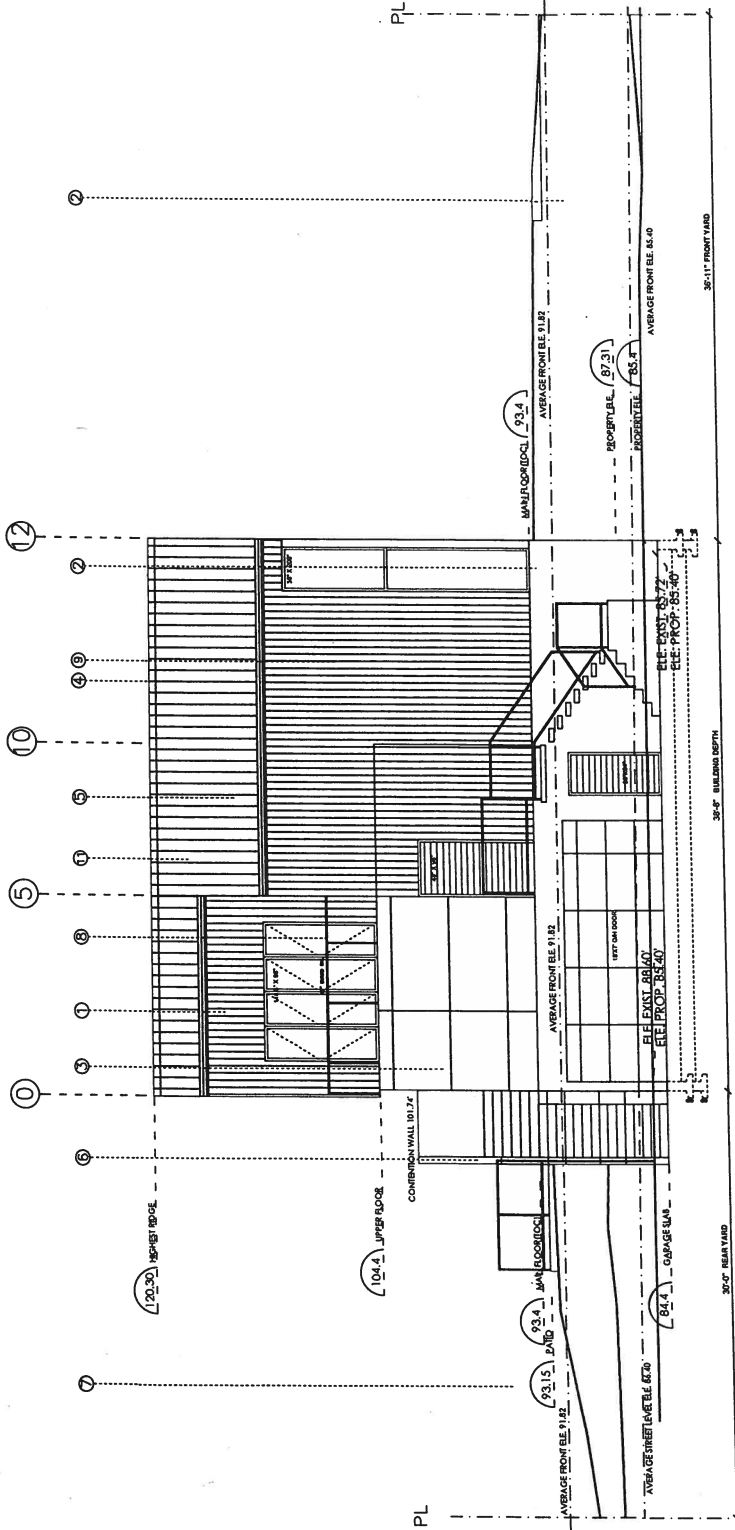
SCALE 1/4" = 1'-0"

NO.	DATE	REVISION
1	10/1/11	PERMIT
PROJECT: SINGLE FAMILY HOUSE		
5570 RUGBY STREET		
BURNABY B.C.		
DRAWING TITLE: EAST ELEVATION		
DATE	REVISION	BY
10/1/11	PERMIT	1/1
10/1/11	1/1	1/1
CHECKED BY: 1/1		
PROJECT NO. 1/1		
DRAWING NO. A8		

ewan

DESIGN + CONSTRUCTION INC.

#213-3883 HENNING DRIVE
BURNABY, BC, V5C 8P7
Telephone: (604) 338-4127
e-mail: info@ewanbc.com



- 1.- 6\"/>

ESP	=	808.13 SF
PERMITTED DISTANCE	=	10.00 FT
PERMITTED UO 14.25%	=	31.32 SF
PROPOSED UO	=	31.15 SF

WEST ELEVATION

SCALE 1/4\"/>

WEST ELEVATION

DATE: FEBRUARY 2010

SCALE: 1/4\"/>

PROJECT: SINGLE FAMILY HOUSE

5570 BUSHY STREET

BURNABY B.C.

A9

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DESIGN + CONSTRUCTING

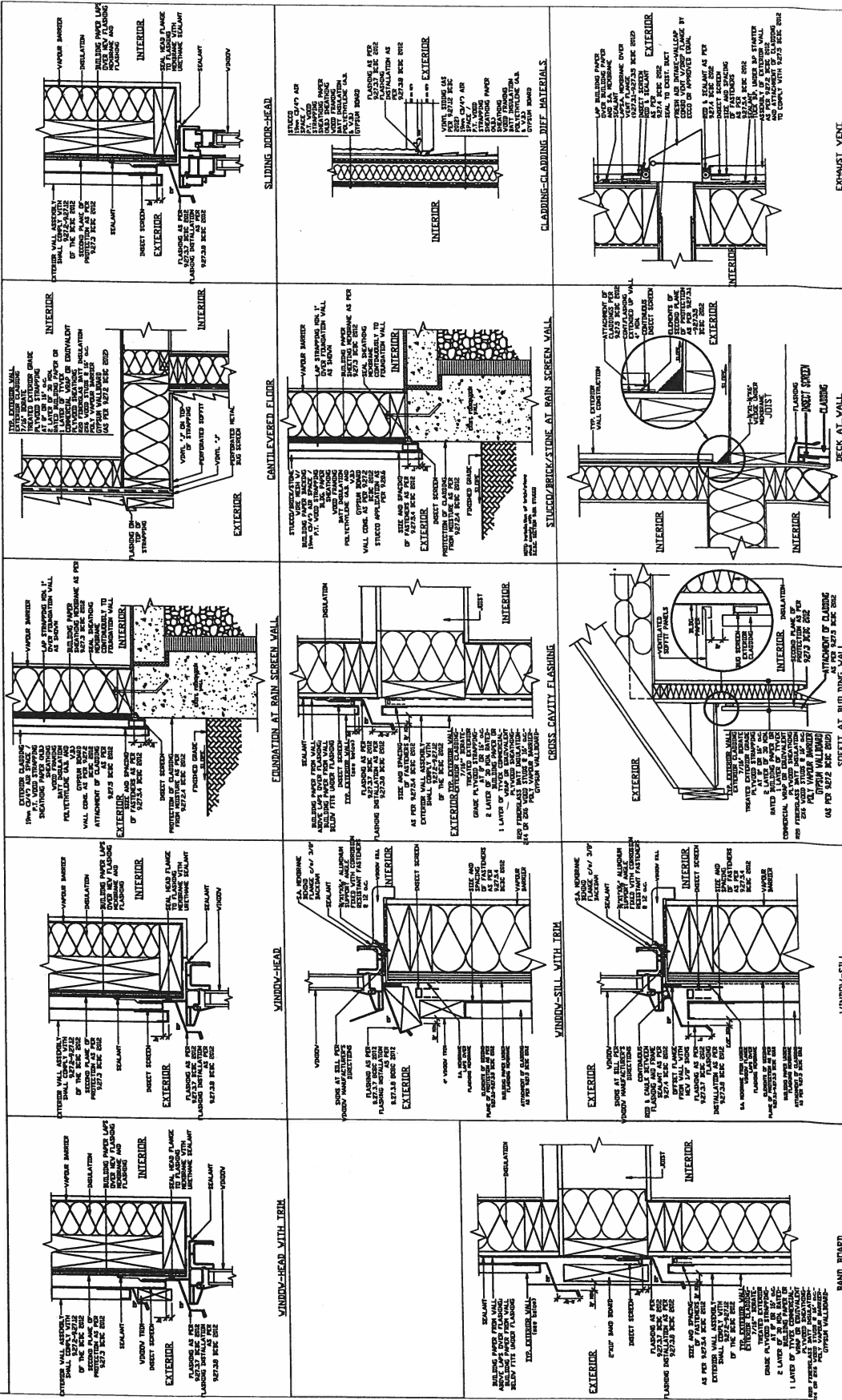
#213-888 HENNING DRIVE
BURNABY, BC, V5C 8P7
Telephone: (604) 338-8127
E-MAIL: info@ewanbc.com

SINGLE FAMILY HOUSE
5570 RUGBY STREET
BURNABY, B.C.

RAIN SCREEN DETAILS

DATE: AUGUST, 2010
DRAWN BY: JH
CHECKED BY: JH
PROJECT: 10

A13



EXHAUST VENT

BECK AT WALL

ATTACHMENT OF CLADDING

WINDOW-SILL

BAND BOARD

PLAN EPP71337

RECEIVED

NOV 14 2018

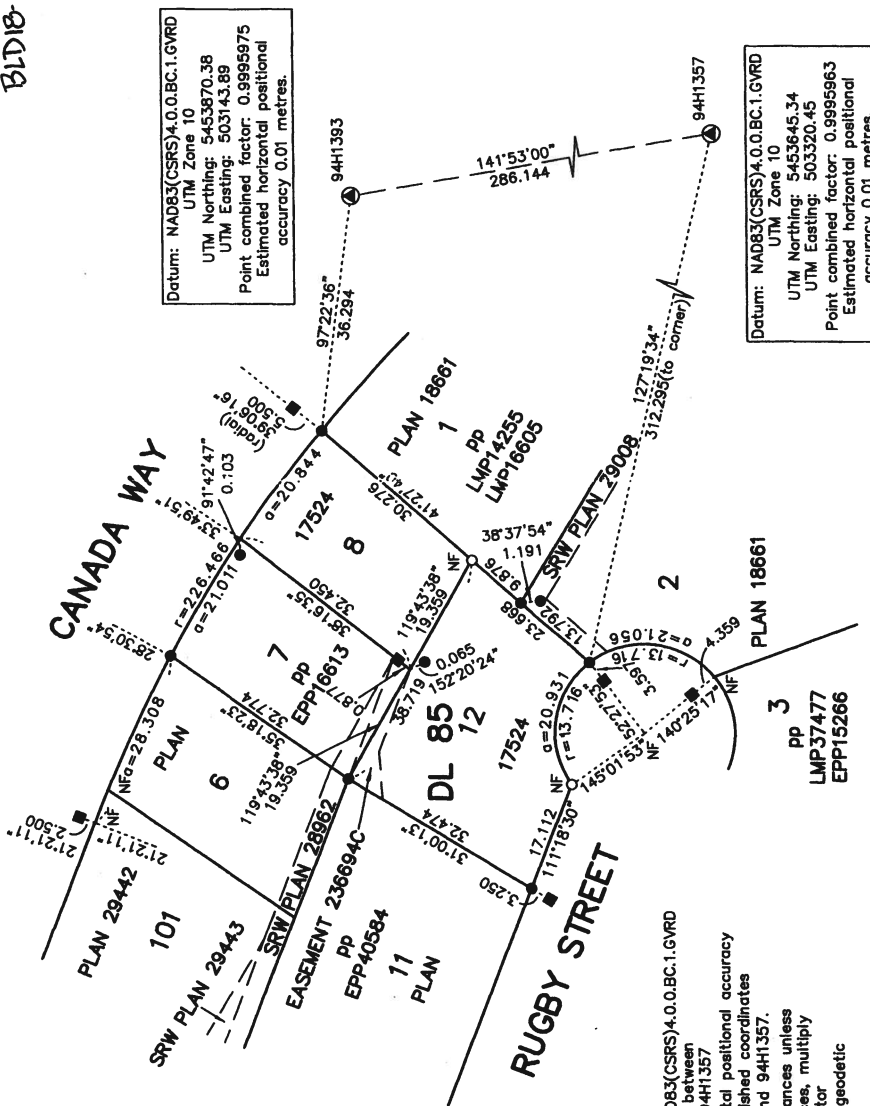
BUILDING DEPARTMENT

B1D18-01105

POSTING PLAN OF LOT 12
DISTRICT LOT 85, GROUP 1
NEW WESTMINSTER DISTRICT, PLAN 17524

BCCS 92C.026

Pursuant to Section 68, Land Title Act.



SCALE 1 : 750

All distances are in metres.

The intended plot size of this plan is 432mm in width by 280mm in height (B size) when plotted at a scale of 1 : 750.

The field survey represented by this plan was completed on the 31st day of March, 2017. LOUIS NGAN, BOLS #743

This plan lies within the Greater Vancouver Regional District

L N L I S METRO VANCOUVER LAND SURVEYORS

4932 VICTORIA DRIVE, VANCOUVER, BC, V5P 3T6
T 604.327.1535 WEB WWW.LNLS.CA

FILE: 17690_02PT

LEGEND:

Integrated survey area No. 25, Burnaby, NAD83(CSRS)4.0.0.BC.1.GVRD
Grid bearings are derived from observations between geodetic control monuments 94H1393 and 94H1357

The UTM coordinates and estimated horizontal positional accuracy achieved are derived from the MASCOOT published coordinates for geodetic control monuments 94H1393 and 94H1357.

This plan shows horizontal ground-level distances unless otherwise specified. To compute grid distances, multiply ground-level distances by the combined factor of 0.9995975 which has been derived from geodetic control monument 94H1393.

- denotes control monument found.
- denotes standard iron post found.
- denotes standard iron post placed.
- denotes lead plug found.
- pp denotes posting plan.