

ARCHITECTURAL DRAWING LIST

- EXISTING BUILDING SITE PLAN A-1
- OVERALL BLDG. & UNIT FLOOR PLANS A-2
- DETAILED MAIN FLOOR PLANS A-3
- DETAILED SECOND FLOOR PLANS A-4
- REFLECTED CEILING PLANS & DOOR SCHEDULE A-5
- SECTIONS A-6
- DETAILS A-7

SITE DATA - CRESCENT BUILDING 2, UNIT 101

CIVIC ADDRESS: 101 8228 NORTH FRASER WAY, BURNABY, B.C.  
 LEGAL DESCRIPTION: LEGAL LOT 2 DISTRICT LOT 1590 GROUP 1 NEW WESTMINSTER DISTRICT PLAN EPP 59059  
 SITE AREA: 294,946 sq. ft. (26.614) 6.85 acres (2.64 ha)  
 PROPOSED USE: RESIDENTIAL / INDUSTRIAL / OFFICE  
 BUILDING AREA (FOOTPRINT): 116,569 sq. ft. (10,824.6 m<sup>2</sup>)  
 ZONING: CD BASED ON M-2M-9, BURNABY BUSINESS PARK GUIDELINES  
 SITE COVERAGE: (50% MAX) 40 %  
 F.A.R.: FOOTPRINT 116,569 sq. ft. (10,824.6 m<sup>2</sup>)  
 2ND FLOOR / MEZZANINE: 21,314 sq. ft. (1,980.6 m<sup>2</sup>)  
 FUTURE MEZZANINE (UNIT 107): 3,272 sq. ft. (303.9 m<sup>2</sup>)  
 FLOOR AREA: 141,660 sq. ft. (13,113.2 m<sup>2</sup>)  
 (F.A.R. INCLUDES POSSIBLE FUTURE 2ND FLOOR AS INDICATED ON DRAWINGS, CONFIRM WITH T.I. PERMITS)

SETBACKS:	REQUIRED	PROPOSED
FRONT LOT LINE:	29.59' (9.0m)	48.29' (14.69m)
REAR (ADJACENT TO AGRICULTURAL):	19.64' (6.0m)	14.51' (4.42m)
INTERIOR (ADJACENT TO THE PARK):	19.64' (6.0m) O	41.34' (12.60m)
INTERIOR (ABUTTING INDUSTRIAL):	19.64' (6.0m) O	22.5' (6.86m)

HEIGHT: 39.57' MAX. [12m] 37'-8 1/4" [11.48m] (SEE SECTIONS / ELEVATIONS)  
 PARKING REQUIREMENTS FOR UNIT 101 ONLY:  
 REQUIRED: 1 STALL / 2,000.0 sq. ft.  
 HANGAR / STORAGE: 1 STALL / 1,000.0 sq. ft.  
 MANUFACTURING / PRODUCTION: 1 STALL / 485.16 sq. ft.  
 OFFICES: 1 STALL / 485.16 sq. ft.  
 CAFE: 1 STALL / 485.16 sq. ft.

SECOND FLOOR OFFICES = 2500 / 485.16  
 CAFE = 168 / 485.16  
 WAREHOUSE TOTAL = 7,856 / 2002.0  
 MANUFACTURING = 3,260 / 1001.0  
 TOTAL PARKING REQUIRED: 15 (14.71)  
 TOTAL PARKING PROVIDED: 17 STALLS

PROVIDED FOR BUILDING:  
 BICYCLE PARKING REQUIRED: 10% OF REG'D CAR STALLS = 15.4  
 BICYCLE PARKING (INSIDE BUILDING, TYP) PROVIDED = 16  
 LOCATED INSIDE EACH UNIT AT GRADE FLOOR.  
 PARKING REQUIREMENTS FOR PERSONS WITH DISABILITIES:  
 PER BC2: 10% 3.8:4.10 IN ALL OTHER OCCUPANCIES WHERE MORE THAN 50 PARKING SPACES ARE PROVIDED. PARKING STALLS FOR PERSONS WITH DISABILITIES SHALL BE PROVIDED IN THE RATIO OF 1 FOR EVERY 100 OR PART THEREOF.  
 156 SPACES: 1 SPACE FOR FIRST 100 + 1 SPACE FOR REMAINING 56 = 2 SPACES.  
 LOADING REQUIREMENTS:  
 3 LOADING SPACES REQUIRED FOR FIRST 2 500 sq. m. PER 4 600 sq. m. FOR REMAINING AREA OR PART OF 4 600 sq. m.  
 5/4 (6) LOADING SPACE REQUIRED BY LOADING SPACES PROVIDED

BUILDING CODE REVIEW - UNIT 101

2012 BRITISH COLUMBIA BUILDING CODE, PART 3  
 BASIS FOR DESIGN: F-2 (MEDIUM HAZARD INDUSTRIAL SUBSIDIARY OCCUPANCY)  
 MAJOR OCCUPANCY: F-2 (MEDIUM HAZARD INDUSTRIAL SUBSIDIARY OCCUPANCY)  
 3.1.4. CONSTRUCTION TYPE: NON-COMBUSTIBLE CONSTRUCTION  
 3.1.7. FIRE SEPARATIONS: - TO HAVE RATED GLOVES & GLOSSES  
 3.1.11. FIRE SEPARATIONS: - TO HAVE FIRESTOPPING & / OR FIRE DAMPERS  
 3.1.13. FLAME SPREAD RATING: - MAX. ISO TYP. EXCEPT 25 FOR EXITS  
 3.1.15. ROOF COVERINGS: - CANULC-507-M CLASS AB OR C REQ'D  
 3.1.17. OCCUPANT LOAD: - WAREHOUSE = 20.00 HQ PER PERSON  
 OFFICES = 15.00 HQ PER PERSON  
 MANUFACTURING = 4.0 HQ PER PERSON  
 DESIGN OCCUPANT LOAD UNIT 101:  
 USE FLOOR AREA PERSONS  
 WAREHOUSE 8,840 sq. ft. 4  
 SECOND FLOOR OFFICES 2,020 sq. ft. 10  
 MANUFACTURING 3,260 sq. ft. 15  
 TOTAL 14,120 sq. ft. 29

3.2.2. BASE BUILDING CLASSIFICATION: CRITERIA TO DETERMINE CLASSIFICATION:  
 - BUILDING AREA: 116,569 sq. ft. (10,824.6 m<sup>2</sup>)  
 - NUMBER OF STOREYS: 2  
 - FULLY MONITORED SPRINKLER SYSTEM  
 - NON-COMBUSTIBLE CONSTRUCTION  
 CLASSIFICATION - 3.2.2.56 GROUP D  
 - MAX FLOOR AREA: UNLIMITED = 2 - STOREYS  
 - NON-COMBUSTIBLE CONSTRUCTION  
 - FLOORS ASSEMBLIES SHALL BE FIRE SEPARATIONS WITH A FIRE RESISTANCE RATING NOT LESS THAN 1 HR. AND - MEZZANINES SHALL HAVE 1/2 HR. COMBUSTIBLE CONSTRUCTION A FIRE RESISTANCE RATING OF 1 HR.  
 - LOAD BEARING WALLS, COLUMNS AND ARCHES SUPPORTING AN ASSEMBLY REQUIRED TO HAVE A FIRE-RESISTANCE RATING NOT LESS THAN REQUIRED FOR THE SUPPORTED ASSEMBLY OR BE OF NON-COMBUSTIBLE CONSTRUCTION  
 CLASSIFICATION - 3.2.2.72 GROUP F, DIVISION 2  
 - MAX FLOOR AREA: ANY HEIGHT, ANY AREA, SPRINKLERED  
 - NON-COMBUSTIBLE CONSTRUCTION  
 - FLOORS ASSEMBLIES SHALL BE FIRE SEPARATIONS WITH A FIRE RESISTANCE RATING NOT LESS THAN 2 HOUR.  
 - MEZZANINES SHALL HAVE A FIRE RESISTANCE RATING OF 1 HOUR, AND - LOAD BEARING WALLS, COLUMNS AND ARCHES SHALL HAVE A FIRE-RESISTANCE RATING NOT LESS THAN REQUIRED FOR THE SUPPORTED ASSEMBLY.

3.2.2.72 - MOST RESTRICTIVE

3.2.5. SPATIAL SEPARATIONS	WALL AREA	LIMITING DISTANCE ALLOWED U.P.O.S	U.P.O.S CONSTRUCTION REQUIREMENTS
NORTH			
SOUTH			
WEST			
EAST			

EXISTING NO CHANGE

3.2.4. FIRE ALARM SYSTEM: REQUIRED AND PROVIDED

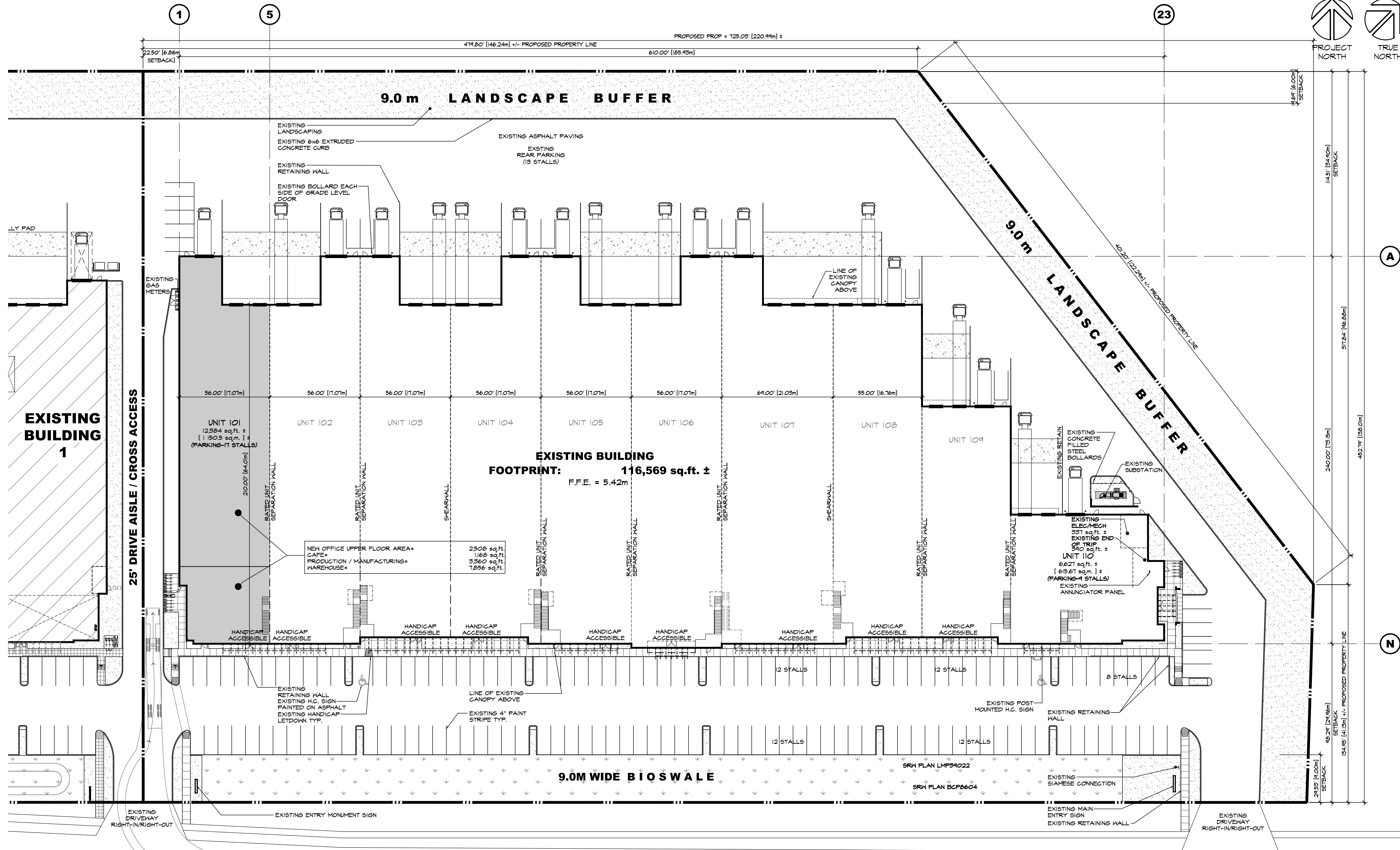
3.2.5. PROVISIONS FOR FIRE FIGHTING: - ACCESS ROUTE, EXISTING NO CHANGE

3.2.6. MEZZANINES: IF VISUALLY OPEN, 40 % OF FLOOR AREA OR IF ENCLOSED, 10 % OF FLOOR AREA

3.5.1. SAFETY WITHIN FLOOR AREAS:  
 3.5.1.5. EGRESS: - MAX FLOOR AREA FOR 1 EGRESS DOOR = 200 M<sup>2</sup> (F2)  
 - MAX TRAVEL DISTANCE FOR 1 EGRESS DOOR = 25 M  
 3.5.1.2. EXITS: - MAX FLOOR AREA FOR 1 EXIT = 200 M<sup>2</sup> (F2)  
 - MAX TRAVEL DISTANCE FOR 1 EGRESS DOOR = 25 M  
 - MAX TRAVEL DISTANCE (SPRINKLERED) = 45 M

3.1.2.2. WATER CLOSETS:  
 REQ'D PROVIDED  
 WAREHOUSE / MANUFACTURING 2 FEMALE, 2 MALE 4 FEMALE, 4 MALE  
 OFFICE 1 F/M 1 F/M

5.0. REQUIREMENTS FOR THOSE WITH DISABILITIES:  
 - ACCESS PROVIDED TO MAIN ENTRANCE PER 3.9.3.5.  
 - PROVIDE H.G. ACCESSIBLE W.C.S PER 3.14.8.  
 - NOT APPLICABLE TO MEZZANINES LESS THAN 600 M<sup>2</sup>



NORTH FRASER WAY



NOTES:  
 - SERVICES SHOWN ARE APPROXIMATE ONLY. SEE CIVIL DRAWINGS FOR FINAL LOCATIONS  
 - ASPHALT & SUBBASE DESIGN PER SOILS REPORT  
 - CONTRACTOR TO PROVIDE FOOTING & WALL SURVEYS (BY REGISTERED B.C.L.S.) DURING CONSTRUCTION. SUBMIT COPIES TO CITY BUILDING DEPT.  
 - SEE MECHANICAL ENGINEERS DRAWINGS FOR FINAL LOCATION OF FIRE DEPARTMENT CONNECTION & HOSE BIBBS  
 - SEE ELECTRICAL DRAWINGS FOR LOCATION OF ALARM PANEL  
 NOTE: ALL ONSITE AND OFFSITE GRADINGS TO BE CONFIRMED WITH CIVIL ENGINEER.  
 NOTE: ALL GARBAGE STORED INSIDE BUILDING.

CHIP BARRETT ARCHITECT  
 1162 - 2228 162 STREET, BURNABY, B.C. V3Z 6P4  
 IN ASSOCIATION WITH  
**D.FORCE** DESIGN INC.  
 2625A ALLIANCE STREET, ABBOTSFORD, B.C. V2S 3J9  
 TEL: (604) 607-5655 EMAIL: DARYL@DFORCE.CA

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4	AUG 28 19	PLANNING REVIEW
3	JUL 18 18	RECORD DRAWINGS
2	OCT 12 17	ISSUED FOR BUILDING PERMIT
1	SEPT 26 17	ISSUED FOR REVIEW

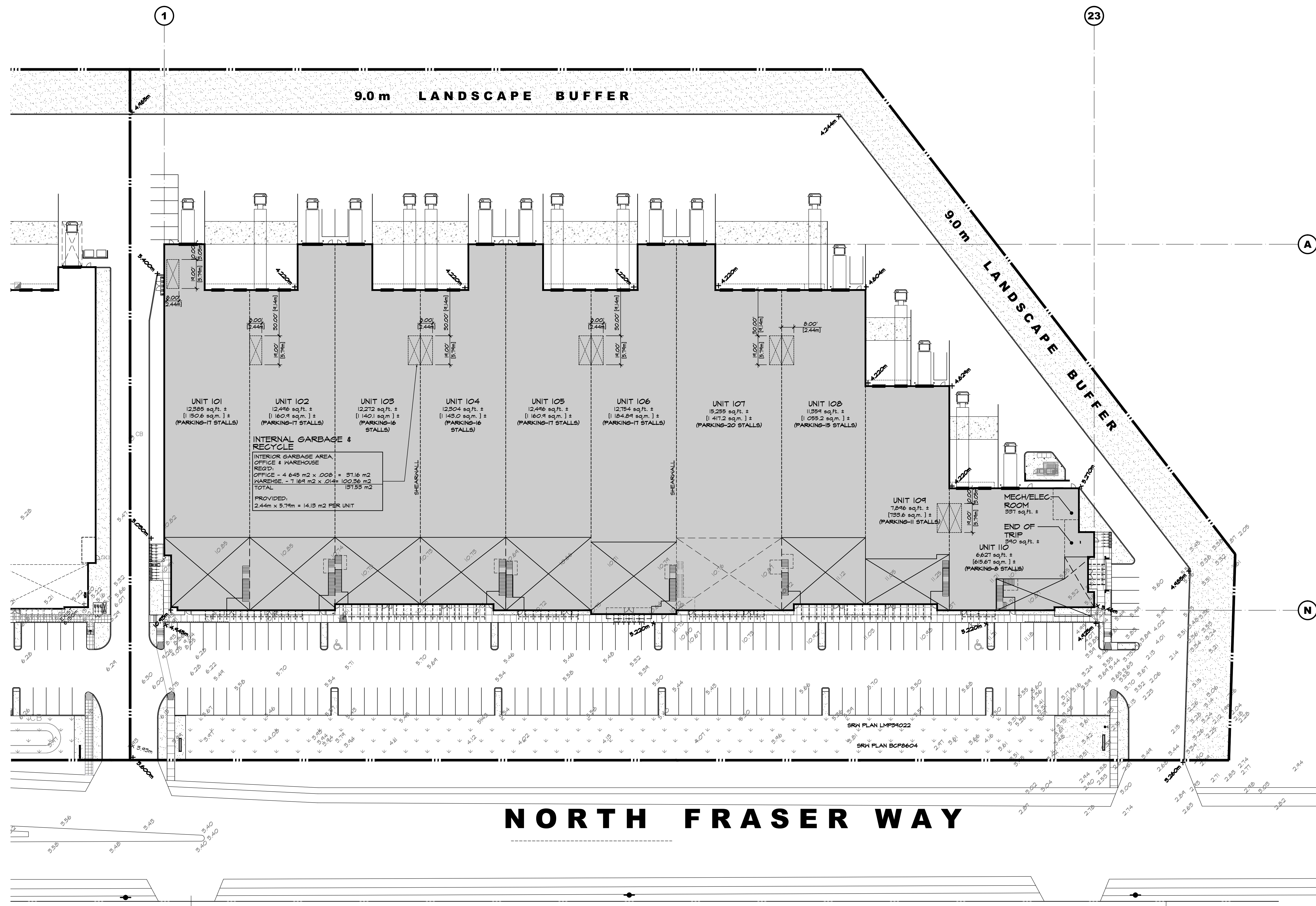
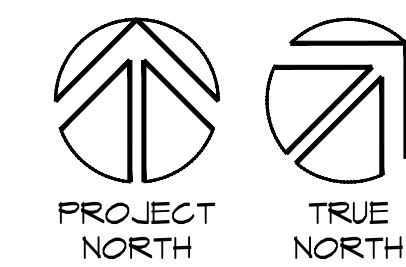
PROPOSED TENANT IMPROVEMENT FOR:

**JJ BEAN**

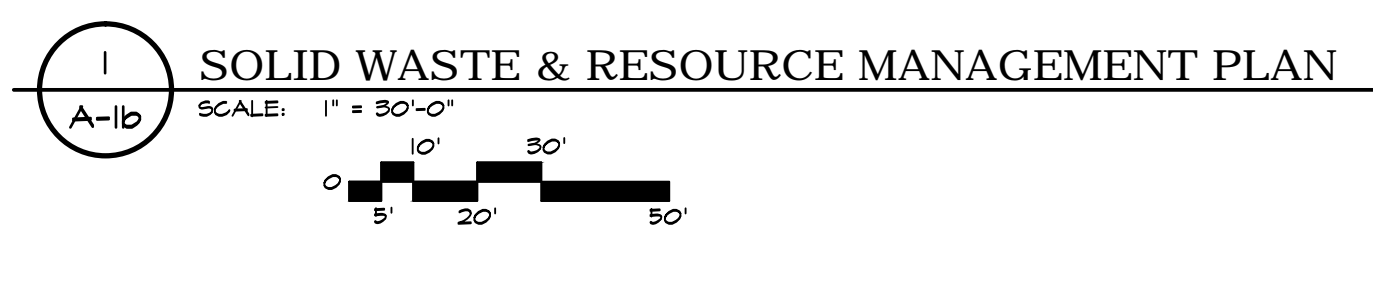
ADDRESS: 101 8228 NORTH FRASER WAY, BURNABY, B.C.  
 DRAWING  
**EXISTING BUILDING SITE PLAN**

SEAL	DRAWN	JOB NO.
	D.F./K.R.	17-025
	DESIGNED	
	CHECKED	C.B.
	PLOT DATE	JUL 18 18
PROJECT - DRAWING NUMBER	REV.	
A-1	3	





**SOLID WASTE & RESOURCE MANAGEMENT PLAN**



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18	AUG 28 19	PLANNING REVIEW
17	FEB 06 17	CD SET, FINAL ADOPTION 2017 FEBRUARY 06
16	JAN 05 18	ISSUED FOR CONSULTANT USE
15	JUN 20 17	RE-ISSUED FOR CONSTRUCTION
14	JUN 13 17	ISSUED FOR BP RESUBMISSION
13	APR 18 17	ISSUED FOR CONSTRUCTION
12	FEB 15 17	ISSUED FOR TENDER
11	DEC 20 16	RE-ISSUED FOR PPA
10	DEC 12 16	RE-ISSUED FOR PPA
9	AUG 31 16	RE-ISSUED FOR 3RD READING
8	AUG 23 16	ISSUED FOR 3RD READING
7	MAY 18 16	ISSUED FOR BP CONSULTANT USE
6	MAY 13 16	ISSUED FOR BUILDING PERMIT
5	MAR 08 16	ISSUED FOR CONSULTANT USE
4	FEB 18 16	ISSUED FOR PPA
3	FEB 04 16	RE-ISSUED FOR REZONING
2	NOV 06 15	RE-ISSUED FOR REZONING
1	JUL 21 15	ISSUED FOR REZONING

PROPOSED

**Crescent**  
BUSINESS CENTRE  
BUILDING 2

ADDRESS: 8288 NORTH FRASER WAY, BURNABY, B.C.

DRAWING: **SOLID WASTE & RESOURCE MANAGEMENT PLAN**

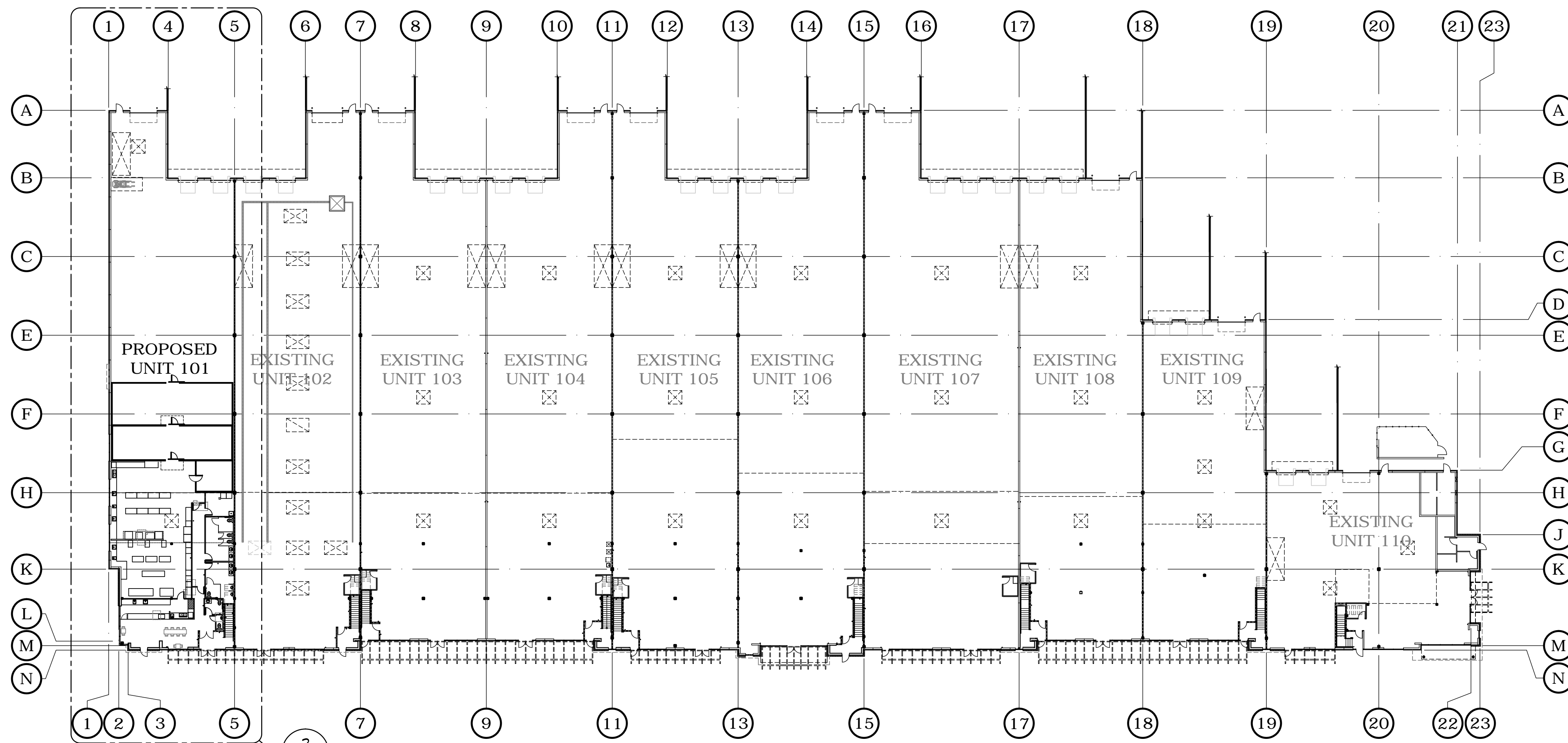
SEAL	DRAWN	JOB NO.
	D.F.	14-035
	DESIGNED	
	CHECKED	C.B.
	PLOT DATE	AUG 28 19

PROJECT - DRAWING NUMBER: **A-1b**      REV: **18**









1 OVERALL BUILDING FLOOR PLAN  
SCALE: 1/32"=1'-0"

WALL SCHEDULE

- ◆ EXISTING EXTERIOR INSULATED CONCRETE WALL  
NO CHANGE
- ◆ NEW 2 HOUR RATED SEPARATION WALL  
2-5/8" TYPE "X" GYPSUM BOARD EACH SIDE OF STEEL STUDS  
SEE STRUCTURAL DRAWINGS FOR STEEL STUD INFORMATION  
(ULC DETAIL 1404 OR APPROVED EQUAL) SEE DETAIL 1/A-1
- ◆ NEW 1 HOUR RATED SEPARATION WALL  
5/8" TYPE "X" GYPSUM BOARD EACH SIDE OF STEEL STUDS  
SEE STRUCTURAL DRAWINGS FOR STEEL STUD INFORMATION  
(ULC DETAIL 1404 OR APPROVED EQUAL) SEE DETAIL 2/A-1
- ◆ NEW UNRATED PARTITION WALL  
1/2" GYPSUM BOARD EACH SIDE OF STEEL STUDS  
SEE STRUCTURAL DRAWINGS FOR STEEL STUD INFORMATION
- ◆ NEW UNRATED FURRING  
1 5/8" OR 3 5/8" STEEL STUDS @ 16" O/C,  
1/2" GYPSUM BOARD TO OUTSIDE
- ◆ EXISTING 2 HR. RATED BLOCK WALL  
UNIT SEPARATION  
NO CHANGE
- ◆ EXISTING 1 HOUR RATED SEPARATION WALL  
NO CHANGE
- ◆ EXISTING 2 HOUR RATED SEPARATION WALL  
NO CHANGE
- ◆ EXISTING 1 HR. RATED SHEAR WALL  
NO CHANGE
- ◆ EXISTING WALL  
RATING AND CONSTRUCTION TO BE  
DETERMINED UNDER SEPARATE PERMIT
- 4" BATT INSULATION
- INDICATES EXTEND WALL (COMPLETE W/ DRYWALL BOTH  
SIDES) TO UNDERSIDE OF DECKING ABOVE.

WALL NOTES

- RATINGS FROM 12 B.C.B.C. D.2.1 4 D-2.3, WHERE NOTED, ENSURE COMPLIANCE W/ ALL ASPECTS OF APPLICABLE SECTIONS INCLUDING BUT NOT LIMITED TO FRAMING MEMBERS, APPLICATION, FASTENING AND FINISHES.
- ALL ASPECTS OF ULC DETAILS TO CONFORM TO CURRENT ULC DETAILS, CONFIRM AS REQUIRED
- CONFIRM ALL STEEL STUD GAUGE AND SPACING WITH STRUCTURAL DRAWINGS, INCLUDING NON-LOADBEARING.

INTERIOR GLAZING

WOOD FRAMES UNO.

NO.	SIZE
A	4'-0" H X 6'-0" H, SILL @ 1'-0" FROM FINISH FLOOR

NOTE: ALL DOORS AND WINDOWS TO COMPLY TO 5.3.1.2.4) OF B.C.B.C., 2012

GENERAL LEGEND

- DW = DISHWASHER (NIC)
- F = FRIDGE (NIC)
- GB = GRAB BAR
- HC = HANDICAP TOILET
- R = RANGE W/ HOOD
- TP = METAL TOILET PARTITIONS
- WD = WALL DRAIN

GENERAL NOTES

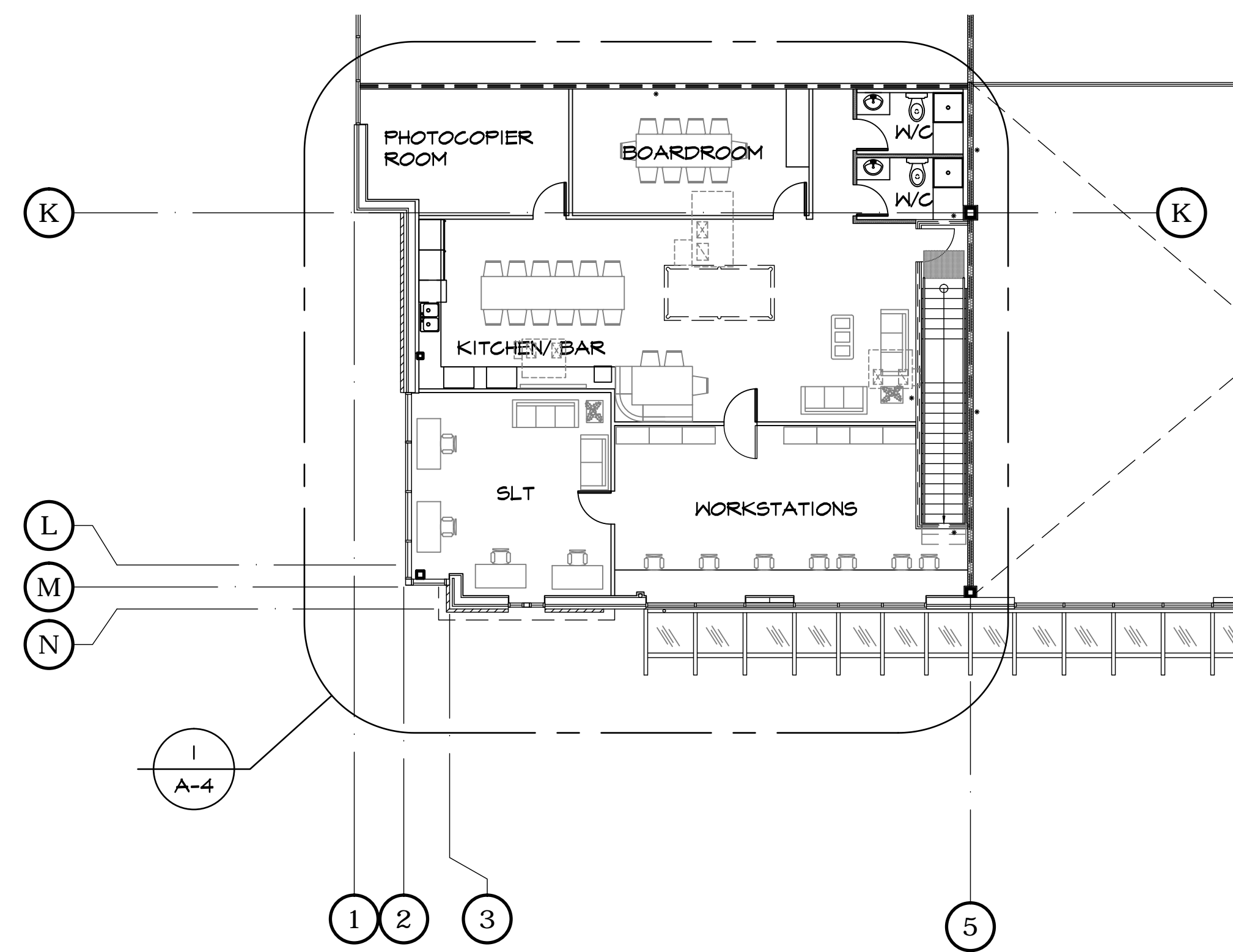
- APPLIANCES, WORK STATIONS, RECEPTION DESK, OTHER FURNITURE ETC. NOT INCLUDED

NOTE:

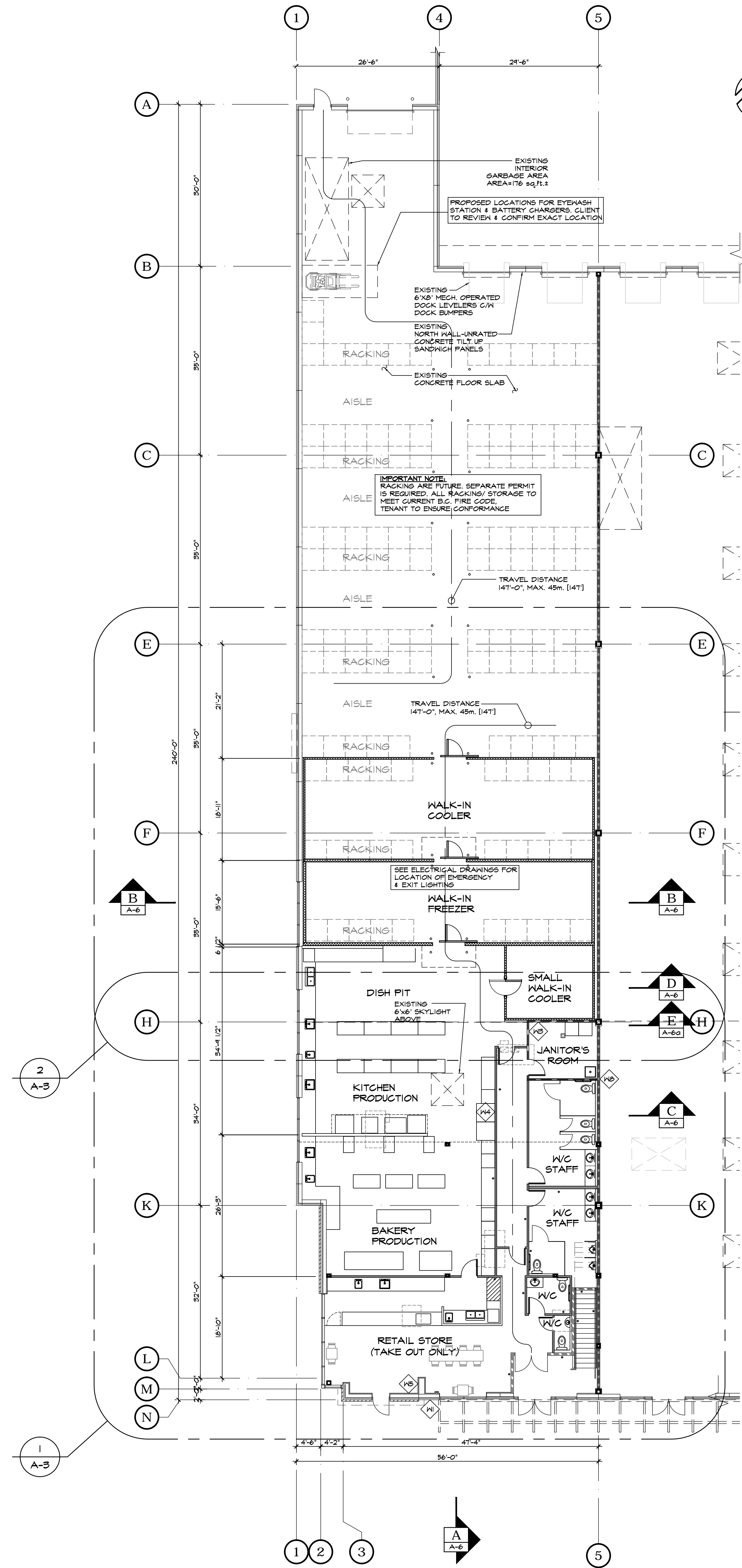
"EXISTING" MEANS BUILT WITH BASE BUILDING, OR SEPARATE PERMIT

IMPORTANT NOTE:

- NO BUILDING SERVICES TO PENETRATE OR BE IN EXIT STAIR FIRE SEPARATIONS EXCEPT THOSE SERVING THE STAIR ITSELF.  
SITE SUPER TO CONFIRM ON SITE AT THE TIME OF ROUGH IN



3 OVERALL UNIT 101 UPPER FLOOR PLAN  
SCALE: 3/32"=1'-0"



2 OVERALL UNIT 101 FLOOR PLAN  
SCALE: 3/32"=1'-0"

**CHIP BARRETT ARCHITECT**  
1182 - 2228 182 STREET, SURREY, B.C. V3Z 6P4  
PH: 604-536-1272  
IN ASSOCIATION WITH  
**D.FORGE DESIGN INC.**  
2625A ALANAVE STREET, ABOTSFORD, B.C. V2E 3J9  
TEL: (604) 607-5655 EMAIL: DFC@DFORGE.COM

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10	AUG.28.19	PLANNING REVIEW
9	JUL.18.18	RECORD DRAWINGS
8	MAR.07.18	VESTRULE WALL RELOCATION REVISION
7	FEB.15.18	UPDATED PER CITY COMMENTS
6	OCT.27.17	UPDATED PER CITY COMMENTS
5	OCT.12.17	ISSUED FOR BUILDING PERMIT
4	OCT.04.17	ISSUED FOR EQUIPMENT COORDINATION
3	SEP.26.17	ISSUED FOR REVIEW
2	SEP.22.17	ISSUE FOR CONSULTANT USE
1	SEP.07.17	CLIENT REVIEW

PROPOSED TENANT IMPROVEMENT FOR:

**JJ BEAN**

ADDRESS: 101 8288 NORTH FRASER WAY, BURNABY, B.C.  
DRAWING

OVERALL BLDG. & UNIT FLOOR PLANS

SEAL	DRAWN	JOB NO.
	D.F./K.R.	17-025
	DESIGNED	
	CHECKED	C.B.
	PLOT DATE	AUG.28.19

PROJECT - DRAWING NUMBER  
**A-2**

REV. **9**

**WALL SCHEDULE**

- ==== (A) EXISTING EXTERIOR INSULATED CONCRETE WALL. NO CHANGE
- ==== (B) NEW 2 HOUR RATED SEPARATION WALL. 2-3/8" TYPE "X" GYPSUM BOARD EACH SIDE OF STEEL STUD. SEE STRUCTURAL DRAWINGS FOR STEEL STUD INFORMATION (ULC DETAIL W-04 OR APPROVED EQUAL) SEE DETAIL W-1
- ==== (C) NEW 1 HOUR RATED SEPARATION WALL. 1-1/2" TYPE "X" GYPSUM BOARD EACH SIDE OF STEEL STUDS. SEE STRUCTURAL DRAWINGS FOR STEEL STUD INFORMATION (ULC DETAIL W-02 OR APPROVED EQUAL) SEE DETAIL 2/A-7
- ==== (D) NEW UNRATED PARTITION WALL. 1/2" GYPSUM BOARD EACH SIDE OF STEEL STUDS. SEE STRUCTURAL DRAWINGS FOR STEEL STUD INFORMATION
- ==== (E) NEW UNRATED FURRING. 1-1/8" OR 3-1/8" STEEL STUDS @ 16" O.C. 1/2" GYPSUM BOARD TO OUTSIDE
- ==== (F) EXISTING 2 HR. RATED BLOCK WALL. NO CHANGE
- ==== (G) EXISTING 1 HOUR RATED SEPARATION WALL. NO CHANGE
- ==== (H) EXISTING 2 HOUR RATED SEPARATION WALL. NO CHANGE
- ==== (I) EXISTING 1 HR. RATED SHEAR WALL. NO CHANGE
- ==== (J) FUTURE WALL. RATING AND CONSTRUCTION TO BE DETERMINED UNDER SEPARATE PERMIT
- ==== (K) 4" BATT INSULATION
- \* INDICATES EXTEND WALL (COMPLETE W/ DRYWALL BOTH SIDES) TO UNDERSIDE OF DECKING ABOVE.

**WALL NOTES**

- RATINGS FROM 12 B.C.B.C. D.21 & D-23, WHERE NOTED, ENSURE COMPLIANCE W/ ALL ASPECTS OF APPLICABLE SECTIONS, INCLUDING BUT NOT LIMITED TO FRAMING MEMBERS, APPLICATION, FASTENING AND FINISHES.
- ALL ASPECTS OF ULC DETAILS TO CONFORM TO CURRENT ULC DETAILS, CONFORM AS REQUIRED
- CONFIRM ALL STEEL STUD GAUGE AND SPACING WITH STRUCTURAL DRAWINGS, INCLUDING NON-LOADBEARING.
- WOOD FRAMES U.N.C.

**GENERAL LEGEND**

- DA = DISHWASHER (N/C)
- F = FRIDGE (N/C)
- GB = GRAB BAR
- HC = HANDICAP TOILET
- R = RANGE W/ HOOD
- TP = METAL TOILET PARTITIONS
- WD = WALL DRAIN

**GENERAL NOTES**

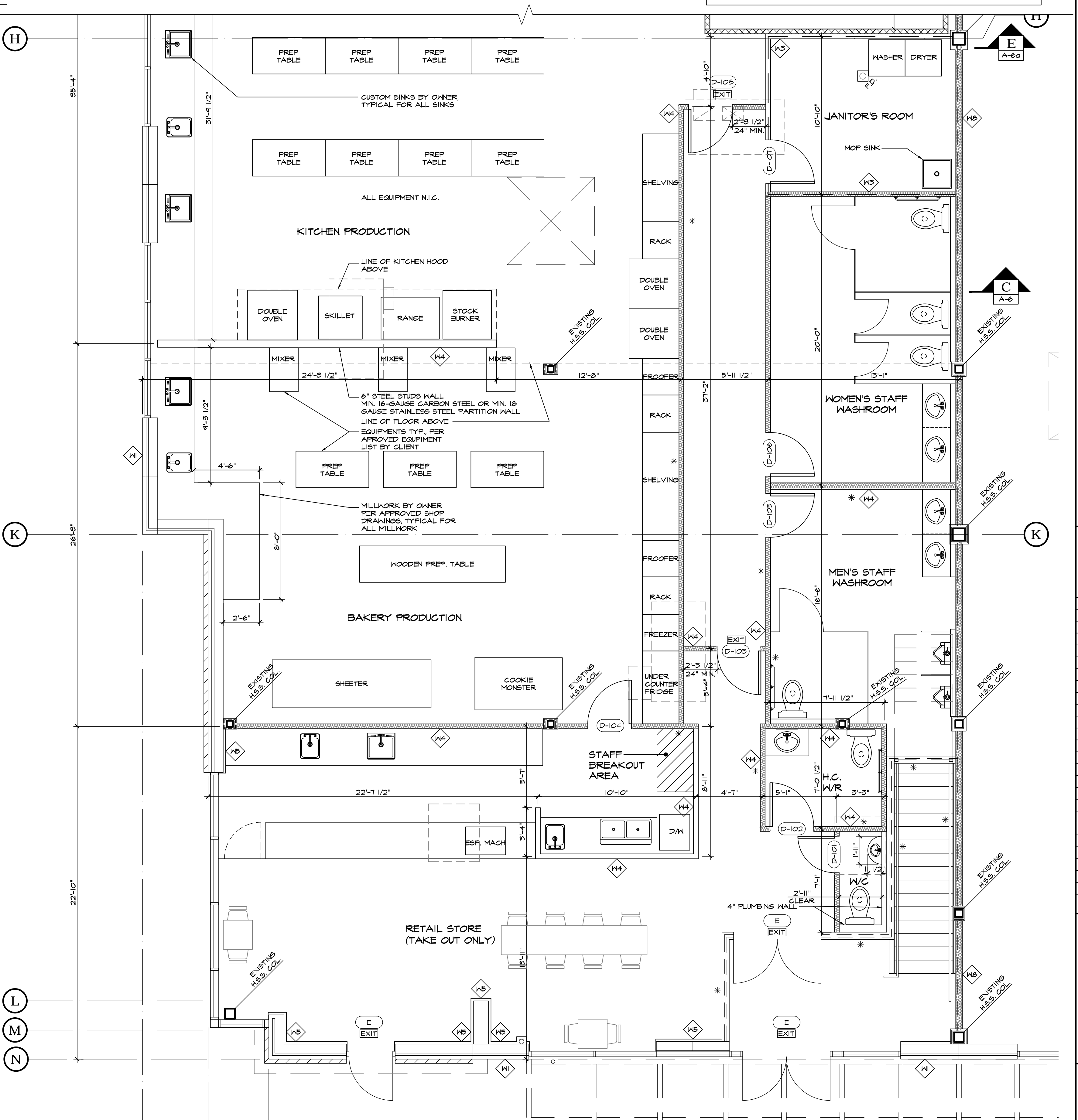
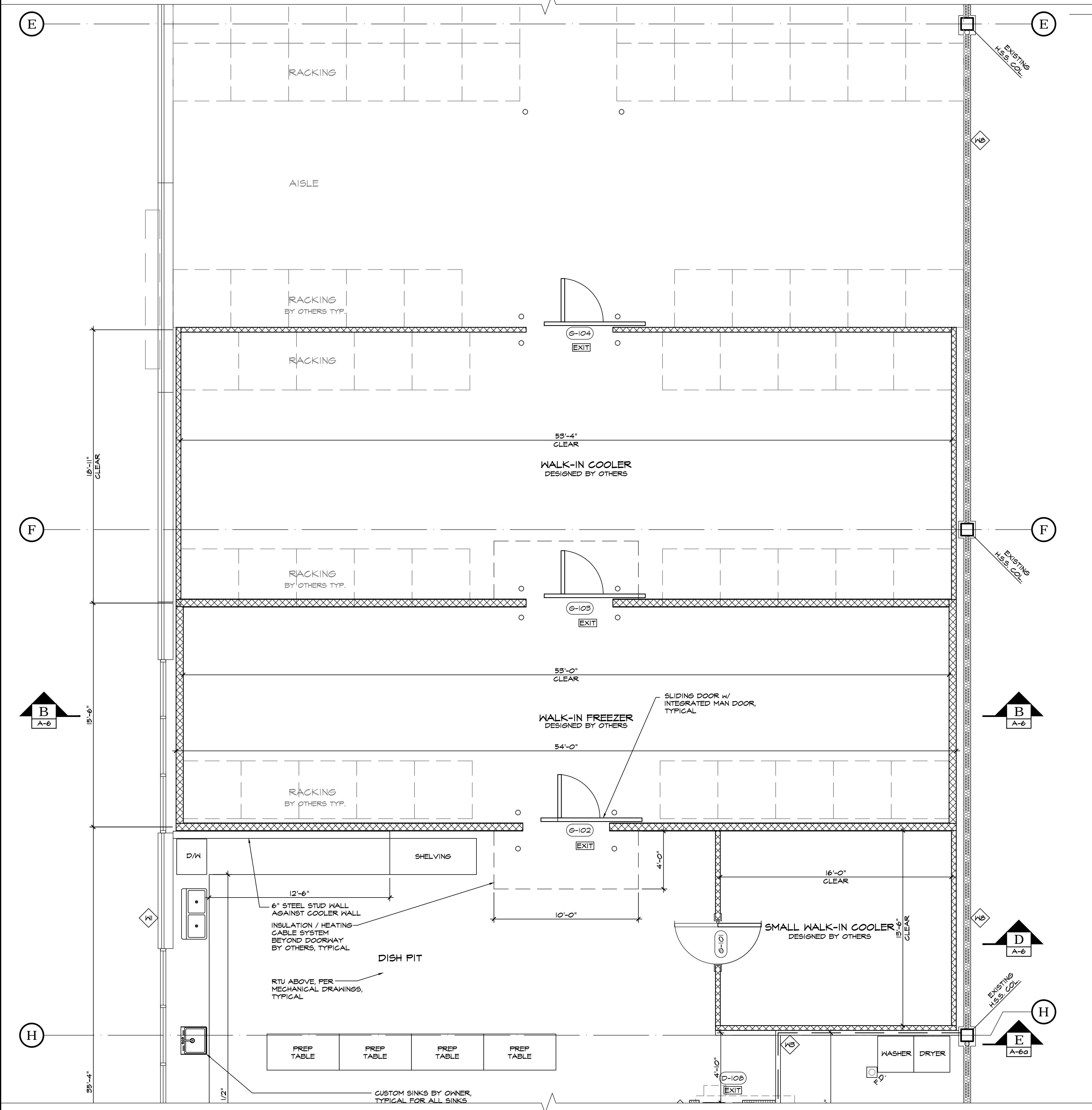
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**NOTE:**

"EXISTING" MEANS BUILT WITH BASE BUILDING, OR SEPARATE PERMIT

**IMPORTANT NOTE:**

- NO BUILDING SERVICES TO PENETRATE OR BE IN EXIT STAIR FIRE SEPARATIONS EXCEPT THOSE SERVING THE STAIR ITSELF. SITE SUPER TO CONFIRM ON SITE AT THE TIME OF ROUGH IN



**2**  
A-3  
DETAILED GROUND WAREHOUSE FLOOR PLAN  
SCALE: 1/4"=1'-0"

**1**  
A-3  
DETAILED GROUND FLOOR PLAN  
SCALE: 1/4"=1'-0"

**CHIP BARRETT ARCHITECT**  
#162 - 2228 162ND STREET, SUITE 207, BURNABY, B.C. V3Z 6P4  
IN ASSOCIATION WITH  
**D.FORCE DESIGN INC.**  
2625A ALLIANCE STREET, ABBOTSFORD, B.C. V2S 3J9  
TEL: (604) 607-5655 EMAIL: DARCY@DFORCE.CA

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3	SEP 26 17	ISSUED FOR REVIEW
2	SEP 22 17	ISSUE FOR CONSULTANT USE
1	SEP 07 17	CLIENT REVIEW

PROPOSED TENANT IMPROVEMENT FOR:

**JJ BEAN**

ADDRESS: 101 8288 NORTH FRASER WAY, BURNABY, B.C.  
DRAWING

**DETAILED MAIN FLOOR PLAN**

SEAL	DRAWN	JOB NO.
	D.F./K.R.	17-025
	DESIGNED	
	CHECKED	C.B.
	DATE	AUG 28 19

**WALL SCHEDULE**

- ==== **W1** EXISTING EXTERIOR INSULATED CONCRETE WALL  
NO CHANGE
- ==== **W2** NEW 2 HOUR RATED SEPARATION WALL  
2-5/8" TYPE "X" GYPSUM BOARD EACH SIDE OF STEEL STUDS  
SEE STRUCTURAL DRAWINGS FOR STEEL STUD INFORMATION  
(U.L.C. DETAIL W404 OR APPROVED EQUAL) SEE DETAIL W-A-7
- ==== **W3** NEW 1 HOUR RATED SEPARATION WALL  
5/8" TYPE "X" GYPSUM BOARD EACH SIDE OF STEEL STUDS  
SEE STRUCTURAL DRAWINGS FOR STEEL STUD INFORMATION  
(U.L.C. DETAIL W407 OR APPROVED EQUAL) SEE DETAIL W-A-7
- ==== **W4** NEW UNRATED PARTITION WALL  
1/2" GYPSUM BOARD EACH SIDE OF STEEL STUDS  
SEE STRUCTURAL DRAWINGS FOR STEEL STUD INFORMATION
- ==== **W5** NEW UNRATED FURRING  
1 5/8" OR 3 5/8" STEEL STUDS @ 16" O.C.  
1/2" GYPSUM BOARD TO OUTSIDE
- ==== **W6** EXISTING 2 HR. RATED BLOCK WALL  
INT. SEPARATION  
NO CHANGE
- ==== **W7** EXISTING 1 HOUR RATED SEPARATION WALL  
NO CHANGE
- ==== **W8** EXISTING 2 HOUR RATED SEPARATION WALL  
NO CHANGE
- ==== **W9** EXISTING 1 HR. RATED SHEAR WALL  
NO CHANGE
- ==== **W10** FUTURE WALL  
RATINGS AND CONSTRUCTION TO BE  
DETERMINED UNDER SEPARATE PERMIT
- ==== **W11** 4" BATT INSULATION
- \* INDICATES EXTEND WALL (COMPLETE W/ DRYWALL BOTH  
SIDES) TO UNDERSIDE OF DECKING ABOVE.

**WALL NOTES**

- RATINGS FROM 12 B.C.B.C. D.2.1 & D-2.5, WHERE NOTED, ENSURE COMPLIANCE W/ ALL ASPECTS OF APPLICABLE SECTIONS, INCLUDING BUT NOT LIMITED TO FRAMING MEMBERS, APPLICATION, FASTENING AND FINISHES.

- ALL ASPECTS OF U.L.C. DETAILS TO CONFORM TO CURRENT U.L.C. DETAILS, CONFIRM AS REQUIRED

- CONFIRM ALL STEEL STUD GAUGE AND SPACING WITH STRUCTURAL DRAWINGS, INCLUDING NON-LOADBEARING

**INTERIOR GLAZING**

WOOD FRAMES U.N.C.

NO.	SIZE
A	4'-0" W X 6'-0" H, SILL @ 1'-0" FROM FINISH FLOOR

NOTE: ALL DOORS AND WINDOWS TO COMPLY TO 5.5.1.2.4) OF B.C.B.C., 2012

**GENERAL LEGEND**

- DN = DISHWASHER (NIC)
- F = FRIDGE (NIC)
- GB = GRAB BAR
- HC = HANDICAP TOILET
- R = RANGE W/ HOOD
- TP = METAL TOILET PARTITIONS
- WD = WALL DRAIN

**GENERAL NOTES**

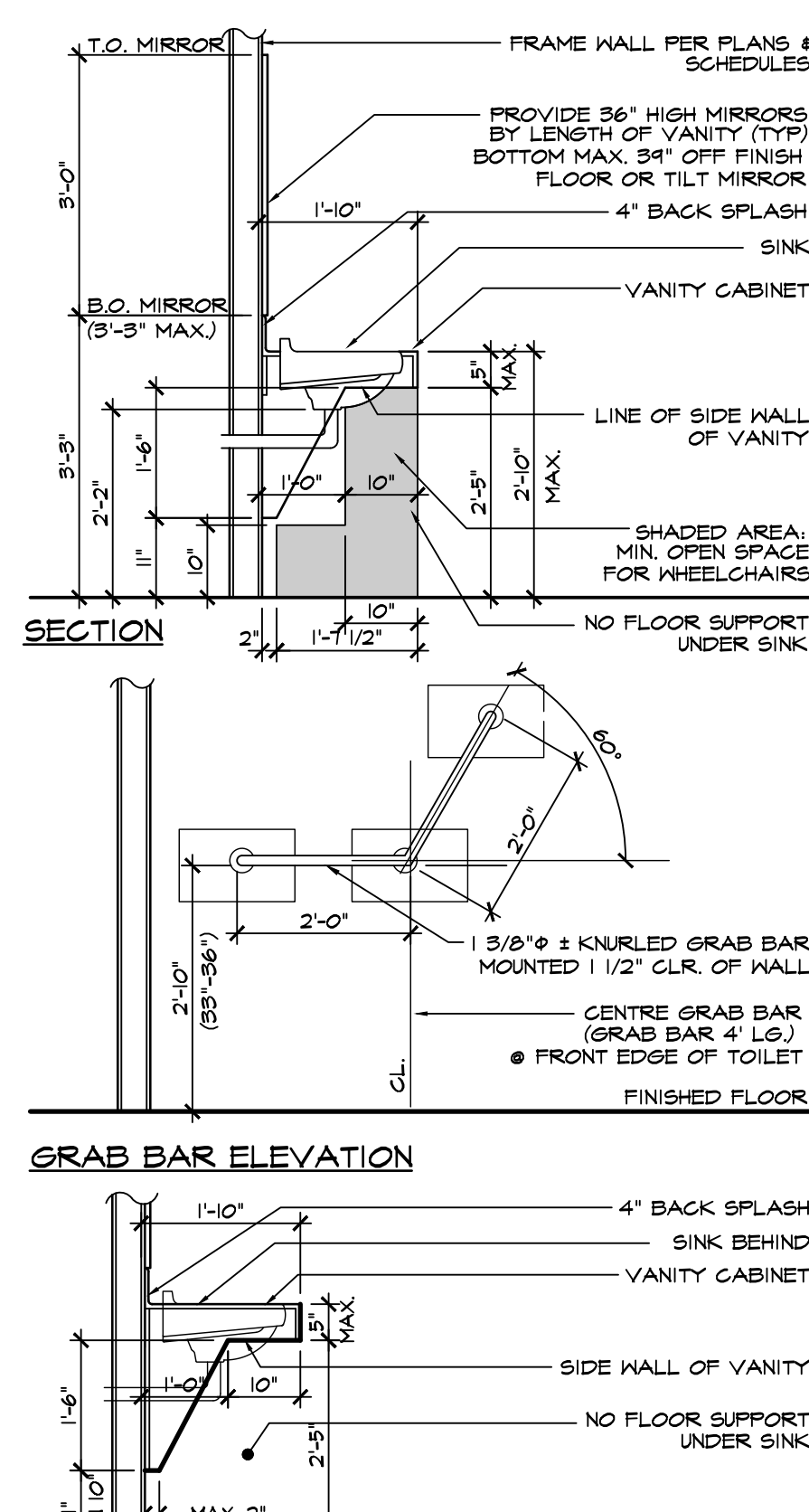
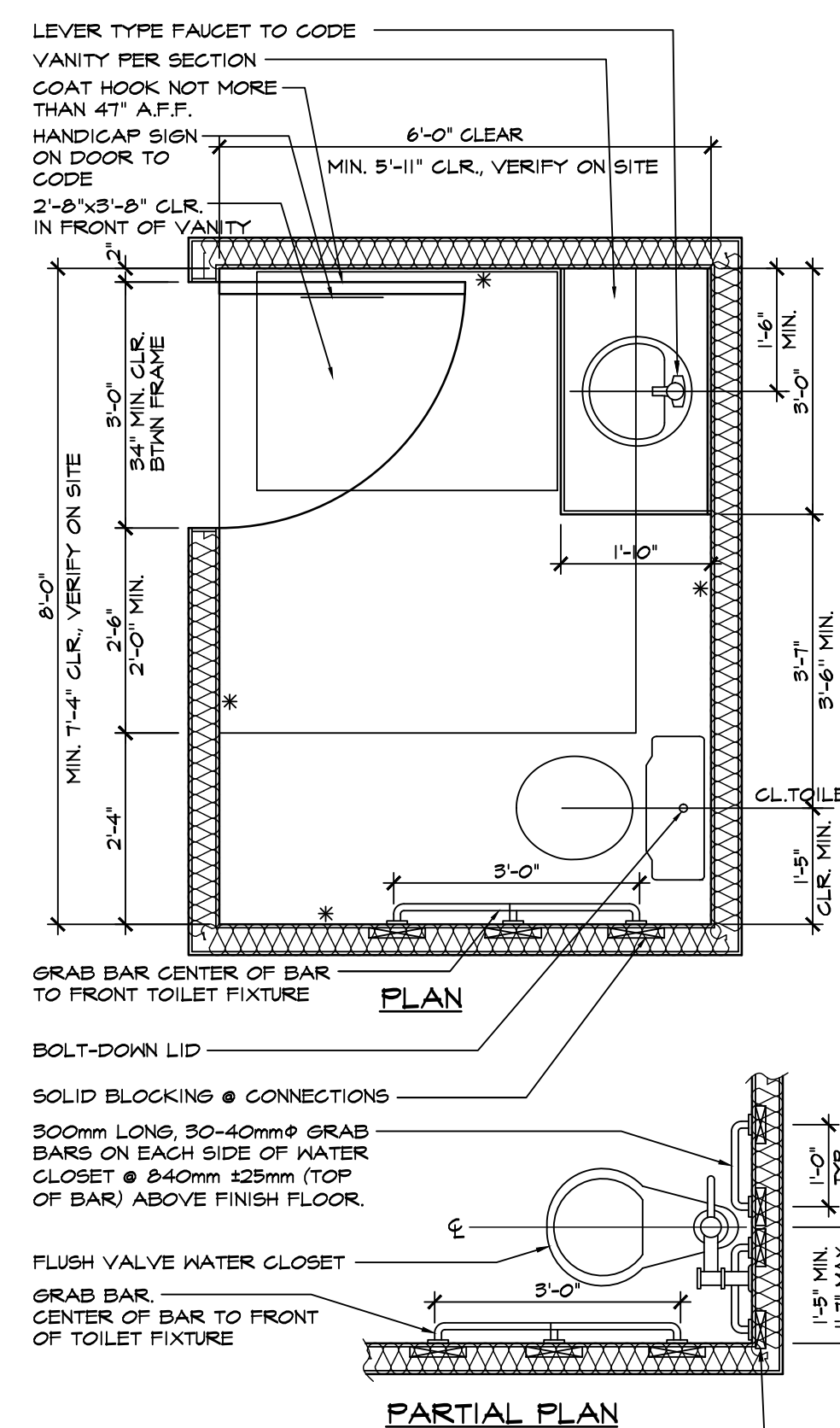
- APPLIANCES, WORK STATIONS, RECEPTION DESK, OTHER FURNITURE ETC. NOT INCLUDED

**NOTE:**

"EXISTING" MEANS BUILT WITH BASE BUILDING, OR SEPARATE PERMIT

**IMPORTANT NOTE:**

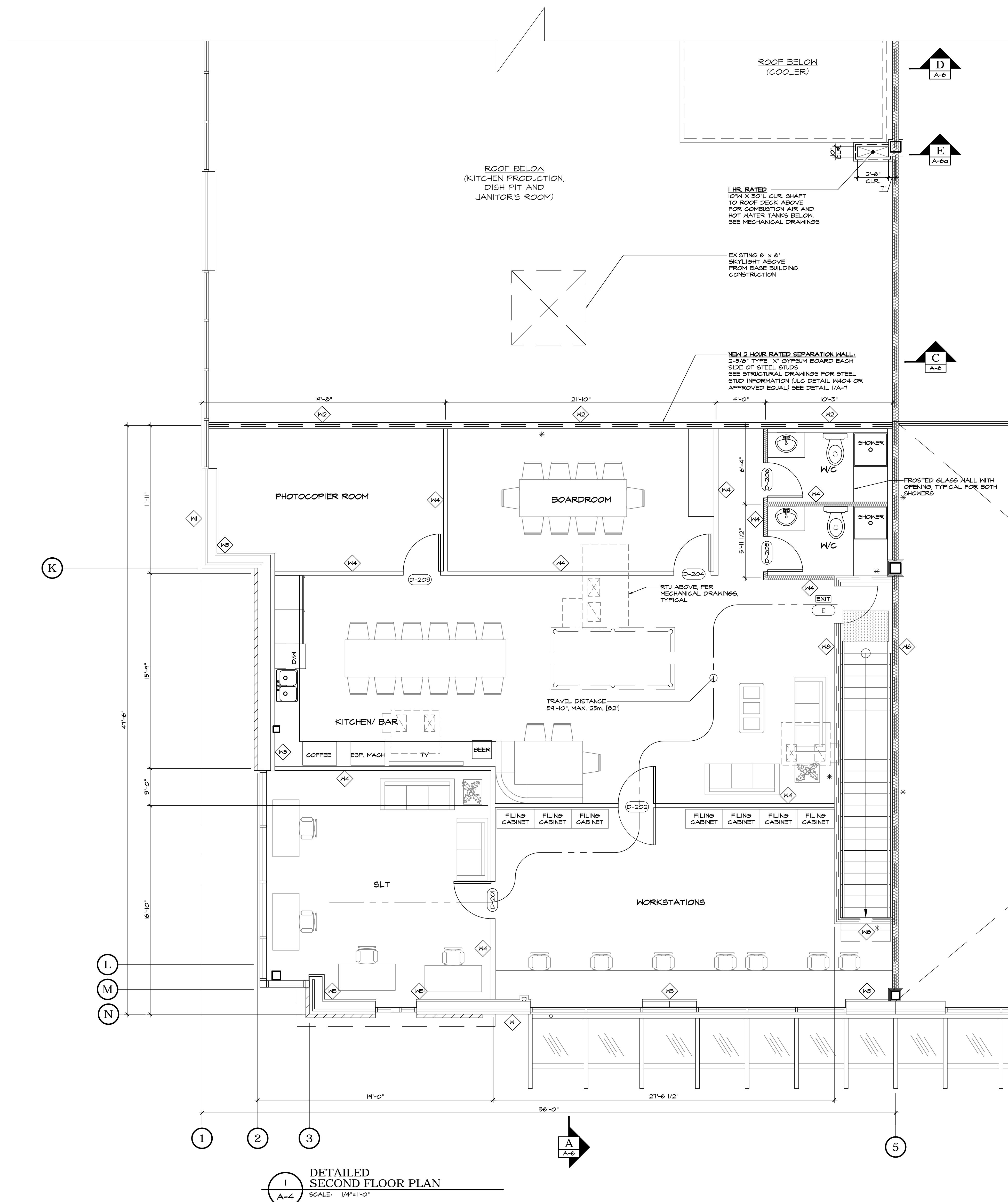
- NO BUILDING SERVICES TO PENETRATE OR BE IN EXIT STAIR FIRE SEPARATIONS EXCEPT THOSE SERVING THE STAIR ITSELF. SITE SUPER TO CONFIRM ON SITE AT THE TIME OF ROUGH IN



**H.C. WASHROOM NOTES:**  
TOILET NOTES:  
- BE MOUNTED WITH THE TOP OF THE RIM 1'-6" ABOVE THE FINISHED FLOOR.  
- HAVE A TOILET SEAT THAT IS NOT THE SPRING-UP TYPE  
- HAVE ACCESSIBLE HAND-OPERATED FLUSHING CONTROLS  
- TANK-TYPE WATER CLOSETS TO HAVE TANK LIDS BOLTED DOWN. IF A FLUSH VALVE TYPE (TANKLESS) TOILET IS USED AN ADDITIONAL GRAB BAR 600mm LONG CENTERED AT 840mm A.F.F. WILL BE REQUIRED ACROSS THE BACK OF THE TOILET.  
SEE ALSO 2012 B.C.B.C. 4 BUILDING ACCESS HANDBOOK FOR ADDITIONAL INFORMATION

**SIDE WALL**  
\* SIDE WALL SHALL BE INSPECTED AS PER DETAIL DIMENSIONS

**2 TYPICAL UNISEX H.C. WASHROOM DETAIL**  
SCALE: 1/2"=1'-0"



**1 DETAILED SECOND FLOOR PLAN**  
SCALE: 1/4"=1'-0"

**CHIP BARRETT ARCHITECT**  
#162 - 2228 162ND STREET, SURREY, B.C. V3Z 6P4  
IN ASSOCIATION WITH  
**D.FORCE DESIGN INC.**  
2625A ALLIANCE STREET, ABBOTSFORD, B.C. V2S 3J9  
TEL: (604) 607-5655 EMAIL: DARCY@DFORCE.CA

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NO.	DATE	DESCRIPTION
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7	AUG 28 19	PLANNING REVIEW
6	JUL 18 18	RECORD DRAWINGS
5	JAN 23 18	PERMIT COMMENTS
4	OCT 12 17	ISSUED FOR BUILDING PERMIT
3	SEP 26 17	ISSUED FOR REVIEW
2	SEP 22 17	ISSUE FOR CONSULTANT USE
1	SEP 07 17	CLIENT REVIEW

PROPOSED TENANT IMPROVEMENT FOR:  
**JJ BEAN**

ADDRESS: 101 8288 NORTH FRASER WAY, BURNABY, B.C.

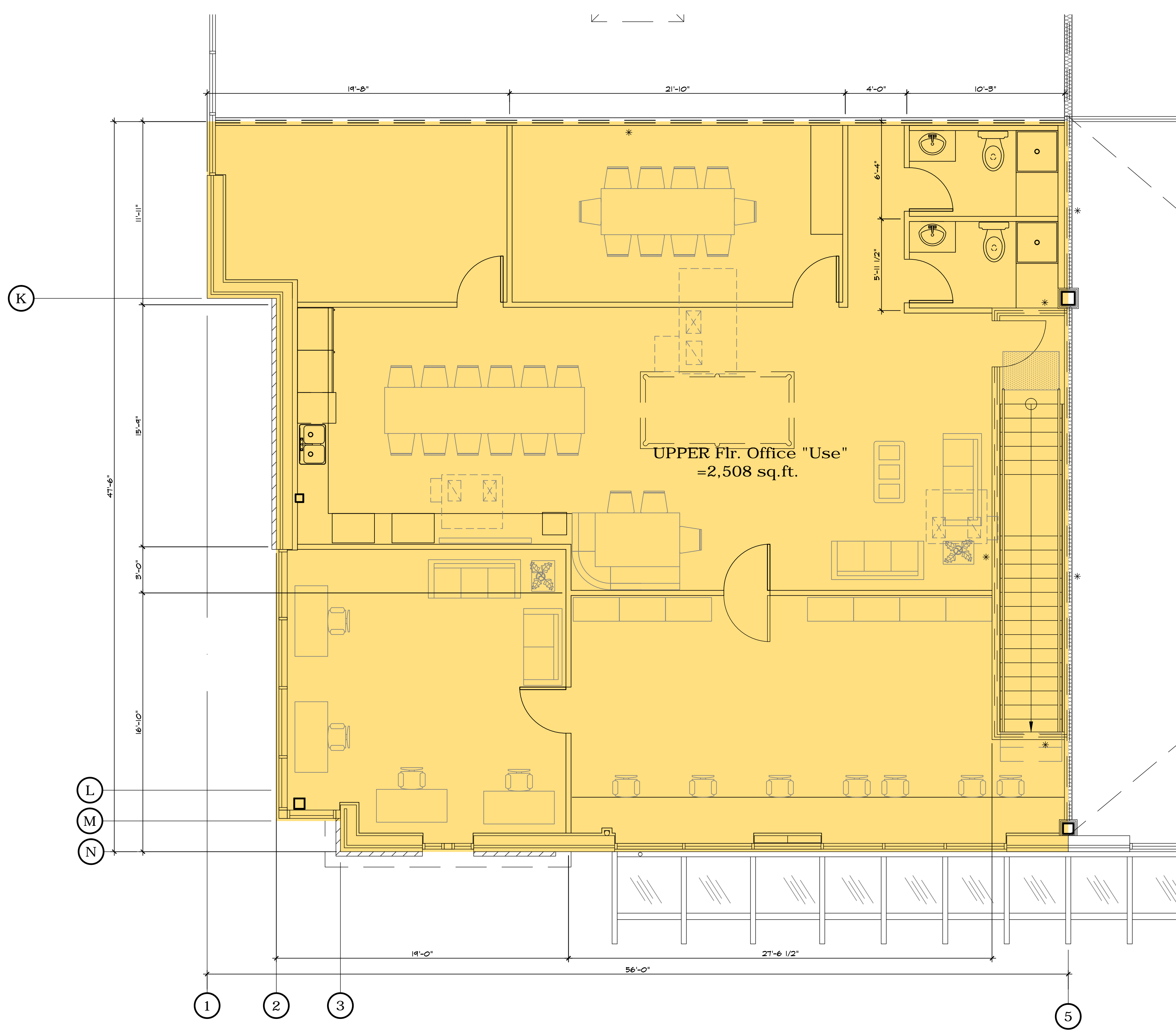
DRAWING  
**DETAILED UPPER FLOOR PLAN**

SEAL	DRAWN	JOB NO.
	D.F./K.R.	17-025
	DESIGNED	
	CHECKED	C.B.
	PLOT DATE	AUG 28 19

PROJECT - DRAWING NUMBER  
**A-4**

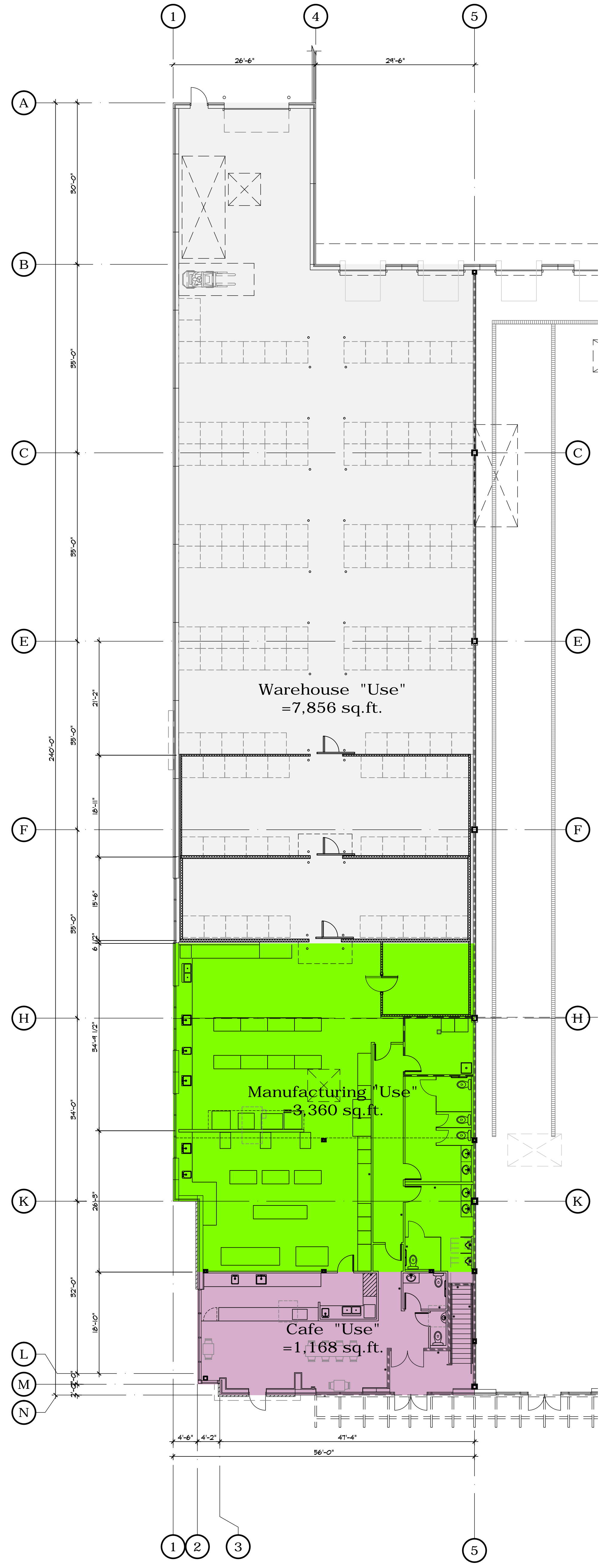
REV.  
7





UPPER Flr. Office "Use"  
=2,508 sq.ft.

UNIT 101  
UPPER FLOOR PLAN  
AREA OVERLAY  
SCALE: 1/4"=1'-0"



Warehouse "Use"  
=7,856 sq.ft.

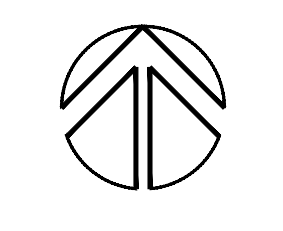
Manufacturing "Use"  
=3,360 sq.ft.

Cafe "Use"  
=1,168 sq.ft.

OVERALL UNIT 101  
GROUND FLOOR PLAN  
AREA OVERLAY  
SCALE: 3/32"=1'-0"

AREA LEGEND

WAREHOUSE (MAIN FLOOR)	7,856 SQ.FT.
MANUFACTURING (MAIN FLOOR)	3,360 SQ.FT.
UPPER FLOOR OFFICE	2,508 SQ.FT.
CAFE	1,168 SQ.FT.
<b>TOTAL</b>	<b>14,892 SQ.FT.</b>
<b>SUMMARY (AT MAIN FLOOR):</b>	
WAREHOUSE	7,856 SQ.FT.
MANUFACTURING	3,360 SQ.FT.
CAFE	1,168 SQ.FT.
<b>TOTAL:</b>	<b>12,384 SQ.FT.</b>
<b>SUMMARY (AT SECOND FLOOR):</b>	
UPPER FLOOR OFFICE	2,508 SQ.FT.
<b>TOTAL:</b>	<b>2,508 SQ.FT.</b>
UNIT FOOTPRINT:	12,384 SQ.FT.



**CHIP BARRETT ARCHITECT**  
1162 - 2228 16TH STREET, SUITE 100, BURNABY, B.C. V3J 6P4  
IN ASSOCIATION WITH  
**D.FORCE DESIGN INC.**  
2625A ALLIANCE STREET, ABBOTSFORD, B.C., V2S 3J9  
TEL: (604) 607-5655 EMAIL: DARYL@DFORCE.CA

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3	AUG.28.19	PLANNING REVIEW
2	SEP.22.17	ISSUE FOR CONSULTANT USE
1	SEP.07.17	CLIENT REVIEW
NO.	DATE	DESCRIPTION

PROPOSED TENANT IMPROVEMENT FOR:  
**JJ BEAN**

ADDRESS: 101 8288 NORTH FRASER WAY, BURNABY, B.C.

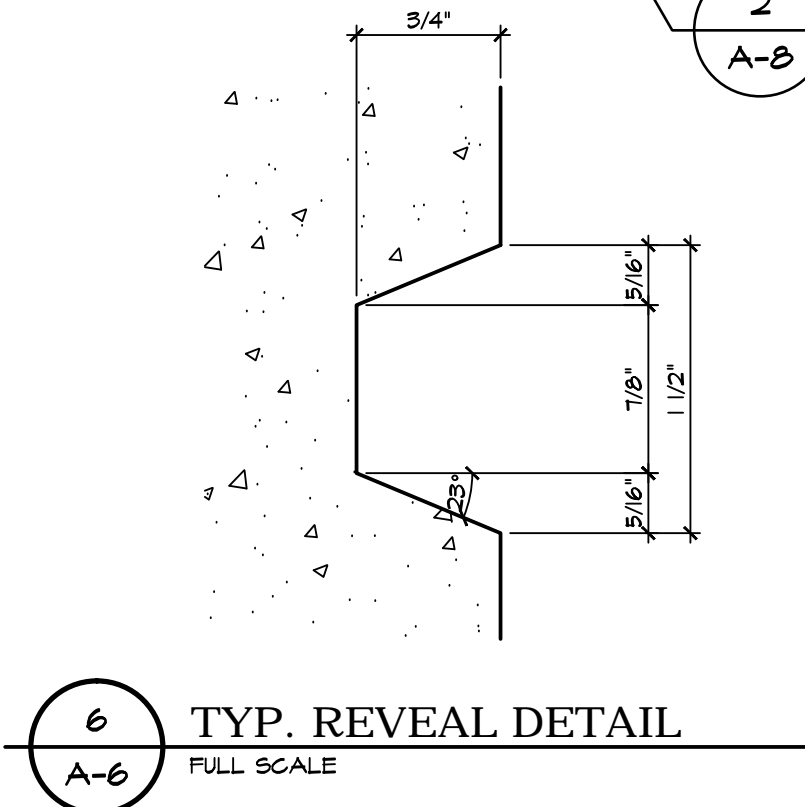
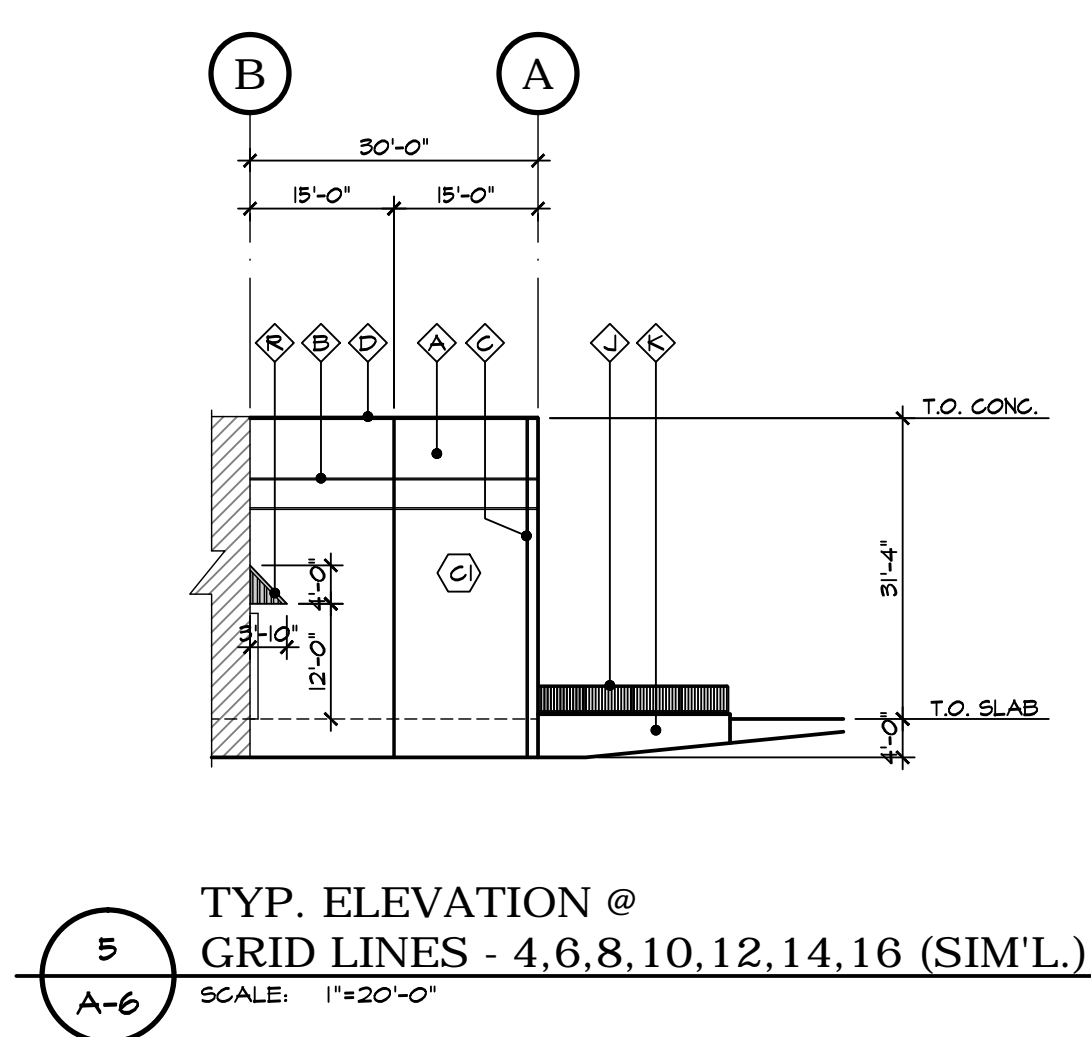
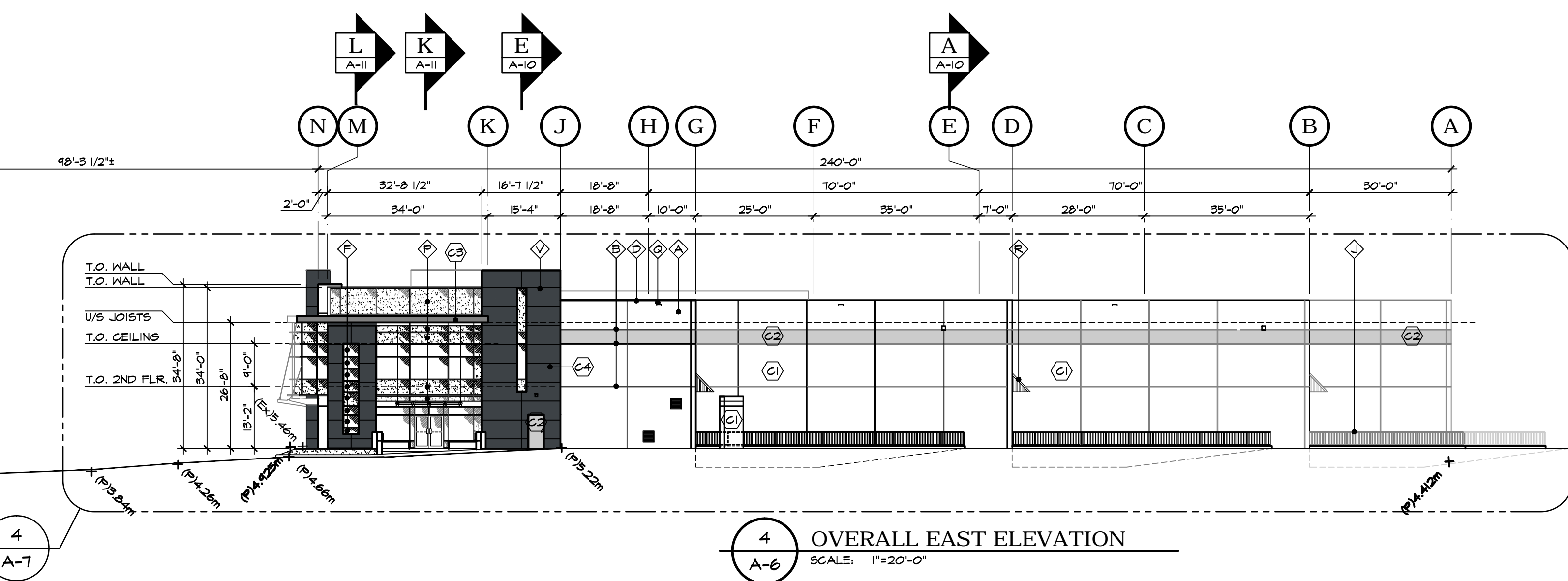
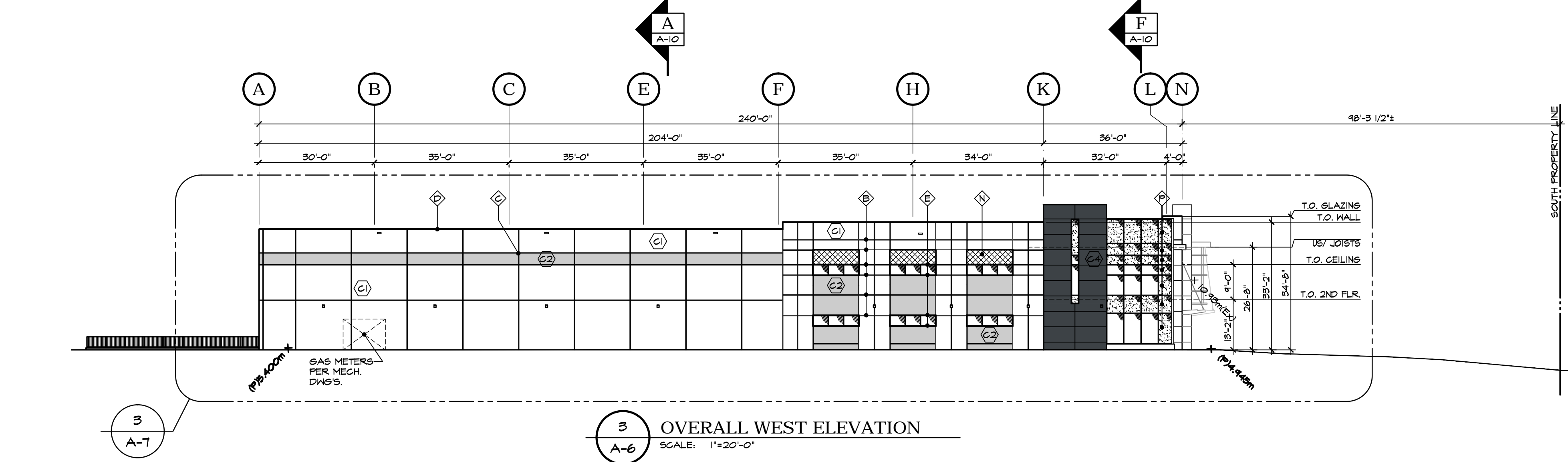
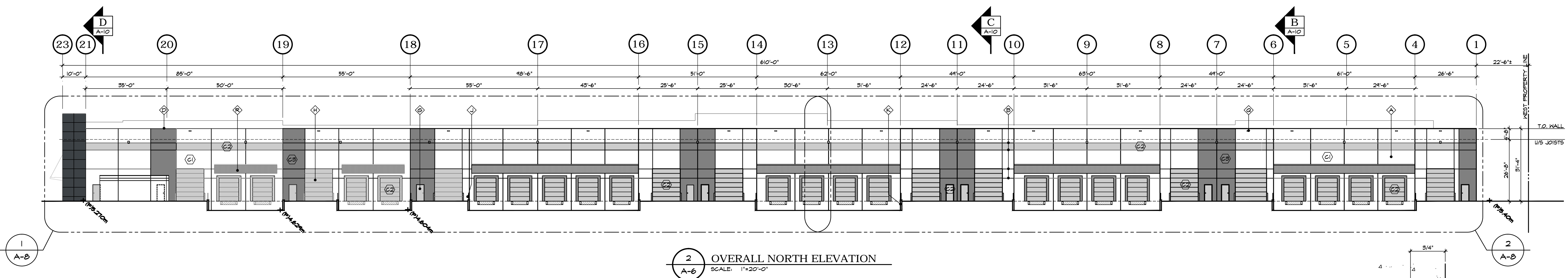
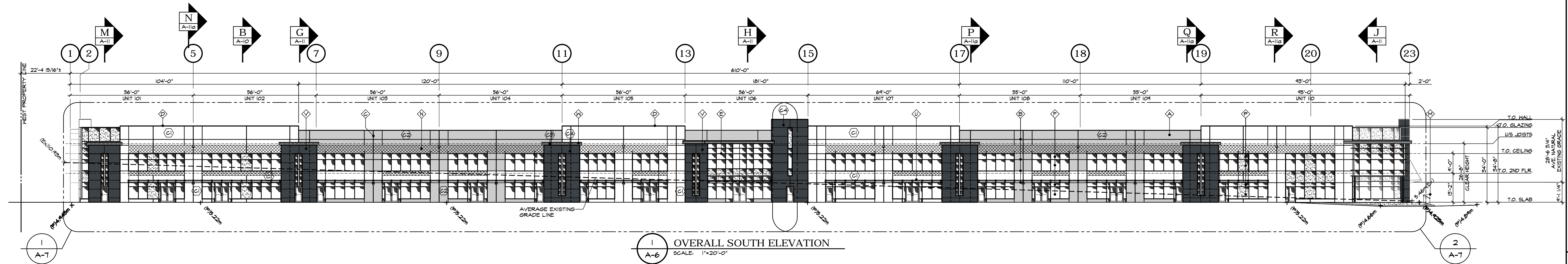
DRAWING  
**AREA OVERLAY**

SEAL	DRAWN D.F./K.R.	JOB NO. 17-025
	DESIGNED	
	CHECKED C.B.	
	PLOT DATE AUG.28.19	

PROJECT - DRAWING NUMBER  
**A-4a**

REV.  
**3**



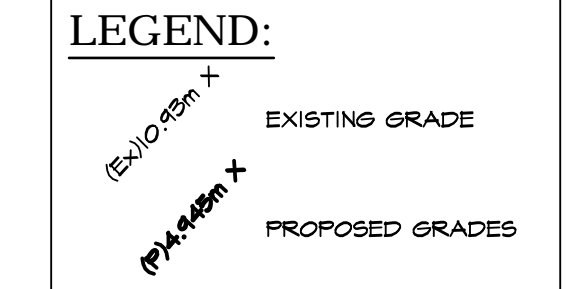


MATERIAL LEGEND

- CONCRETE TILT-UP WALL TYP. - PAINTED
- REVEAL IN CONCRETE - PAINTED
- PANEL JOINT
- PRE-FINISHED METAL CAP FLASHING
- STOREFRONT FRAMES - CLEAR ANODIZED ALUMINUM
- STOREFRONT GLASS - CLEAR
- STEEL HANDDOORS - PAINTED
- STEEL SECTIONAL OVERHEAD DOORS - PAINTED
- STEEL GUARDRAILS - POWDER COATED
- CONCRETE RETAINING WALLS - NATURAL FINISH UNPAINTED TYP.
- LIGHT FIXTURE - SEE ELECTRICAL DWGS
- CONCRETE STAIR W/ STEEL PIPE GUARDRAIL
- 3/4" RECESS IN CONCRETE
- SPANDREL GLAZING (OBSCURE, TO MATCH VISION GLASS)
- SUPPER
- METAL CLAD CANOPY
- STEEL BOLLARD - PAINTED
- CONG. CURB UNDER, PAINTED
- STEEL CANOPY
- METAL PANEL
- ACM CANOPY

PROJECT COLOURS

- MAIN FIELD COLOUR 1: SHERWIN WILLIAMS SW TOTO SITE WHITE
- FIELD ACCENT COLOUR 1: SHERWIN WILLIAMS SW 7067 CITYSCAPE
- FIELD ACCENT COLOUR 2: SHERWIN WILLIAMS SW 7064 IRON ORE
- ACCENT BUILDING MATERIAL: DRI-DESIGN PIGMENTO BLUE
- FIELD ACCENT COLOUR 3: BENJAMIN MOORE 2021-HO YELLOW FLASH
- EXTERIOR GUARDRAILS: BLACK POWDER COAT
- ALUMINUM STOREFRONT MALLIONS: CLEAR ANODIZED ALUMINUM
- TYPICAL GLAZING: CLEAR (LOW E, ASHRAE 90.1 2010 COMPLIANT)
- SPANDREL GLAZING COLOUR: BLACK
- TYPICAL METAL CAP FLASHING: GCI820-R POLAR WHITE
- LOADING DOCK CANOPY COLOR: GCI830 RESENT GREY CASCADIA METALS



NOTE: ALL GLAZING TO BE ASHRAE 90.1 2004 COMPLIANT, PROVIDE ALL REQUIRED DOCUMENTATION.  
EXTERIOR GLAZING TO BE GUARDIAN SHW 88 IN THERMALLY BROKEN, CLEAR ANODIZED ALUMINUM FRAMES, THE TRIPLE SILVER LOW E SEALED GLAZING WILL BE FILLED WITH ARGON.

NOTE: CONFIRM ALL COLOURS & FINISHES WITH THE OWNER PRIOR TO FABRICATION &/OR PAINTING.  
NOTE: 26'-8" CLEAR HEIGHT TO UNDERSIDE OF JOISTS INCLUDES ELECTRICAL & MECHANICAL EQUIPMENT AS WELL AS SPRINKLERS, ETC.

**Beedie | Development Group**  
3030 GILMORE AVENUE, BURNABY, BC V5G 3B4  
TEL: (604) 435-3321 FAX: (604) 432-7549

**CHIP BARRETT ARCHITECT**  
19-3-225 MORGAN CREEK, SURREY, B.C. V3Z 0J9  
PH: (604) 536-1272 FAX: (604) 536-7327  
IN ASSOCIATION WITH  
**D.FORCE DESIGN INC.**  
2625A ALLIANCE STREET, ABOTSFORD, B.C. V2S 3J9  
TEL: (604) 607-5655 EMAIL: DARDY@DFORCE.CA

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NO.	DATE	DESCRIPTION
33	AUG.20.19	PLANNING REVIEW
32	FEB.06.17	CD SET, FINAL ADOPTION 2017 FEBRUARY 09
31	APR.25.18	ISSUED FOR RECORD DRAWINGS
30	JAN.05.18	ISSUED FOR CONSULTANT USE
29	DEC.08.17	REVISED CANOPY COLOR
28	SEP.28.17	UPDATED METAL PANEL JOINTS
27	SEP.27.17	GENERAL REVISION
26	JUN.20.17	RE-ISSUED FOR CONSTRUCTION
25	JUN.13.17	ISSUED FOR BP RESUBMISSION
24	APR.18.17	ISSUED FOR CONSTRUCTION
23	APR.11.17	CANOPY RE-COORDINATION
22	MAR.22.17	UPDATED GAS METER LOCATION
21	FEB.15.17	CANOPY COORDINATION
20	FEB.15.17	ISSUED FOR TENDER
19	FEB.06.17	CONSULTANT USE
18	DEC.20.16	RE-ISSUED FOR PPA
17	DEC.12.16	RE-ISSUED FOR PPA
16	DEC.06.16	PPA COMMENTS REVISIONS FOR REVIEW
15	AUG.31.16	RE-ISSUED FOR 3RD READING
14	AUG.23.16	ISSUED FOR 3RD READING
13	JUL.28.16	ISSUED FOR REVIEW
12	JUN.30.16	ISSUED FOR REVIEW
11	MAY.18.16	ISSUED FOR BP CONSULTANT USE
10	MAY.13.16	ISSUED FOR BUILDING PERMIT
9	APR.20.16	ISSUED FOR CONSULTANT USE
8	FEB.18.16	ISSUED FOR PPA
7	FEB.04.16	RE-ISSUED FOR REZONING
6	NOV.09.15	RE-ISSUED FOR REZONING
5	OCT.23.15	CLIENT REVIEW
4	JUL.23.15	ISSUED FOR REZONING
3	MAY.06.15	PRELIMINARY PLANNING REVIEW
2	MAR.17.15	ISSUED FOR CONSULTANT REVIEW
1	AUG.05.14	ISSUED FOR REVIEW

PROPOSED

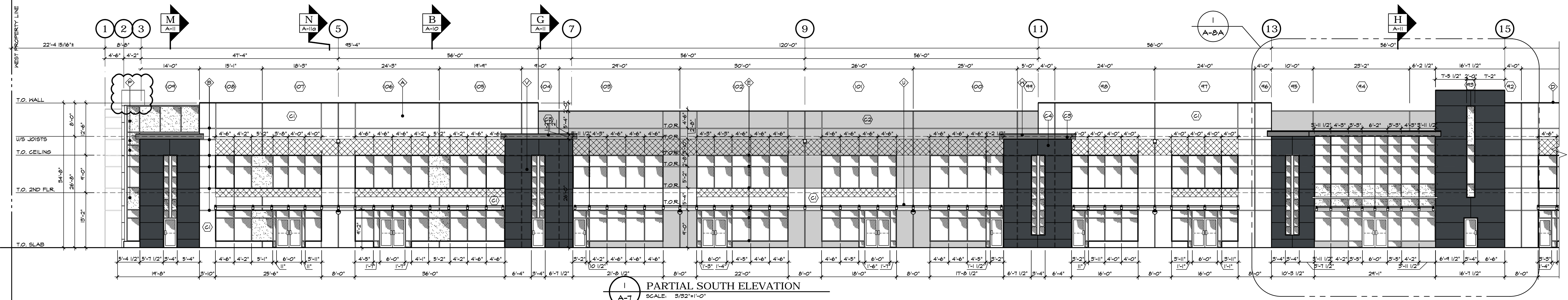
**Crescent**  
BUSINESS CENTRE  
BUILDING 2  
ADDRESS: 8288 NORTH FRASER WAY, BURNABY, B.C.  
DRAWING

OVERALL ELEVATIONS

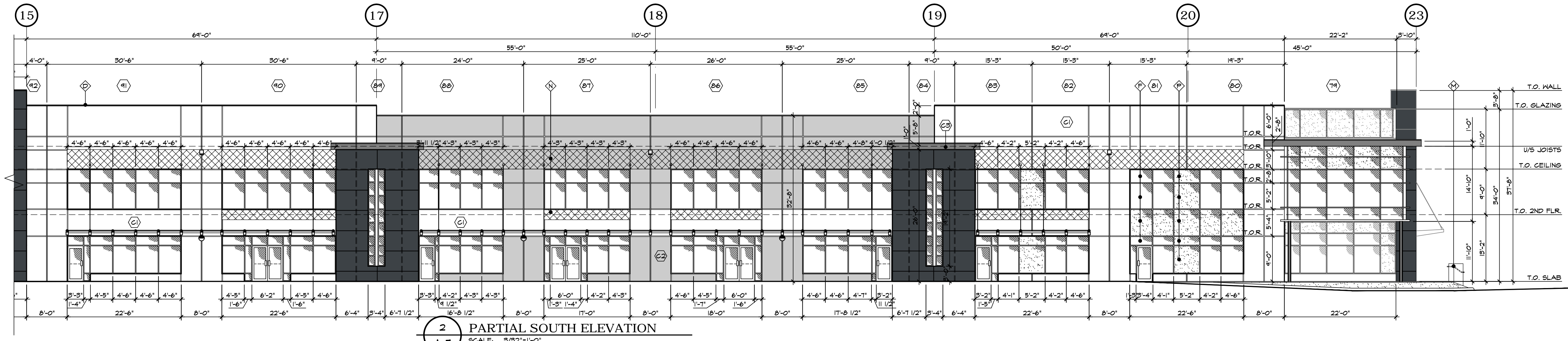
SEAL	DRAWN	JOB NO.
	D.F.	14-035
	DESIGNED	
	CHECKED	C.B.
	PLOT DATE	AUG.29.19

PROJECT - DRAWING NUMBER: A-6  
REV: 33

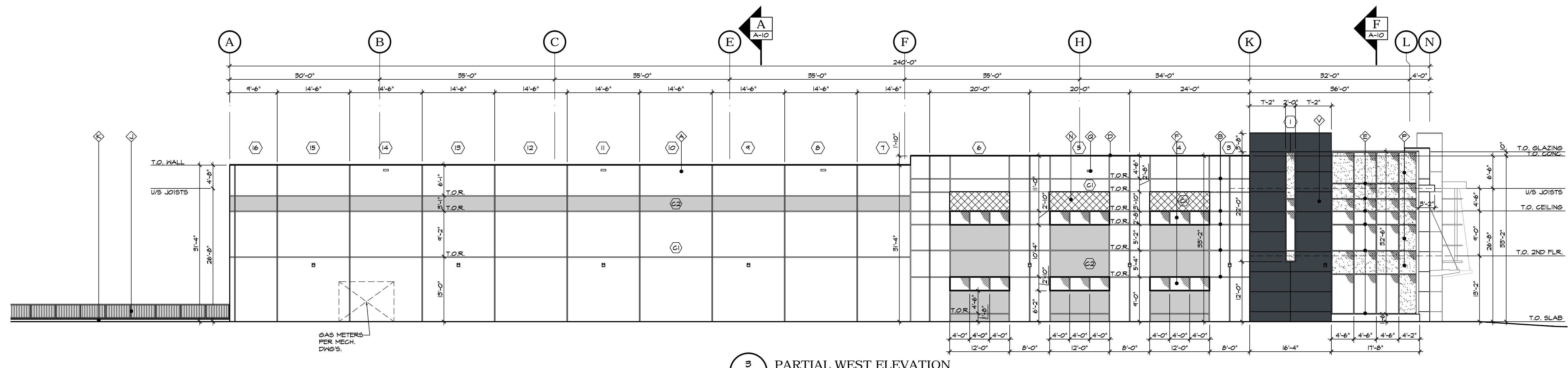




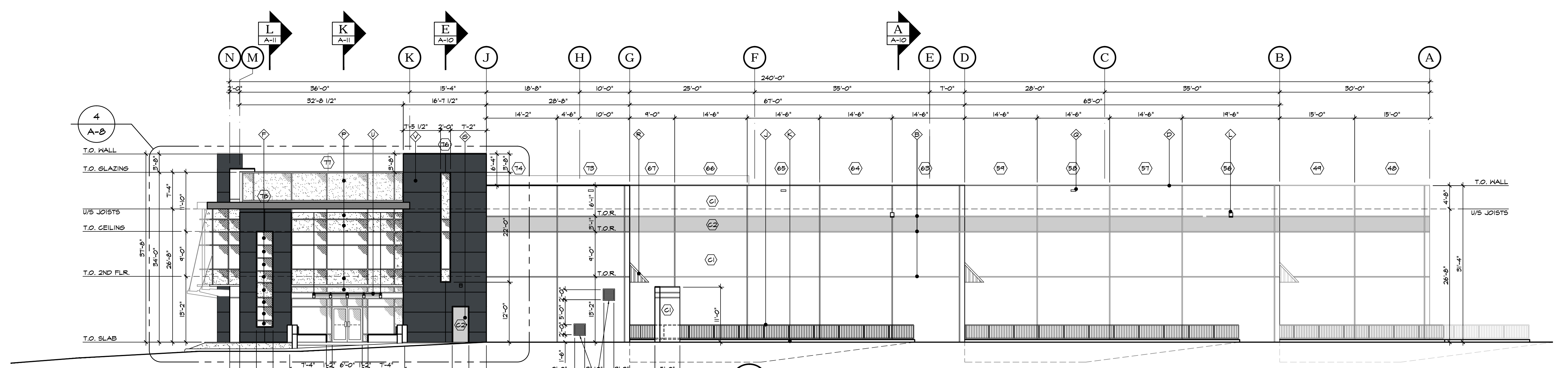
1 PARTIAL SOUTH ELEVATION  
SCALE: 3/32"=1'-0"



2 PARTIAL SOUTH ELEVATION  
SCALE: 3/32"=1'-0"



3 PARTIAL WEST ELEVATION  
SCALE: 3/32"=1'-0"



4 PARTIAL EAST ELEVATION  
SCALE: 3/32"=1'-0"

**MATERIAL LEGEND**

- ◊ CONCRETE TILT-UP WALL TYP. - PAINTED
- ◊ REVEAL IN CONCRETE - PAINTED
- ◊ PANEL JOINT
- ◊ PRE-FINISHED METAL CAP FLASHING
- ◊ STOREFRONT FRAMES - CLEAR ANODIZED ALUMINUM
- ◊ STOREFRONT GLASS - CLEAR
- ◊ STEEL MANDOOKS - PAINTED
- ◊ STEEL SECTIONAL OVERHEAD DOORS - PAINTED
- ◊ STEEL GUARDRAILS - POWDER COATED
- ◊ CONCRETE RETAINING WALLS - NATURAL FINISH UNPAINTED TYP.
- ◊ LIGHT FIXTURE - SEE ELECTRICAL DIAG'S
- ◊ CONCRETE STAIR W/ STEEL PIPE GUARDRAIL
- ◊ 3/4" RECESS IN CONCRETE
- ◊ SPANDREL GLAZING (OBSCURE, TO MATCH VISION GLASS)
- ◊ SCUPPER
- ◊ METAL CLAD CANOPY
- ◊ STEEL BOLLARD - PAINTED
- ◊ CONC. CURB UNDER PAINTED
- ◊ STEEL CANOPY
- ◊ METAL PANEL
- ◊ ACM CANOPY

**NOTE:**  
 \* MATERIALS INDICATED MAY NOT ALL BE APPLICABLE  
 ◊ SPANDREL GLAZING ◊ METAL PANELS  
 ◊ 3/4" RECESS IN TILT-UP PANEL

**PROJECT COLOURS**

- ◊ (1) MAIN FIELD COLOUR 1: SHERWIN WILLIAMS SW 7070 SITE WHITE
- ◊ (2) FIELD ACCENT COLOUR 1: SHERWIN WILLIAMS SW 7067 CITYSCAPE
- ◊ (3) FIELD ACCENT COLOUR 2: SHERWIN WILLIAMS SW 7064 IRON ORE
- ◊ (4) ACCENT BUILDING MATERIAL: DRU-DESIGN PIGMENTO BLUE
- ◊ (5) FIELD ACCENT COLOUR 3: BENJAMIN MOORE 2021-10 YELLOW FLASH
- EXTERIOR GUARDRAILS: BLACK POWDER COAT
- ALUMINUM STOREFRONT MILLIONS: CLEAR ANODIZED ALUMINUM
- TYPICAL GLAZING: CLEAR (LOW E, ASHRAE 90.1 2010 COMPLIANT)
- SPANDREL GLAZING COLOUR: BLACK
- TYPICAL METAL CAP FLASHING: GG1820-R POLAR WHITE
- LOADING DOCK CANOPY COLOR: GG1810 REGENT GREY
- CASCADIA METALS

**NOTE: CONFIRM ALL COLOURS & FINISHES WITH THE OWNER PRIOR TO FABRICATION &/OR PAINTING**

**NOTE: 26'-0" CLEAR HEIGHT TO UNDERSIDE OF JOISTS INCLUDES ELECTRICAL & MECHANICAL EQUIPMENT AS WELL AS SPRINKLERS, ETC.**

**Beedie | Development Group**  
 3030 GILMORE DIVSN., BURNABY, V5G 3B4  
 TEL: (604) 435-3321 FAX: (604) 432-7249

**CHIP BARRETT ARCHITECT**  
 #9-3325 MORGAN CREEK, SURREY, B.C. V3Z 0J9  
 PH: 604-536-1272 FAX: 604-536-7327  
 IN ASSOCIATION WITH  
**D.FORCE DESIGN INC.**  
 2625A ALLIANCE STREET, ABBOTSFORD, B.C. V2S 3J9  
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22	AUG 29 19	PLANNING REVIEW
21	APR 25 18	ISSUED FOR RECORD DRAWINGS
20	JAN 05 18	ISSUED FOR CONSULTANT USE
19	SEP 27 17	GENERAL REVISION
18	AUG 14 17	CANOPY REVISIONS
17	JUN 20 17	RE-ISSUED FOR CONSTRUCTION
16	JUN 13 17	ISSUED FOR BP SUBMISSION
15	APR 18 17	ISSUED FOR CONSTRUCTION
14	FEB 21 17	PANEL RECESS REVISION
13	FEB 15 17	ISSUED FOR TENDER
12	FEB 06 17	CONSULTANT USE
11	DEC 20 16	RE-ISSUED FOR PPA
10	DEC 12 16	RE-ISSUED FOR PPA
9	AUG 31 16	RE-ISSUED FOR 3RD READING
8	AUG 23 16	ISSUED FOR 3RD READING
7	JUL 28 16	ISSUED FOR REVIEW
6	JUL 19 16	ISSUED FOR REVIEW
5	MAY 18 16	ISSUED FOR BP CONSULTANT USE
4	MAY 13 16	ISSUED FOR BUILDING PERMIT
3	APR 20 16	ISSUED FOR CONSULTANT USE
2	MAR 08 16	ISSUED FOR CONSULTANT USE
1	FEB 18 16	ISSUED FOR PPA
	FEB 04 16	RE-ISSUED FOR REZONING
NO.	DATE	DESCRIPTION

PROPOSED

**Crescent BUSINESS CENTRE BUILDING 2**  
 ADDRESS: 8288 NORTH FRASER WAY, BURNABY, B.C.  
 DRAWING

**DETAILED ELEVATIONS**

SEAL	DRAWN	JOB NO.
	D.F.	14-035
	DESIGNED	
	CHECKED	C.B.
	PLOT DATE	AUG 29 19
PROJECT - DRAWING NUMBER		REV
A-7		23