



2019 Board of Variance Notice of Appeal Form

OFFICE OF THE CITY CLERK

Burnaby City Hall, 4949 Canada Way, Burnaby BC, V5G 1M2, Phone: 604-294-7290 Email: clerks@burnaby.ca

Applicant

Name of Applicant Nikolai Golikov
Mailing Address 3925 William street
City/Town Burnaby Postal Code V5C 3J2
Phone Number(s) (H) _____ (C) 604 376 3192
Email nickbever@yahoo.ca

Property

Name of Owner Nikolai Golikov
Civic Address of Property 3925 William street

I hereby declare that the information submitted in support of this application is, to the best of my knowledge, true and correct in all aspects, and further that my plans have no conflict with municipal bylaws other than those applied for with in this application.

April 08 2019

Date

[Signature]
Applicant Signature

Office Use Only

Appeal Date May 2 2019 Appeal Number BV# 6363

Required Documents:

- ☒ Fee Application Receipt
- ☒ Building Department Referral Letter
- ☒ Hardship Letter from Applicant
- ☒ Site Plan of Subject Property

Any documents submitted in support of this Board of
Variance Appeal will be made available to the Public

To: City of Burnaby, Board of Variance
4949 Canada Way, Burnaby, BC V5G 1M2

Re: Nikolai Golikov
3925 William street, BC V5C3J2

Proposed Variance:

Of existing attached garage converting into living space with the new deck construction on top of it, and new double car garage construction (back yard with access from back alley)

Reasons in support description:

1. The new proposed design will replace its original old look with new couple of big size windows on the bottom with stucco exterior finishing, and nice size south size deck on top of existing garage with two sliding doors access from existing bedrooms to the deck. New design will also propose good looking stucco finishing, and glass railings around the deck.
2. If we remove existing back deck then we will have enough distance between house and proposed new 2 car garage by law , but unfortunately we will not have access from our dinning/kitchen/living room access to the back yard any more, because this deck is the only access above 6 feet drop down and 12 wide space between house structure and concrete retaining wall

We would like to keep existing deck and build new garage if possible!

Nikolai
Golikov

Olgot.
Golikov



BOARD OF VARIANCE REFERRAL LETTER

DATE: April 2, 2019		<i>This is not an application. Please submit this letter to the Clerk's office (ground floor) when you make your Board of Variance application.</i>	
DEADLINE: April 9, 2019 for the May 2, 2019 hearing.			
APPLICANT NAME: Boga Serbulov			
APPLICANT ADDRESS: 720 Queens Ave, New Westminster, B.C. V3M 1L6			
TELEPHONE: 604-716-9178			
PROJECT			
DESCRIPTION: Exterior and interior alterations and a new detached garage to ESFD			
ADDRESS: 3925 William Street			
LEGAL DESCRIPTION:	LOT: 17	DL: 117	PLAN: NWP1222

Building Permit application BLD18-01101 will be denied by the Building Department because the design is not in compliance with Burnaby Zoning Bylaw No. 4742:

Zone R5 / Sections 105.9 & 105.10(1)

COMMENTS:

The applicant proposes to build exterior and interior alterations and a new detached garage to an existing single family dwelling. In order to allow the Building Permit application to proceed, the applicant requests that the following variances be granted:

- 1) To vary Section 105.9 – “Front Yard” of the Zoning Bylaw requirement for the minimum front yard depth from 31.75 feet (based on front yard averaging) to 30.0 feet.
- 2) To vary Section 105.10(1) – “Side Yards” of the Zoning Bylaw requirement for the minimum side yard width from 4.9 feet to 4.8 feet.

Note:

1. The applicant recognizes that should the project contain additional characteristics in contravention of the Zoning By-law, a future appeal(s) may be required.
2. The applicability of this variance, if granted, is limited to the scope of the proposal shown on the attached plans.
3. All new principal building projections into the resulting required yards will conform to the requirements of Section 6.12.
4. Fences and retaining walls will conform to the requirements of Section 6.14.

JQ

Peter Kushnir
Deputy Chief Building Inspector

NOTES:

ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE DESIGNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

REV	DATE	ISSUED FOR:
1	June 18 2018	Preliminary Design
2	Nov 12 2018	Building Permit
3		As Built

PROJECT:	New Garage & Deck Addition
FILE:	CCD-1080124
ACAD FILE:	2018-1080124
PLOT:	Nov 09-2018
DRAWN:	C.C.D.
CHECK:	C.C.D.
DATE:	June 18-2018
UPDATED:	Nov 09-2018
SCALE:	1/4" = 1'-0"
ENG:	1/8" = 1'-0"
SEAL:	3/4" = 1'-0"

DESIGNER:
CRYSTAL5
720 OUTPOST AVENUE
CITY 11 4 6041710-0178
Email: crystal5design@gmail.com

CLIENT:
New Development Ltd.
1361 Lansdowne Place
Capitol Hill, B.C.
Canada
(604) 276-1142

PROJECT TITLE:
Garage & Deck Addition
3985 William Street
Burnaby, B.C.
Lot 17, D.L. 117, R.O.C.K. 22
P.O. BOX 246-947

SHEET TITLE:
EXIST. & PROPOSED
EAST ELEVATIONS

SHEET PAGE: 4 of 09
A04

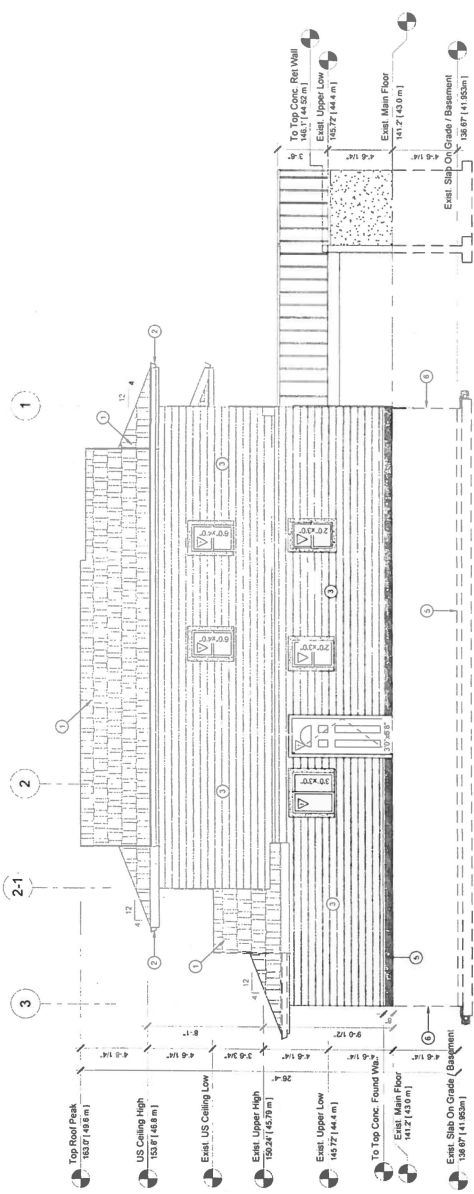
East Elevation Spatial Separation

L.D.=1.49 (m)

Table: 9.10.14.4
Total Area Exposed Bldg Face:
A=631.6 sq.ft. (58.67 mp)

Existing Area of Glazing A=33.0 sq.ft. (3.03 mp) @ East Elevation
Proposed LIMITING DISTANCE L.D.=4.89' (1.49 m)
Permitted 8.0 %
Existing 5.15%
Proposed Area of Glazing A=33.0 sq.ft. (3.03 mp)
L.D.=1.49 m - Table 9.10.15.4

Table: 3.2.3.1.B
L=42.5' (12.9) m
H=26.4' (8.0) m
L/H=1.61 < 3:1
Permitted Aggregate Area of Glazed Openings 8 %
Existing Aggregate Glazing Area =33.0 mp [33.0 sq.ft.]
Proposed Area of Glazing = 3.03 mp [33.0 sq.ft.]
NOTES: As per B.C. B.C. 2012, Table: 9.10.14.4.A and 3.2.3.1.B



Top Roof Peak 143.7' (43.8 m)
US Ceiling High 133.7' (40.8 m)
Exist. US Ceiling Low 130.2' (39.9 m)
Exist. Upper High 130.2' (39.9 m)
Exist. Upper Low 143.7' (43.8 m)
To Top Conc. Found Wall 141.7' (43.0 m)
Exist. Main Floor 141.7' (43.0 m)
Exist. Slab On Grade (Basement) 138.6' (41.93 m)

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NOTES:

1. ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE DESIGNER. NO PARTS OF THESE DRAWINGS OR SPECIFICATIONS ARE TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER.

2. THE DESIGNER IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THESE DRAWINGS OR SPECIFICATIONS, OR FOR ANY THIRD PARTY'S USE OF THESE DRAWINGS OR SPECIFICATIONS.

3. THE DESIGNER IS NOT RESPONSIBLE FOR ANY CONSTRUCTION DEFECTS OR OMISSIONS IN THE CONSTRUCTION OF THE PROJECT.

4. THE DESIGNER IS NOT RESPONSIBLE FOR ANY DELAYS OR DISRUPTIONS TO THE PROJECT.

5. THE DESIGNER IS NOT RESPONSIBLE FOR ANY INJURY OR DAMAGE TO PERSONS OR PROPERTY.

REV	DATE	ISSUED FOR:
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3		As Built

PROJECT:	New Garage & Deck Addition
FILE:	CCD-1080124
ACAD FILE:	2018-1080124
PLOT:	Nov 09-2018
DRAWN:	C.C.D.
CHECK:	C.C.D.
DATE:	June 18-2018
UPDATED:	Nov 09-2018
SCALE:	1/4" = 1'-0"
	1/8" = 1'-0"
	3/4" = 1'-0"
ENG:	
SEAL:	

DESIGNER:

CRYSTALIS

720 OUTPOST AVENUE
SUITE 100
CALGARY, ALBERTA T2C 1P8
CANADA
Tel: (403) 778-0178
Email: crystalisdesign@gmail.com

CLIENT:

David Development Ltd.
1841 Landmark Drive
Calgary, AB
Canada
(403) 778-1192

PROJECT TITLE:

Garage & Deck Addition

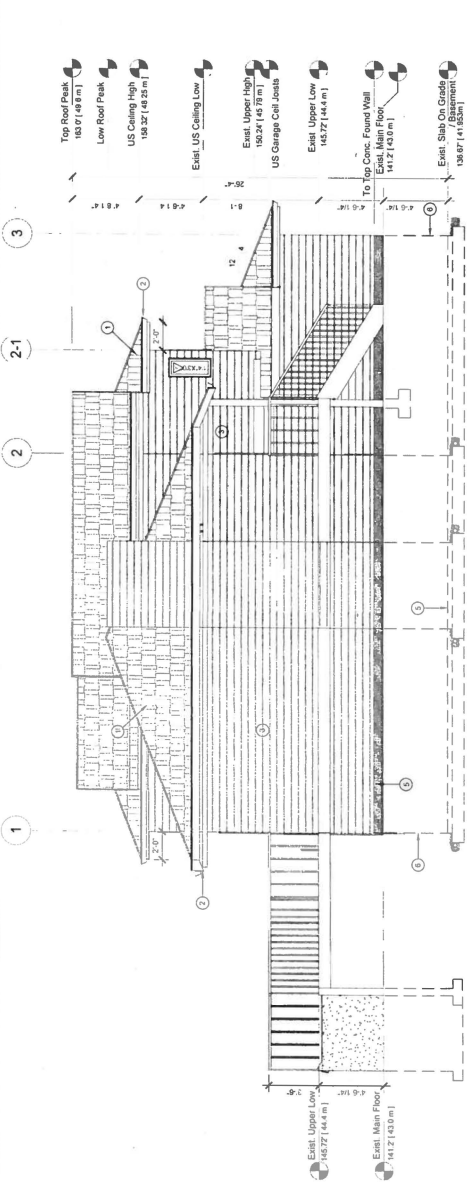
3045 William Street
Barnaby, B.C.
V2Y 1K1
Tel: (604) 736-0022
Fax: (604) 736-0023
P.O. Box 240-847

SHEET TITLE:

EXIST & PROPOSED
WEST ELEVATIONS

SHEET PAGE: 5 of 9

A05



EXIST. WEST ELEVATION

12/11/2018

SCALE 1/4" = 1'-0"

MATERIAL LEGEND:

1. EXIST. ROOF: SHINGLES

2. EXIST. WALL: BRICK

3. EXIST. FLOOR: CONCRETE

4. EXIST. CEILING: GYP. BOARD

5. EXIST. CHIMNEY: BRICK

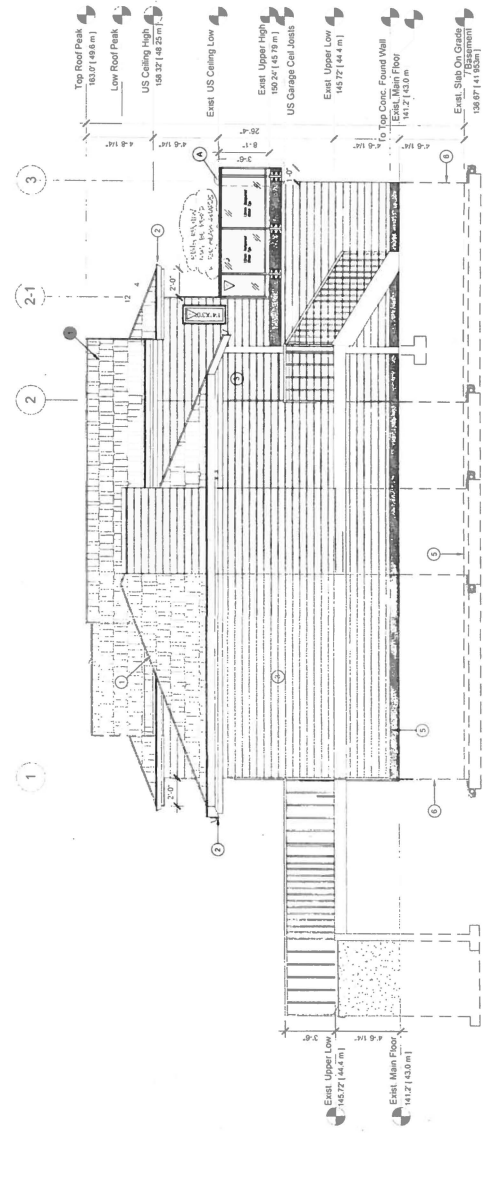
6. EXIST. GARAGE: CONCRETE

7. EXIST. MAIN FLOOR: CONCRETE

8. EXIST. UPPER LEVEL: CONCRETE

9. EXIST. LOWER LEVEL: CONCRETE

10. EXIST. GARAGE CELL JOIST: CONCRETE



PROPOSED WEST ELEVATION

12/11/2018

SCALE 1/4" = 1'-0"

MATERIAL LEGEND:

1. EXIST. ROOF: SHINGLES

2. EXIST. WALL: BRICK

3. EXIST. FLOOR: CONCRETE

4. EXIST. CEILING: GYP. BOARD

5. EXIST. CHIMNEY: BRICK

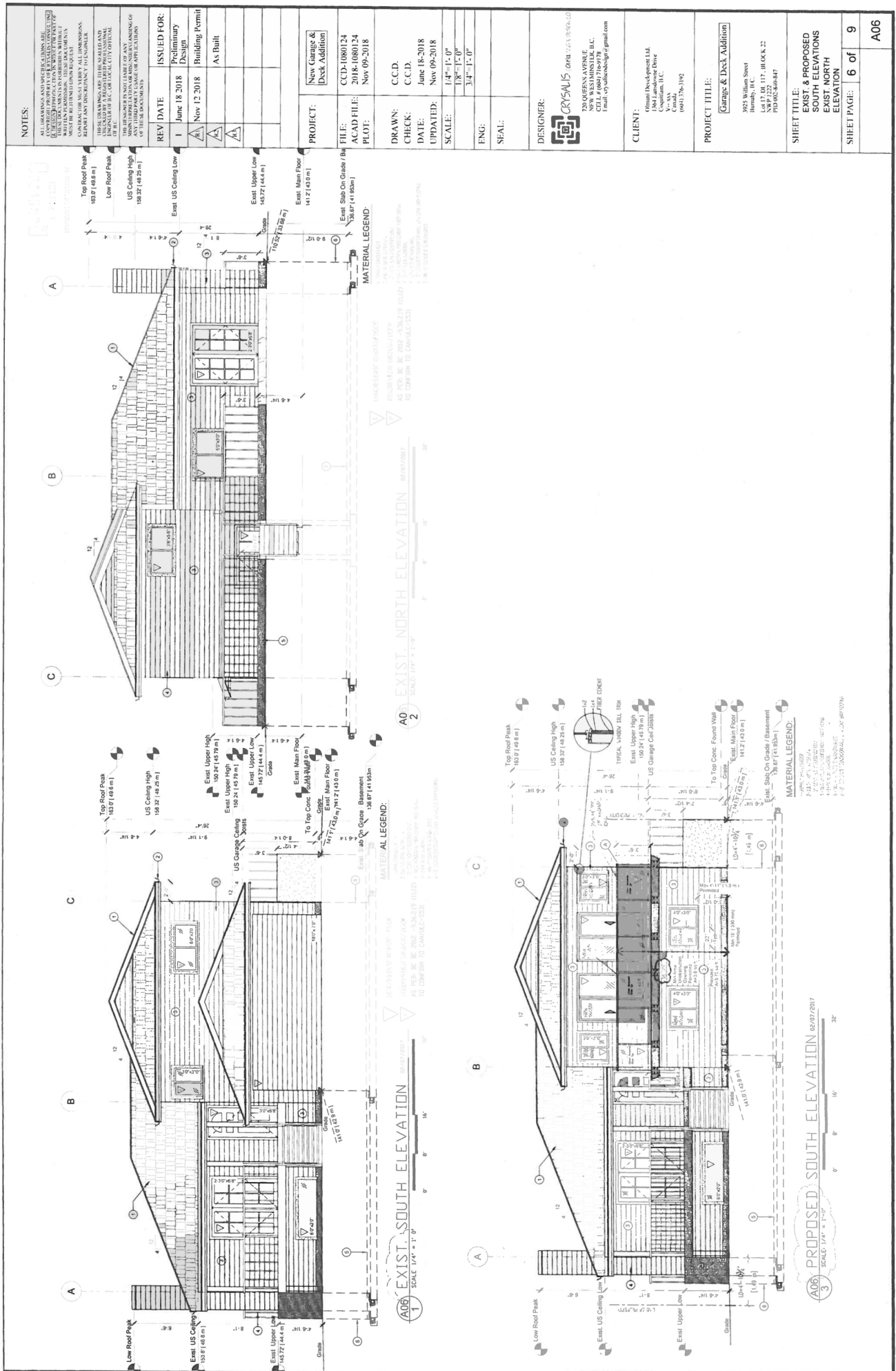
6. EXIST. GARAGE: CONCRETE

7. EXIST. MAIN FLOOR: CONCRETE

8. EXIST. UPPER LEVEL: CONCRETE

9. EXIST. LOWER LEVEL: CONCRETE

10. EXIST. GARAGE CELL JOIST: CONCRETE



NOTES:

- ALL DIMENSIONS AND SPECIFICATIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- CONCRETE SHALL BE 3000 PSI COMPRESSIVE STRENGTH.
- STEEL SHALL BE A36 OR A572 GR50 UNLESS OTHERWISE NOTED.
- WOOD SHALL BE SYPRESS UNLESS OTHERWISE NOTED.
- GLASS SHALL BE 1/2" CLEAR GLASS UNLESS OTHERWISE NOTED.
- ALL FINISHES SHALL BE AS NOTED OR AS SHOWN.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
- ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL MECHANICAL AND PLUMBING CODE BOOK (IMC).
- ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL ELECTRICAL CODE BOOK (IEC).
- ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL FIRE AND SAFETY CODE BOOK (IFSC).
- ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL BUILDING DEPARTMENT CODE BOOK (IBD).
- ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL BUILDING DEPARTMENT CODE BOOK (IBD).

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UPDATED:	Nov 09-2018
SCALE:	1/4" = 1'-0"
	1/8" = 1'-0"
	3/4" = 1'-0"
ENG:	
SEAL:	

DESIGNER:
CRYSTALIS
720 QUEENS AVENUE
NEW WESMINSTER, B.C.
C2LL # (604) 716-9178
Email: c2ll@crystalisdesign.com

CLIENT:
Orion Development Ltd.
1081 Lansdowne Drive
Vancouver, B.C.
Canada
(604) 716-1192

PROJECT TITLE:
Garage & Deck Addition
3925 William Street
Burnaby, B.C.
S8 P7 122
PID 005-840-847

SHEET TITLE:
EXIST. & PROPOSED
SOUTH ELEVATIONS
GARAGE NORTH
ELEVATION

SHEET PAGE: 6 of 9
A06

NOTES:

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 ENGINEERS. NO PARTS OF THESE DRAWINGS
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 MEANS, ELECTRONIC OR MECHANICAL,
 INCLUDING PHOTOCOPYING, RECORDING,
 OR BY ANY INFORMATION STORAGE AND
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 ENGINEERS.

REV	DATE	ISSUED FOR:
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3		As Built

PROJECT:	NEW GARAGE & DECK ADDITION
FILE:	CCD-080124
ACAD FILE:	2018-080124
DATE:	Nov 09-2018
DRAWN:	C.C.D.
CHECK:	C.C.D.
DATE:	June 18-2018
UPDATED:	Nov 09-2018
SCALE:	1/4" = 1'-0"
ENG:	3/4" = 1'-0"
SEAL:	

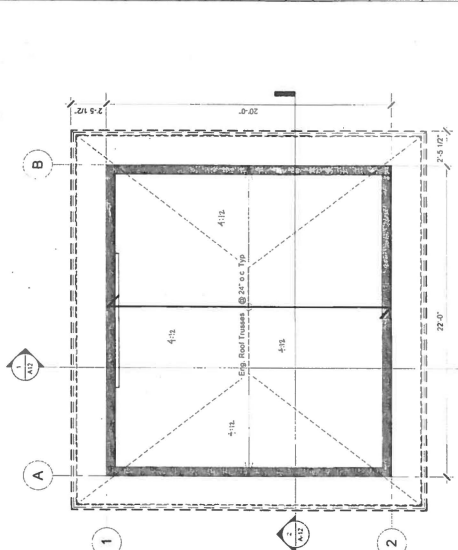
DESIGNER:
 CRISAUS CONSULTING ENGINEERS
 1000 WESTMINSTER BLVD.
 SUITE 100
 WESTMINSTER, B.C.
 V3N 4S1
 TEL: 604.734.1177
 FAX: 604.734.1178
 EMAIL: crisaus@crisaus.com

CLIENT:
 Orland Development Ltd.
 1000 Westminister Blvd.
 Suite 100
 Westminister, B.C.
 V3N 4S1
 TEL: 604.734.1177
 FAX: 604.734.1178
 EMAIL: orland@orland.com

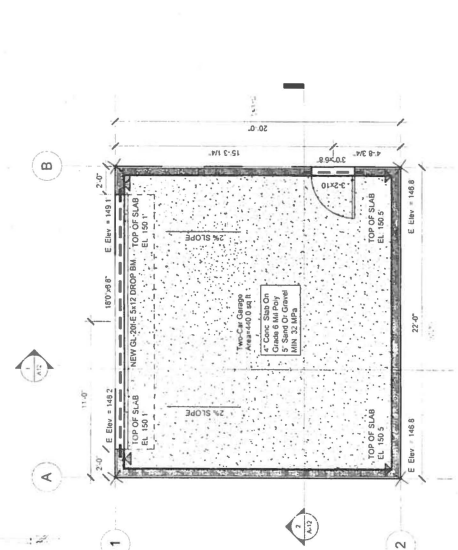
PROJECT TITLE:
 Garage & Deck Addition
 9025 William Street
 Burnaby, B.C.
 V5N 1J5
 PROJECT NO.: PD-002-004-07

SHEET TITLE:
 PROPOSED GARAGE
 FLOOR PLANS AND
 ELEVATIONS

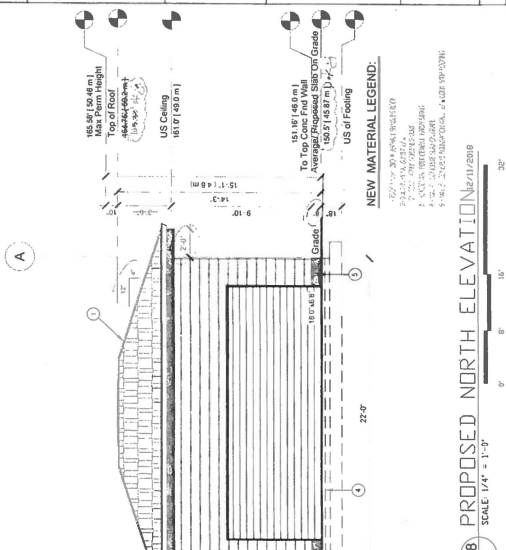
SHEET PAGE: 8 of 9
 A08



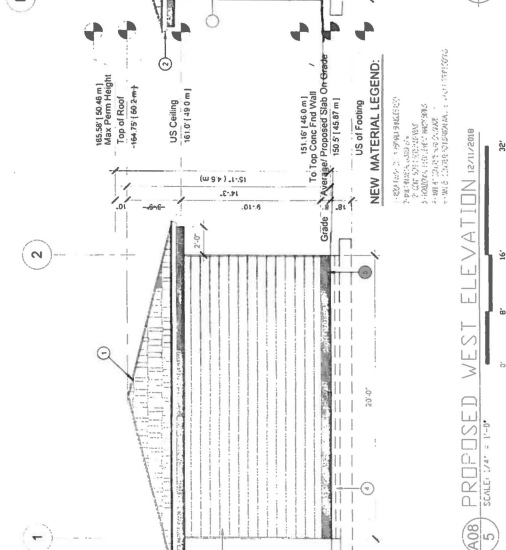
A08-2 PROPOSED MAIN-FLOOR PLAN 12/11/2018
 SCALE: 1/4" = 1'-0"



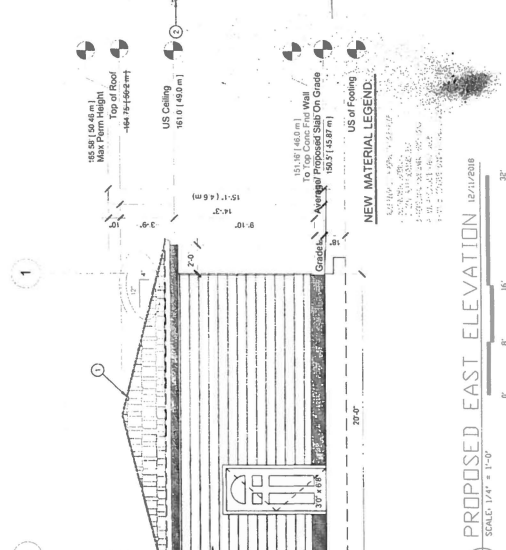
A08-1 PROPOSED FOUNDATION PLAN 12/11/2018
 SCALE: 1/4" = 1'-0"



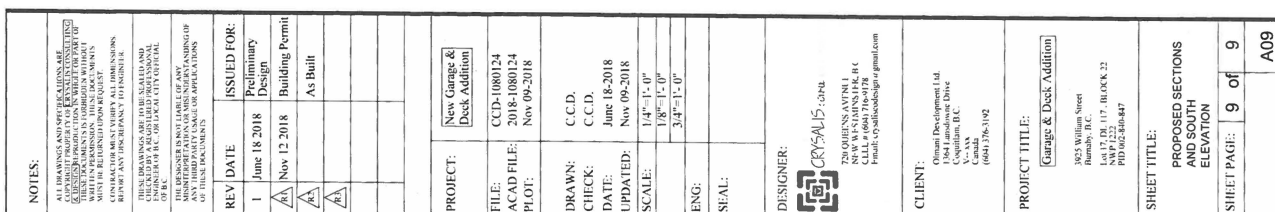
A08-6 PROPOSED NORTH ELEVATION 12/11/2018
 SCALE: 1/4" = 1'-0"



A08-5 PROPOSED WEST ELEVATION 12/11/2018
 SCALE: 1/4" = 1'-0"



A08-4 PROPOSED EAST ELEVATION 12/11/2018
 SCALE: 1/4" = 1'-0"

[illegible][illegible][illegible]

Grade 2

Technical drawing of a roof structure. The drawing includes a cross-section (B) and a plan view (C). The cross-section shows a roof with a gable end, a chimney, and a dormer. The plan view shows the layout of the roof with various dimensions and labels. The drawing is labeled 'B' and 'C'.

TOPOGRAPHIC PLAN OF LOT 17, BLOCK 22, DISTRICT LOT 117, NWD, PLAN 1222

Scale: 1 inch = 20 feet

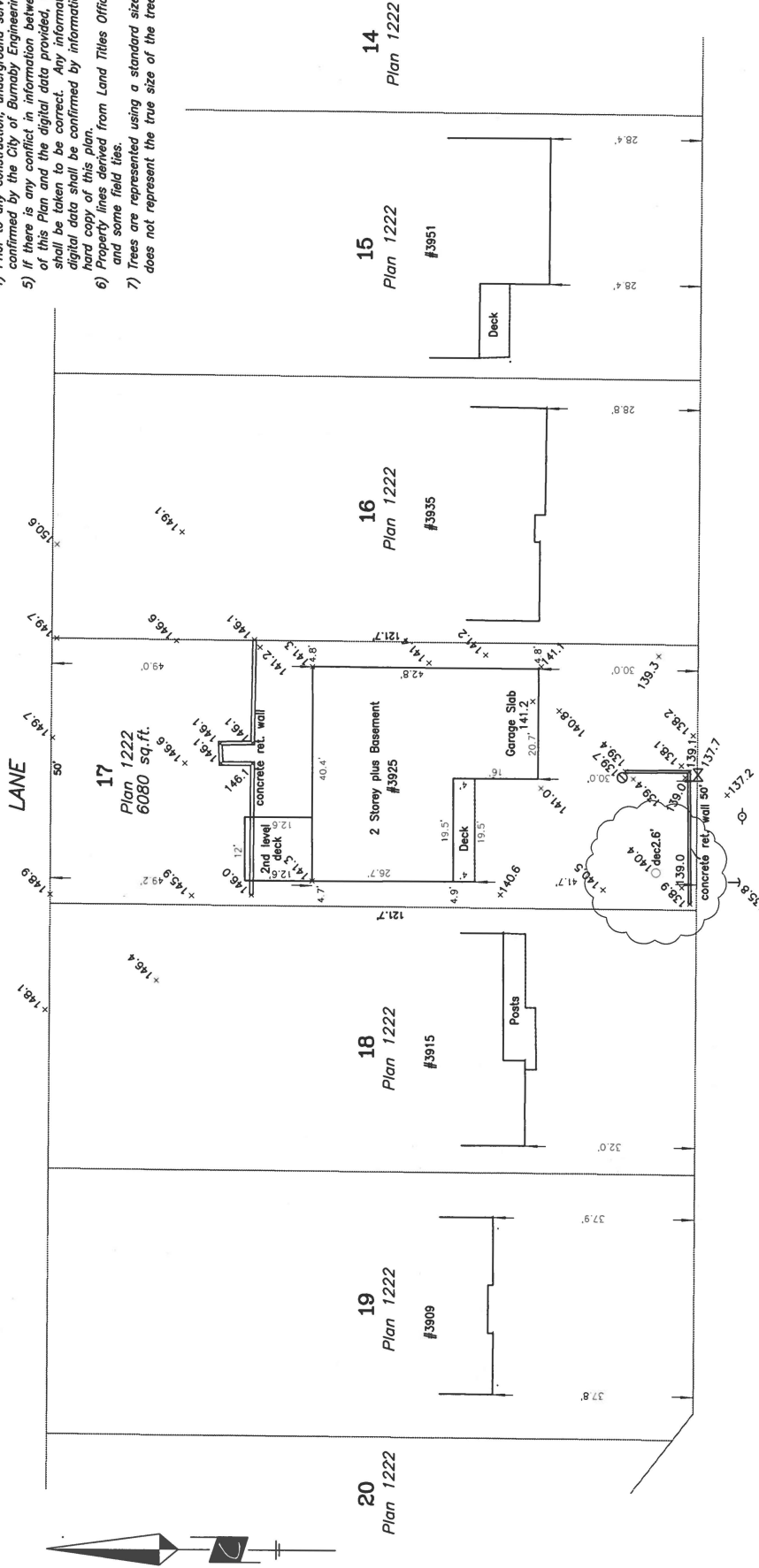
CIVIC ADDRESS: 3925 William Street, Burnaby B.C.

SURVEY LEGEND

- Catch Basin (Round)
- ⊗ Water Valve
- ↓ Guy Wire Anchor
- dec2.6' Deciduous tree 2.6' diameter
- Power Pole

NOTES:

- 1) Elevations are in feet and are geodetic.
- 2) Elevations are derived from Control Monument no. 77H6732 located on the south side of Napier Street and the east side of Ingleton Ave. Elevation = 152.62' (46.518 metres)
- 3) This Plan was prepared for architectural design and site servicing purposes, and is for the exclusive use of our client. The signatory accepts no responsibility or liability for any damages that may be suffered by a third party as a result of reproduction, transmission or alteration to this document without consent of the signatory.
- 4) Prior to any construction, underground services are to be confirmed by the City of Burnaby Engineering Dept.
- 5) If there is any conflict in information between the hard copy of this Plan and the digital data provided, the hard copy shall be taken to be correct. Any information taken from digital data shall be confirmed by information shown on the hard copy of this plan.
- 6) Property lines derived from Land Titles Office records and some field ties.
- 7) Trees are represented using a standard size symbol. This symbol does not represent the true size of the tree on the site.



Cameron Land Surveying Ltd.
B.C. Land Surveyors
Unit 206 - 16055 Fraser Highway
Surrey, B.C. V4N 0C2
Phone: 604-597-3777
File: 6894-TP-FEET

$$\frac{37.8' + 32.0' + 28.8' + 28.4'}{4} = 31.7'$$

WILLIAM STREET

This plan has been prepared in accordance with the Professional Reference Manual with additional specifications from our client and is certified correct this 24th day of October, 2018.

Sean Costello

B.C.L.S. (900)

This plan lies within the Metro Vancouver Regional District