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02	OCT 2019	ISSUED FOR REZONING
01	AUG 2019	ISSUED FOR REZONING
NO.	DATE	
ISSUES		DESCRIPTION
NO.	DATE	APPR
REVISIONS		
SEAL	DESCRIPTION	

SUB-CONSULTANT

PROJECT CONSULTANT



**IBI GROUP ARCHITECTS (CANADA) INC.**  
700 – 1285 West Pender Street  
Vancouver BC V6E 4B1 Canada  
tel 604 683 8757 fax 604 683 0492  
ibigroup.com

PROJECT TITLE

**THE BENNETT,  
BURNABY, BC**

PROJECT NO: 116939

DRAWN BY:

CHKD BY:

SCALE: 3/32" = 1'-0"

DATE: 2019 AUGUST

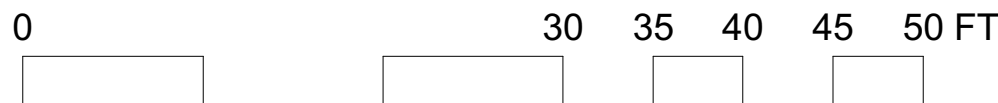
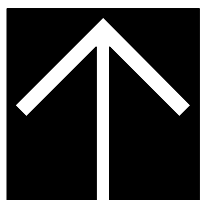
SHEET TITLE

**LEVEL 2**

SHEET NUMBER

**A2.06**

REV



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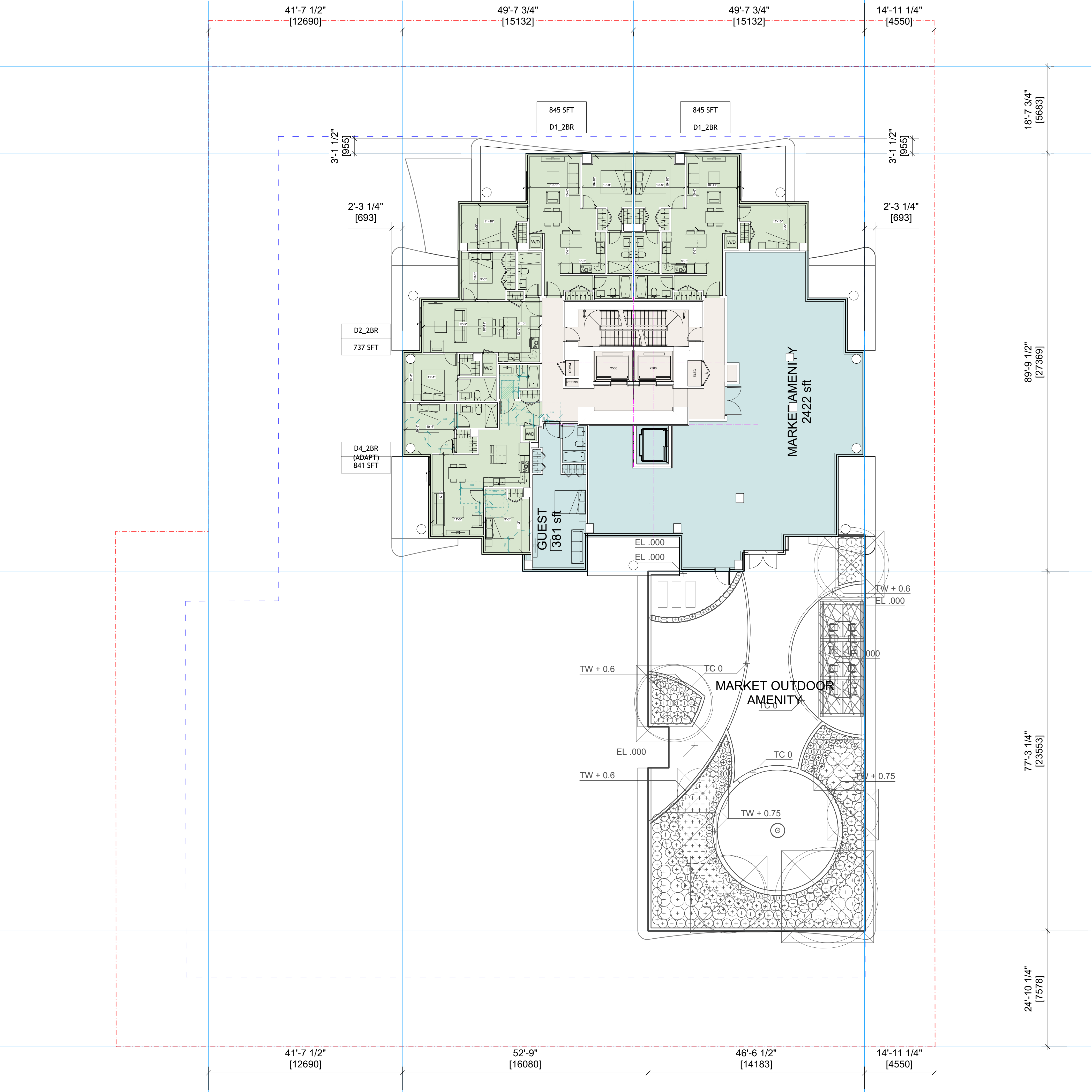
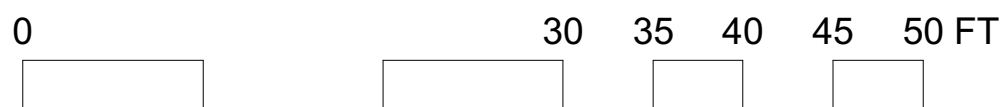
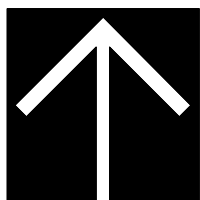
LEVELS 3-6

SHEET NUMBER

A2.07

REV





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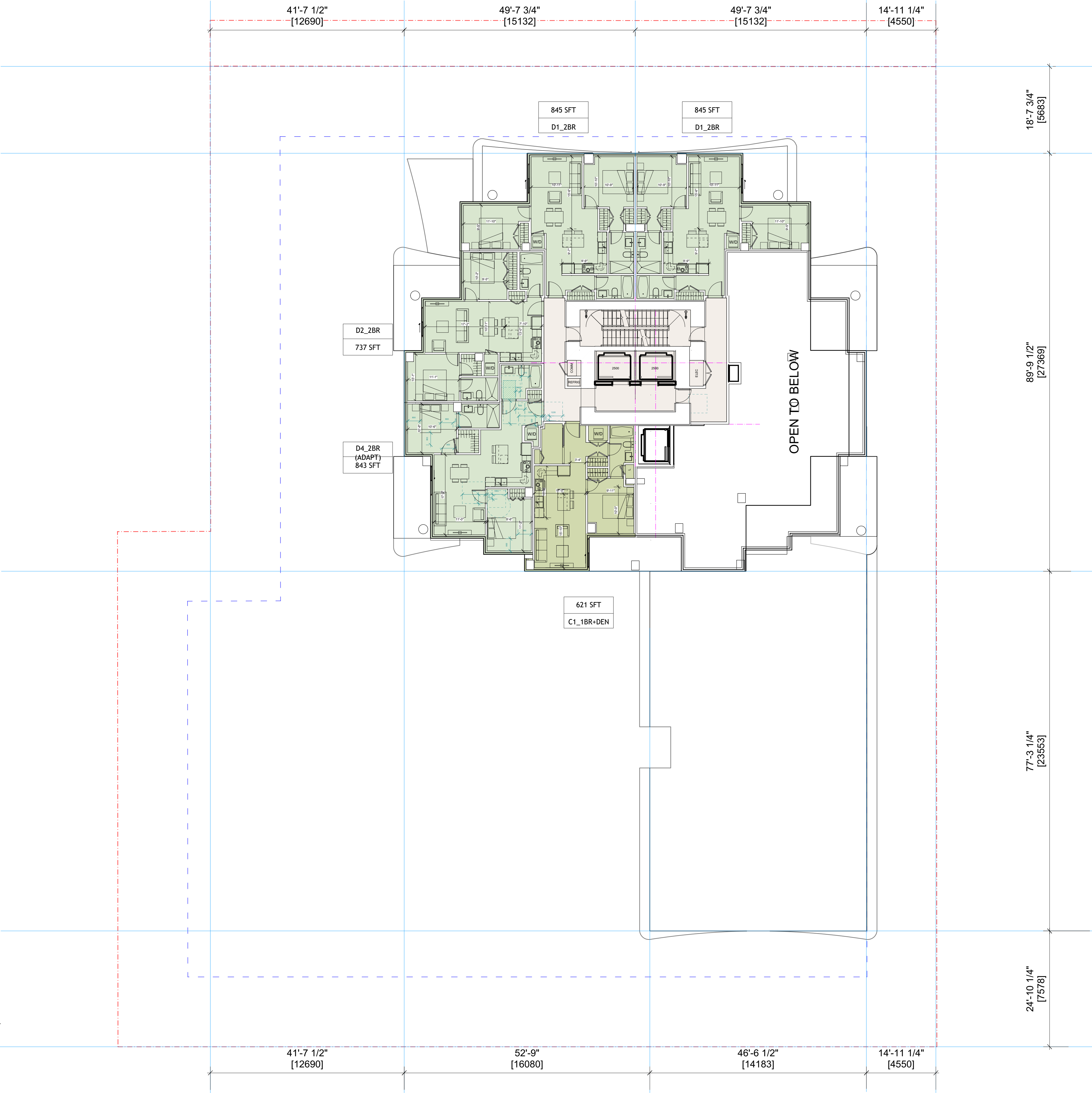
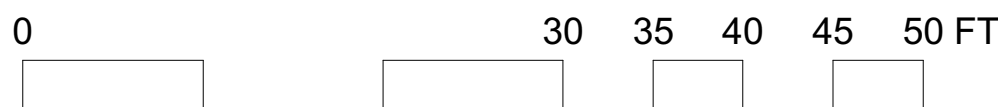
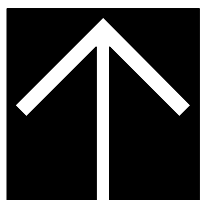
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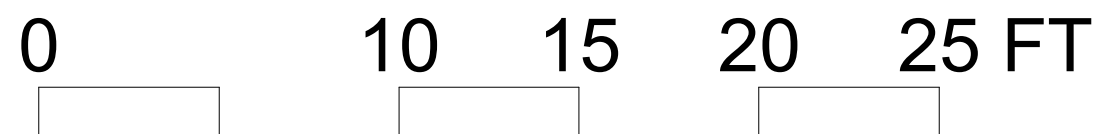
**LEVEL 8**

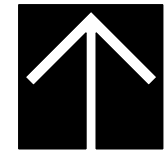
SHEET NUMBER

**A2.09**

REV







0 10 15 20 25 FT

20'-11 1/4"  
[6382]

32'-7 1/4"  
[9938]

36'-3"  
[11048]

27'-7 1/4"  
[8414]

49'-7 3/4"  
[15132]

D8\_2BR

884 sft

D8\_2BR

49'-7 3/4"  
[15132]

884 sft

20'-11 1/4"  
[6382]

32'-7 1/4"  
[9938]

36'-3"  
[11048]

22'-0 1/2"  
[6718]

D6\_2BR

893 sft

22'-0 1/2"  
[6718]

D6\_2BR

893 sft

27'-7 1/4"  
[8414]

D7\_2BR

869 sft

D9\_2BR

860 sft

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PROJECT TITLE  
**THE BENNETT,  
BURNABY, BC**

PROJECT NO: 116939

DRAWN BY:

CHKD BY:

SCALE: 3/16" = 1'-0"

DATE: 2019 AUGUST

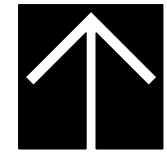
SHEET TITLE

**LEVEL 34**

SHEET NUMBER

**A2.11**

REV



0 10 15 20 25 FT

20'-11 1/4"  
[6382]

32'-7 1/4"  
[9938]

36'-3"  
[11048]

27'-7 1/4"  
[8414]

22'-0 1/2"  
[6718]

22'-0 1/2"  
[6718]

27'-7 1/4"  
[8414]

49'-7 3/4"  
[15132]

D11\_2BR+

1090 sft

49'-7 3/4"  
[15132]

20'-11 1/4"  
[6382]

32'-7 1/4"  
[9938]

36'-3"  
[11048]

D10\_2BR

1004 sft

D12\_2BR

1028 sft

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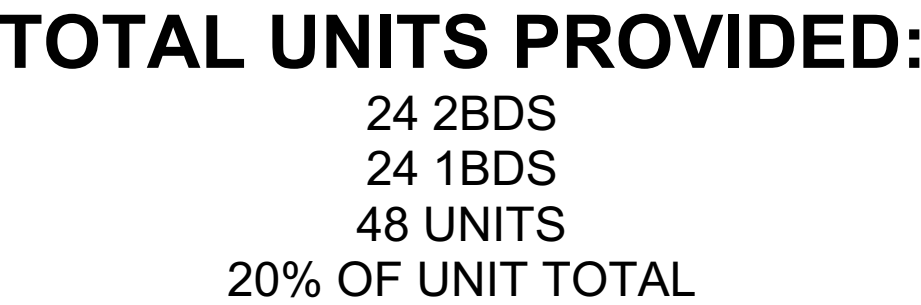
**LEVEL 35**

SHEET NUMBER

REV

**A2.12**





This floor plan illustrates a two-story residence with a total area of 2,200 sq. ft. The layout includes a living room with a fireplace, a dining room, a kitchen with a breakfast nook, a main bathroom, a laundry room, and a second-floor master bedroom with an en-suite bathroom. Dimensions are provided for various rooms and sections, such as 10'-6" for a bedroom area, 11'-0" for a living area, and 17'-2" for a long section. The plan also shows a washer/dryer (W/D) area and a central staircase.

#### A. BUILDING ENTRY AND CIRCULATION

ADAPTABLE FEATURE	PROVIDED
<p>An accessible path of travel shall be provided:</p> <ul style="list-style-type: none"> <li>• from the street, surface, passenger-loading zones and/or underground parking area to at least one main entrance;</li> <li>• from the main entrance to each adaptable unit;</li> <li>• from the main entrance to the elevator; and,</li> <li>• from the main entrance to all common facilities or amenities (i.e. lounge, party room, pool/sauna, fitness room, guest suite).</li> </ul>	
Elevator entrances shall provide a clear area of not less than 1,500 mm x 1,500 mm on a floor where adaptable units or common facilities or amenities are located.	
Corridors and passage ways providing access to adaptable dwelling unit entrances and common facilities or amenities shall be not less than 1,220 mm in width.	
Door handles shall not require tight grasping or twisting of the wrist.	

ADAPTABLE FEATURE	PROVIDED
Unit suite entry shall have a minimum clear opening of not less than 850 mm.	
<p>Door swing clearance shall be provided as follows:</p> <ul style="list-style-type: none"> <li>When the door swings out (away from the unit entry area), a minimum clearance of 1220 mm will be provided in the common corridor to accommodate the door swing movement. A 300 mm clear space beside the latching jamb of the door will also be provided.</li> <li>When the door swings in (towards the unit entranceway), a minimum clearance of 1500 mm will be provided in the entranceway to accommodate the door swing movement. A 600 mm clear space beside the latching jamb of the door will also be provided.</li> </ul>	
Door handles shall not require tight grasping or twisting of the wrist.	

ADAPTABLE FEATURE	PROVIDED
All doorways providing access to all living areas within the unit shall have a clear minimum opening width of not less than 810 mm.	
<p>Door swing clearance shall be provided as follows:</p> <ul style="list-style-type: none"> <li>When the door swings out, a minimum clearance of 1220 mm will be provided in the corridor to accommodate the door swing movement. A 300 mm clear space beside the latching jamb of the door will also be provided.</li> <li>When the door swings in, a minimum clearance of 1500 mm will be provided in the entranceway to accommodate the door swing movement. A 600 mm clear space beside the latching jamb of the door will also be provided.</li> </ul>	
Internal unit corridors and passageways shall be a minimum of 850 mm in width.	
Door handles shall not require tight grasping or twisting of the wrist.	

ADAPTABLE FEATURE	PROVIDED
A kitchen shall be designed such that the range and sink are adjacent to each other or can have a continuous counter between them.	
Controls and switches including electrical, telephone, cable and data outlets shall be located between 455 mm and 1200 mm above the floor.	

ADAPTABLE FEATURE	PROVIDED
A clear dimension of 800 mm from the front edge of the toilet to the facing wall, or edge of the tub if applicable, shall be provided.	
A minimum dimension of 510 mm shall be provided from the front face of the bathtub/shower to the centre line of the toilet.	
A minimum of one bathroom shall be designed with a clear floor area in front of the sink not less than 760 mm wide by 1350 mm deep, centred on the toilet.	
Walls adjacent to the toilet, bathtub or shower shall accommodate the future installation of grab bars.	
Faucets shall be designed to be operable without tight grasping, pinching or twisting of the wrist.	
A clear floor space, exclusive of door swing, not less than 760 mm wide by 1350 mm deep connecting to the route through the doorway.	
Controls and switches including electrical, telephone, cable and data outlets shall be located between 455 mm and 1200 mm above the floor.	

ADAPTABLE FEATURE	PROVIDED
<p>A minimum of one bedroom shall be designed to meet the following criteria:</p> <ul style="list-style-type: none"> <li>(i) accommodate a double bed (1345 mm x 1890 mm);</li> <li>(ii) provide a clear turning radius of 1500 mm on one edge of the bed; and,</li> <li>(iii) provide a clear open travel path of not less than 800 mm on the remaining sides of the bed (excluding the head).</li> </ul>	
<p>Where more than one bedroom is provided, each additional bedroom shall be designed to meet the following minimum criteria:</p> <ul style="list-style-type: none"> <li>(i) accommodate a double bed; and,</li> <li>(ii) provide a minimum clear open travel path of not less than 800 mm on the remaining sides of the bed (excluding the head).</li> </ul>	
Controls and switches, including electrical, telephone, cable and data outlets shall be located between 455 mm and 1200 mm above the floor.	
Wiring for a visual alarm shall be tied into the fire alarm system for future installation of such alarm in the living room and bedroom(s).	

ADAPTABLE FEATURE	PROVIDED
A minimum clear width opening of 850 mm shall be provided to the balcony.	
The threshold shall be designed and constructed in a manner that is accessible, while maintaining the integrity of the building envelope. Alternatively, the accessibility of the balcony can be addressed with the provision of a portable wheelchair ramp.	



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*Building BC since 1905*

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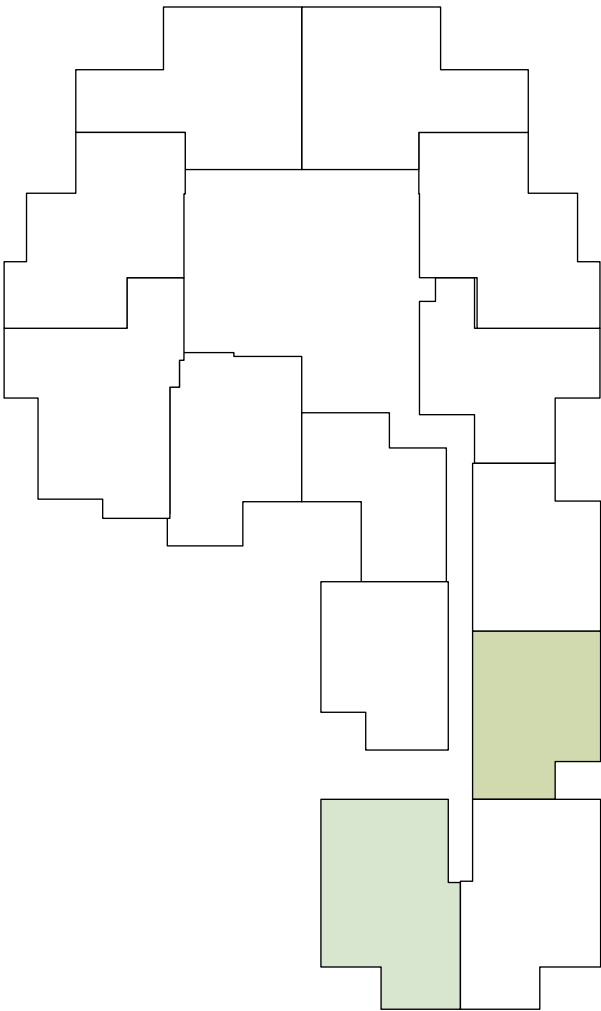
  

# ADAPTABLE MARKET UNITS

REV

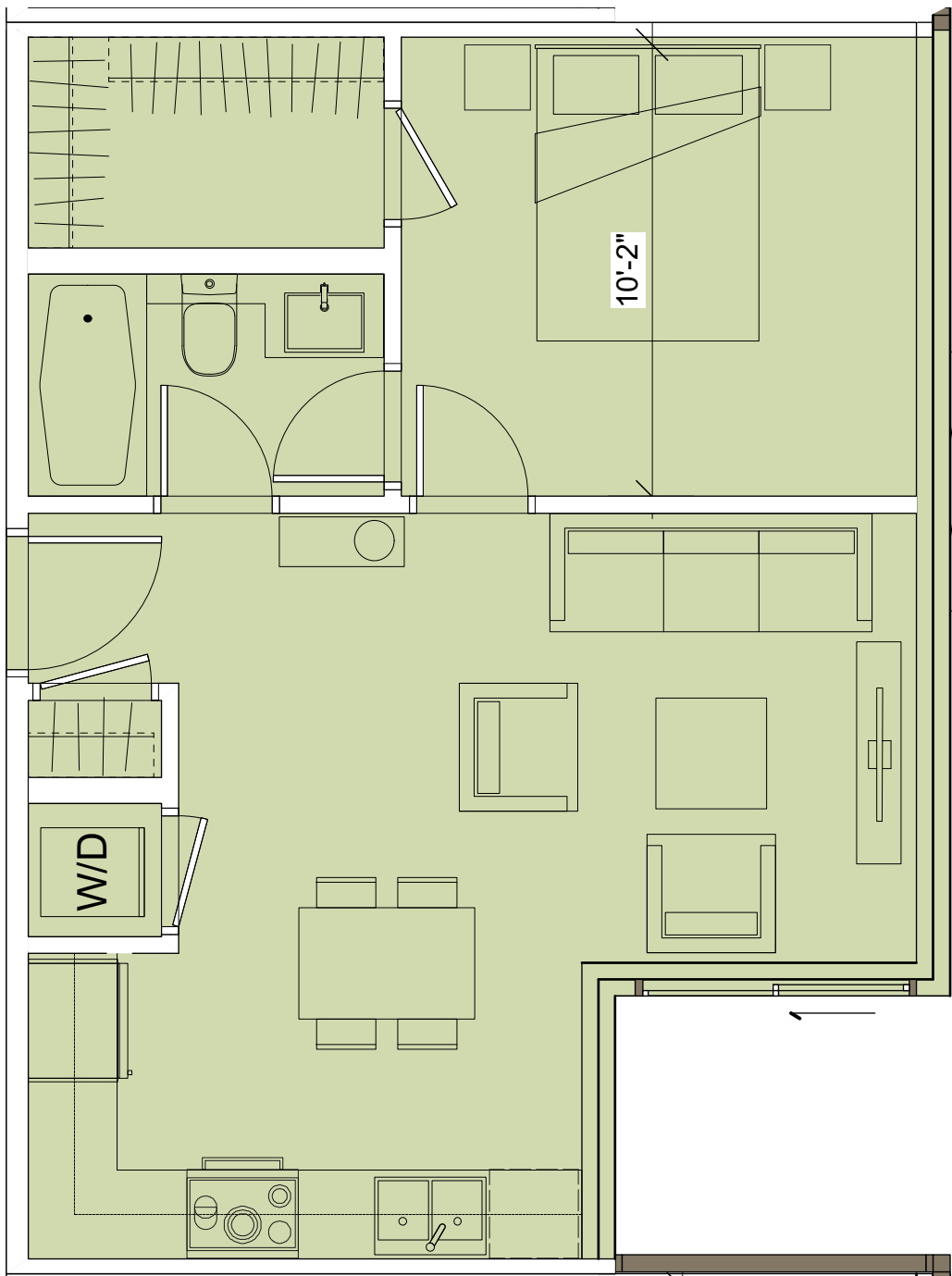
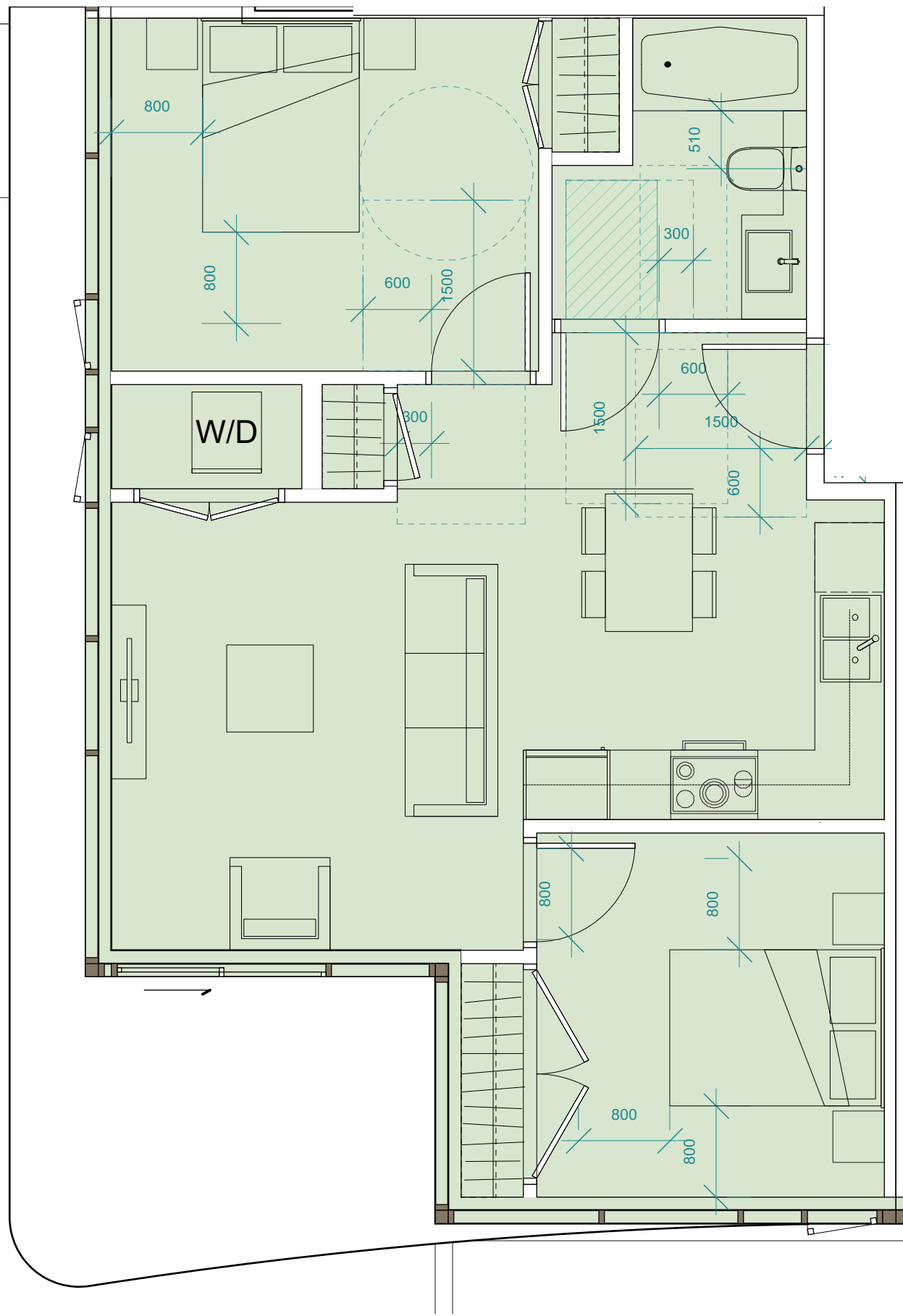
SHEET NUMBER
A2.13





TOTAL UNITS PROVIDED:

4 2BDS  
4 1BDS  
8 UNITS  
20% OF UNIT TOTAL



ADAPTABLE UNITS				
LEVELS	1BD	2BD	3BD	TOTAL
6	1	1		2
5	1	1		2
4	1	1		2
3	1	1		2
2				0
1				0
TOTAL	4	4	0	8

A. BUILDING ENTRY AND CIRCULATION

The following guidelines allow for visitability to a residential development.

ADAPTABLE FEATURE	PROVIDED
An accessible path of travel shall be provided: <ul style="list-style-type: none"><li>from the street, surface, passenger-loading zones and/or underground parking area to at least one main entrance;</li><li>from the main entrance to each adaptable unit;</li><li>from the main entrance to the elevator; and,</li><li>from the main entrance to all common facilities or amenities (i.e. lounge, party room, pool/sauna, fitness room, guest suite).</li></ul>	
Elevator entrances shall provide a clear area of not less than 1,500 mm x 1,500 mm on a floor where adaptable units or common facilities or amenities are located.	
Corridors and passage ways providing access to adaptable dwelling unit entrances and common facilities or amenities shall be not less than 1,220 mm in width.	
Door handles shall not require tight grasping or twisting of the wrist.	

B. UNIT ENTRY

The following guidelines provide basic clearance for a wheelchair or other mobility device to enter and exit an adaptable dwelling unit.

ADAPTABLE FEATURE	PROVIDED
Unit suite entry shall have a minimum clear opening of not less than 850 mm.	
Door swing clearance shall be provided as follows: <ul style="list-style-type: none"><li>When the door swings out (away from the unit entry area), a minimum clearance of 1220 mm will be provided in the common corridor to accommodate the door swing movement. A 300 mm clear space beside the latching jamb of the door will also be provided.</li><li>When the door swings in (towards the unit entranceway), a minimum clearance of 1500 mm will be provided in the entranceway to accommodate the door swing movement. A 600 mm clear space beside the latching jamb of the door will also be provided.</li></ul>	
Door handles shall not require tight grasping or twisting of the wrist.	

C. INTERNAL DOORWAYS AND CORRIDORS (WITHIN ADAPTABLE UNIT)

The following guidelines provide basic clearance and maneuvering space for a wheelchair or other mobility device to access common living areas and rooms of an adaptable dwelling unit.

ADAPTABLE FEATURE	PROVIDED
All doorways providing access to all living areas within the unit shall have a clear minimum opening width of not less than 810 mm.	
Door swing clearance shall be provided as follows: <ul style="list-style-type: none"><li>When the door swings out, a minimum clearance of 1220 mm will be provided in the corridor to accommodate the door swing movement. A 300 mm clear space beside the latching jamb of the door will also be provided.</li><li>When the door swings in, a minimum clearance of 1500 mm will be provided in the entranceway to accommodate the door swing movement. A 600 mm clear space beside the latching jamb of the door will also be provided.</li></ul>	
Internal unit corridors and passageways shall be a minimum of 850 mm in width.	
Door handles shall not require tight grasping or twisting of the wrist.	

D. KITCHEN

The following guidelines provide an efficient kitchen layout with basic clearance and maneuvering space for a wheelchair or other mobility device. Equipment, controls, switches, and outlets within the kitchen are to be within easy reach and use.

ADAPTABLE FEATURE	PROVIDED
A kitchen shall be designed such that the range and sink are adjacent to each other or can have a continuous counter between them.	
Controls and switches including electrical, telephone, cable and data outlets shall be located between 455 mm and 1200 mm above the floor.	

E. BATHROOM(S)/POWDER ROOM(S)

The following guidelines provide basic clearance and maneuvering space for a wheelchair or other mobility device to access all bathroom(s) and/or powder room(s) within an adaptable dwelling unit. Construction requirements to reinforce bathroom walls such that they are able to accommodate the future installation of grab bars are a cost-savings to residents seeking to renovate the bathroom(s) to meet their mobility needs.

ADAPTABLE FEATURE	PROVIDED
A clear dimension of 800 mm from the front edge of the toilet to the facing wall, or edge of the tub if applicable, shall be provided.	
A minimum dimension of 510 mm shall be provided from the front face of the bathtub/shower to the centre line of the toilet.	
A minimum of one bathroom shall be designed with a clear floor area in front of the sink not less than 760 mm wide by 1350 mm deep, centred on the toilet.	
Walls adjacent to the toilet, bathtub or shower shall accommodate the future installation of grab bars.	
Faucets shall be designed to be operable without tight grasping, pinching or twisting of the wrist.	
A clear floor space, exclusive of door swing, not less than 760 mm wide by 1350 mm deep connecting to the route through the doorway.	
Controls and switches including electrical, telephone, cable and data outlets shall be located between 455 mm and 1200 mm above the floor.	

F. LIVING ROOMS AND BEDROOM(S)

The following guidelines provide basic clearance and maneuvering space for a wheelchair or other mobility device to access all living rooms and bedrooms within an adaptable dwelling unit. Areas identified on the architectural plans as living rooms and bedrooms should be illustrated with furniture to scale with the size and dimensions of the room. Living room furniture includes one loveseat (two people), one side table and one entertainment console (where a wall-mounted television is not possible). Bedroom furniture includes one bed, one night stand and closet. Notwithstanding the above, it is acknowledged that residents have the ability to select furnishing and its placement to suit their accessibility needs.

ADAPTABLE FEATURE	PROVIDED
A minimum of one bedroom shall be designed to meet the following criteria: <ul style="list-style-type: none"><li>accommodate a double bed (1345 mm x 1890 mm);</li><li>provide a clear turning radius of 1500 mm on one edge of the bed; and,</li><li>provide a clear open travel path of not less than 800 mm on the remaining sides of the bed (excluding the head).</li></ul>	
Where more than one bedroom is provided, each additional bedroom shall be designed to meet the following minimum criteria: <ul style="list-style-type: none"><li>accommodate a double bed; and,</li><li>provide a minimum clear open travel path of not less than 800 mm on the remaining sides of the bed (excluding the head).</li></ul>	
Controls and switches, including electrical, telephone, cable and data outlets shall be located between 455 mm and 1200 mm above the floor.	
Wiring for a visual alarm shall be tied into the fire alarm system for future installation of such alarm in the living room and bedroom(s).	

G. BALCONY

The following guidelines provide access to the balcony.

ADAPTABLE FEATURE	PROVIDED
A minimum clear width opening of 850 mm shall be provided to the balcony.	
The threshold shall be designed and constructed in a manner that is accessible, while maintaining the integrity of the building envelope. Alternatively, the accessibility of the balcony can be addressed with the provision of a portable wheelchair ramp.	

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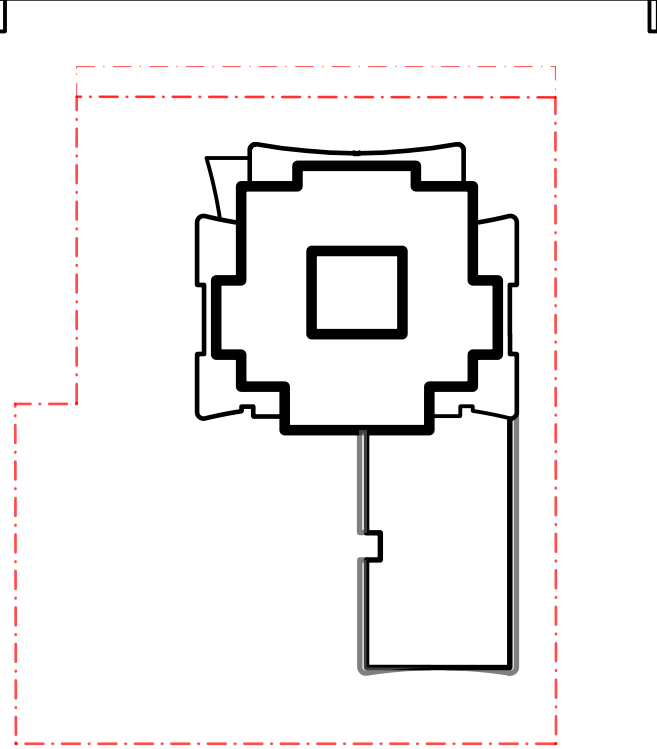
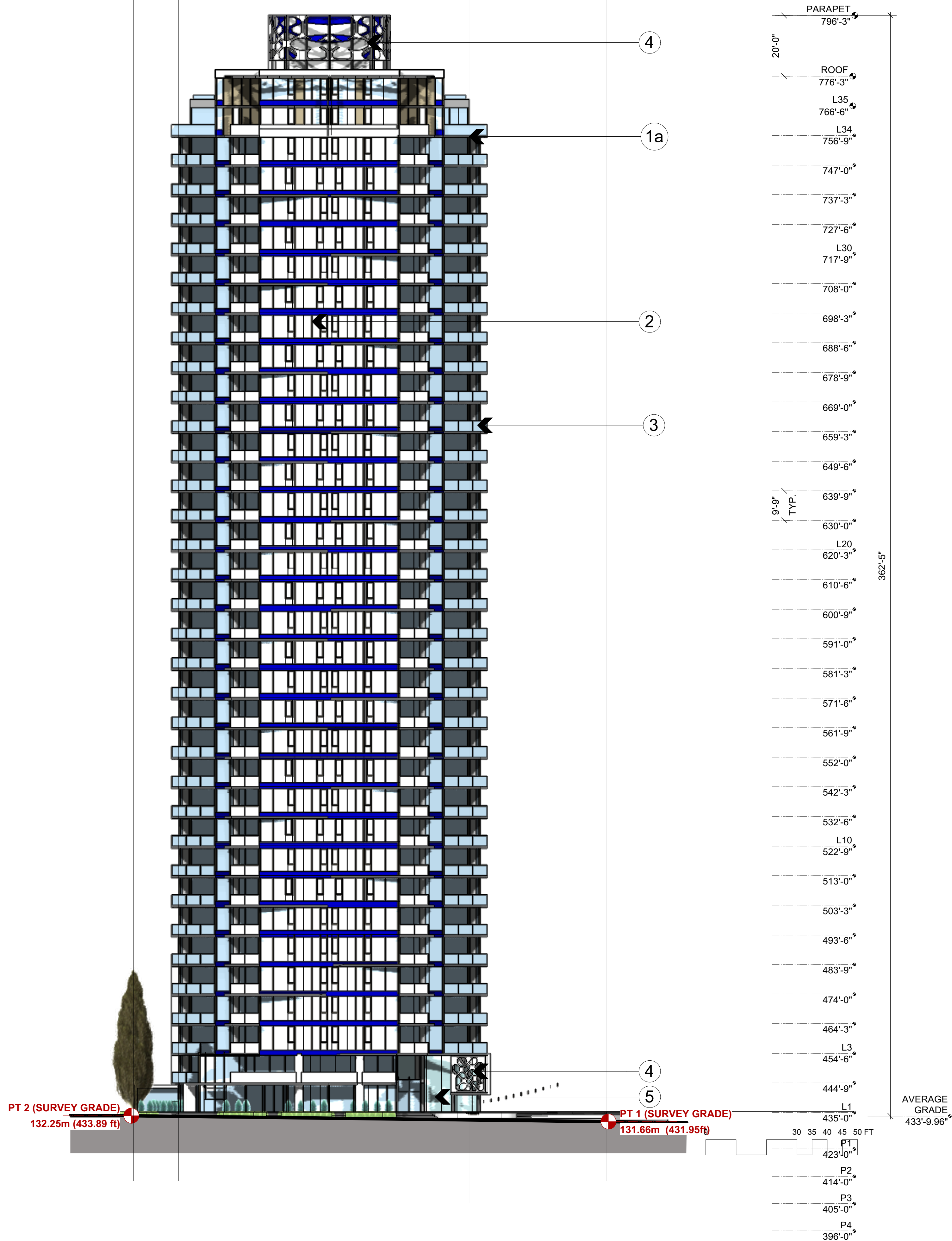
ADAPTABLE  
RENTAL UNITS

SHEET NUMBER

REV

A2.14





MATERIALS LIST

1) PAINTED CONCRETE

BENJAMIN MOORE  
1a) "STONE WHITE" 2120-70"  
1b) "NORMANDY" 2129-40 "

2) WINDOW WALL

ANODIZED ALUMINUM FRAMES  
BLUE GLASS SPANDREL  
LOW- E INSULATED GLASS UNITS

3) TOP MOUNTED  
GLASS BALCONY GUARDRAILS  
ANODIZED ALUMINUM FRAMING  
CLEAR GLASS

4) DECORATIVE METAL SCREEN  
"ARTIC WHITE"

5) CURTAIN WALL SYSTEM LOW-E VISION GLASS

6) STEEL CORNICE  
"ARTIC WHITE"

7) GLASS AND STELL ENTRY CANOPY  
C/W "SPIDER CONNECTORS"

CLIENT



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02 OCT 2019 ISSUED FOR REZONING

01 AUG 2019 ISSUED FOR REZONING

NO. DATE

ISSUES DESCRIPTION

NO. DATE APPR

REVISIONS

SEAL DESCRIPTION

SUB-CONSULTANT

PROJECT CONSULTANT

**IBI** IBI GROUP  
ARCHITECTS (CANADA) INC.  
700 - 1285 West Pender Street  
Vancouver BC V6E 4B1 Canada  
tel 604 683 8757 fax 604 683 0492  
ibigroup.com

PROJECT TITLE  
**THE BENNETT,  
BURNABY, BC**

PROJECT NO: 116939

DRAWN BY:

CHKD BY:

SCALE: 1/16" = 1'-0"

DATE: 2019 AUGUST

SHEET TITLE

**NORTH  
ELEVATION**

SHEET NUMBER

REV

**A3.01**

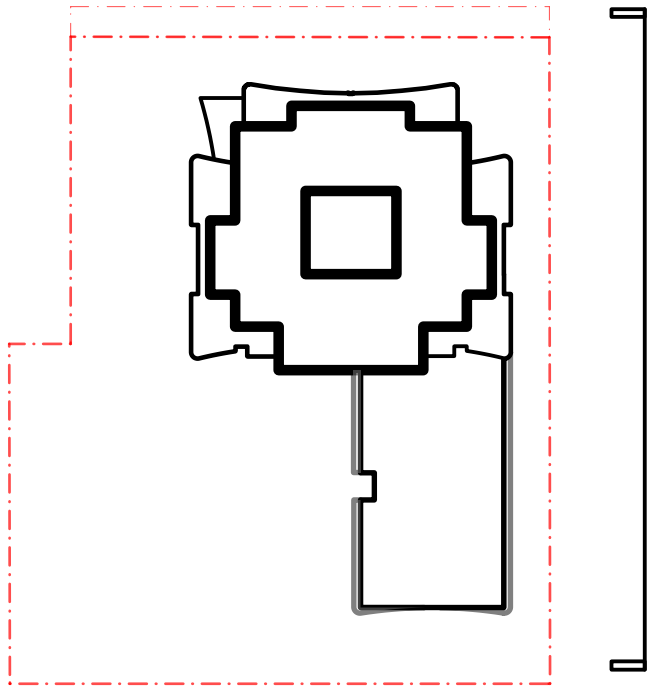
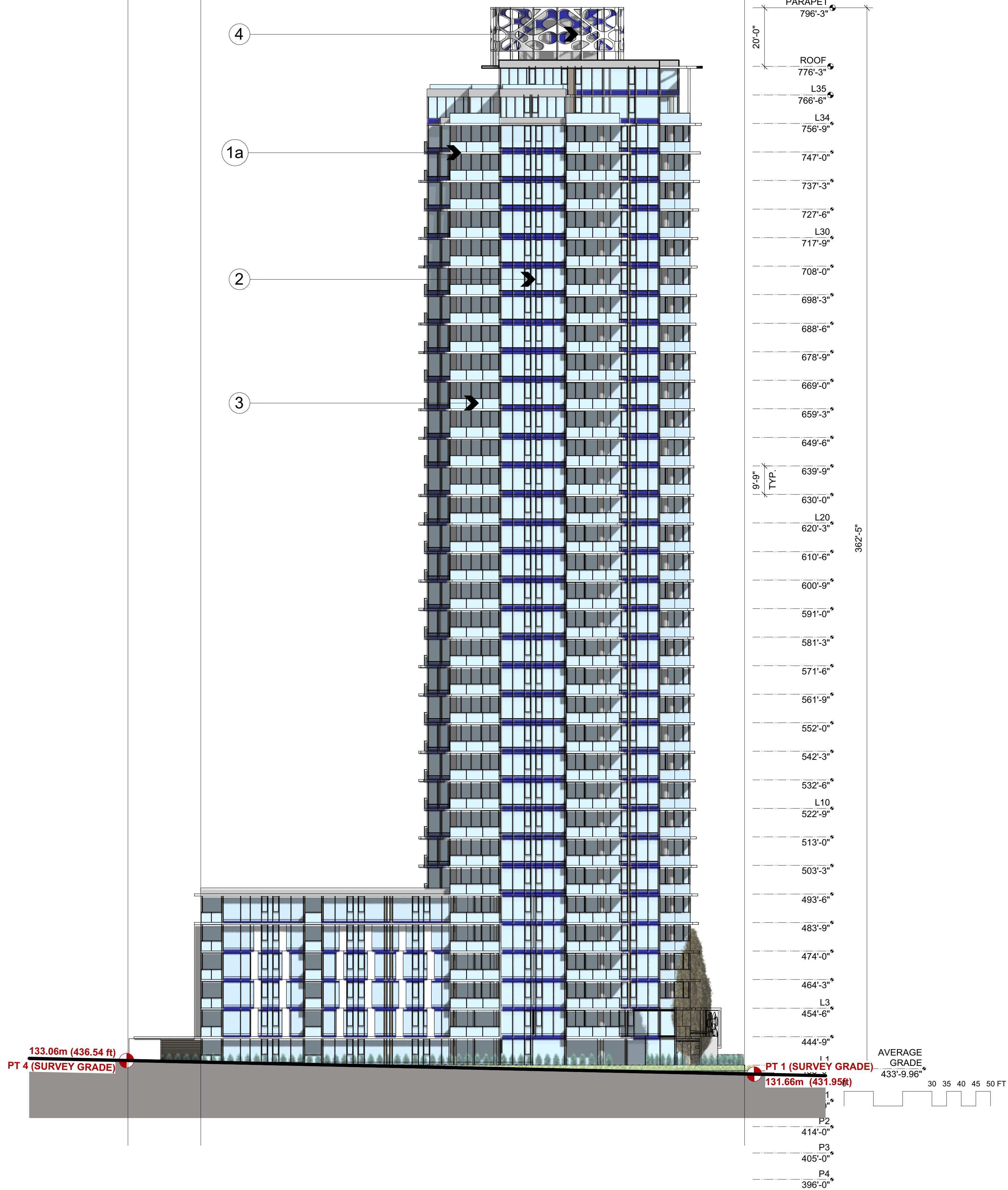




7) GLASS AND STEEL ENTRY CANOPY  
C/W "SPIDER CONNECTORS"

A3.02





- MATERIALS LIST
- 1) PAINTED CONCRETE
- BENJAMIN MOORE  
1a) "STONE WHITE" 2120-70"  
1b) "NORMANDY" 2129-40 "
- 2) WINDOW WALL
- ANODIZED ALUMINUM FRAMES  
BLUE GLASS SPANDREL  
LOW- E INSULATED GLASS UNITS
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- 6) STEEL CORNICE  
"ARTIC WHITE"
- 7) GLASS AND STELL ENTRY CANOPY  
C/W "SPIDER CONNECTORS"

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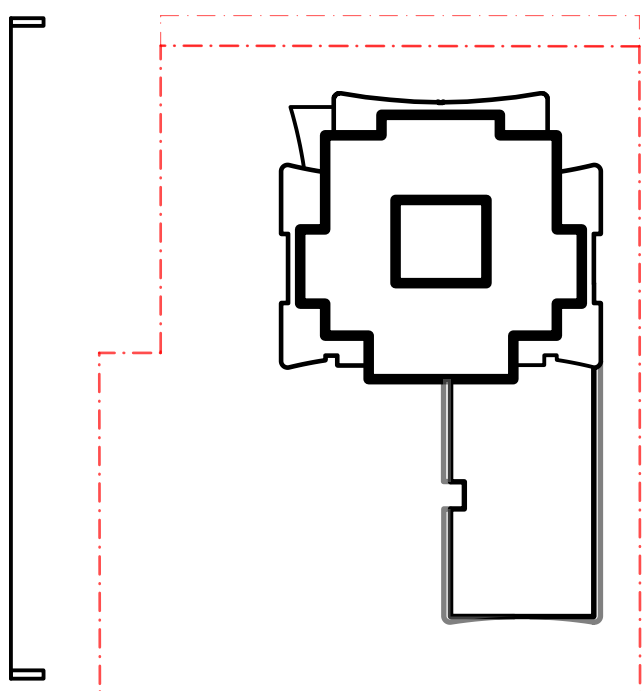
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ISSUES		DESCRIPTION
NO.	DATE	APPR
REVISIONS		
SEAL		DESCRIPTION
SUB-CONSULTANT		
PROJECT CONSULTANT		
<div><div></div><div><b>IBI GROUP ARCHITECTS (CANADA) INC.</b> 700 – 1285 West Pender Street Vancouver BC V6E 4B1 Canada tel 604 683 8757 fax 604 683 0492 ibigroup.com</div></div>		
PROJECT TITLE		
<b>THE BENNETT, BURNABY, BC</b>		
PROJECT NO: 116939		
DRAWN BY:		
CHKD BY:		
SCALE: 1/16" = 1'-0"		
DATE: 2019 AUGUST		
SHEET TITLE		
<b>EAST ELEVATION</b>		
SHEET NUMBER		REV
<b>A3.03</b>		





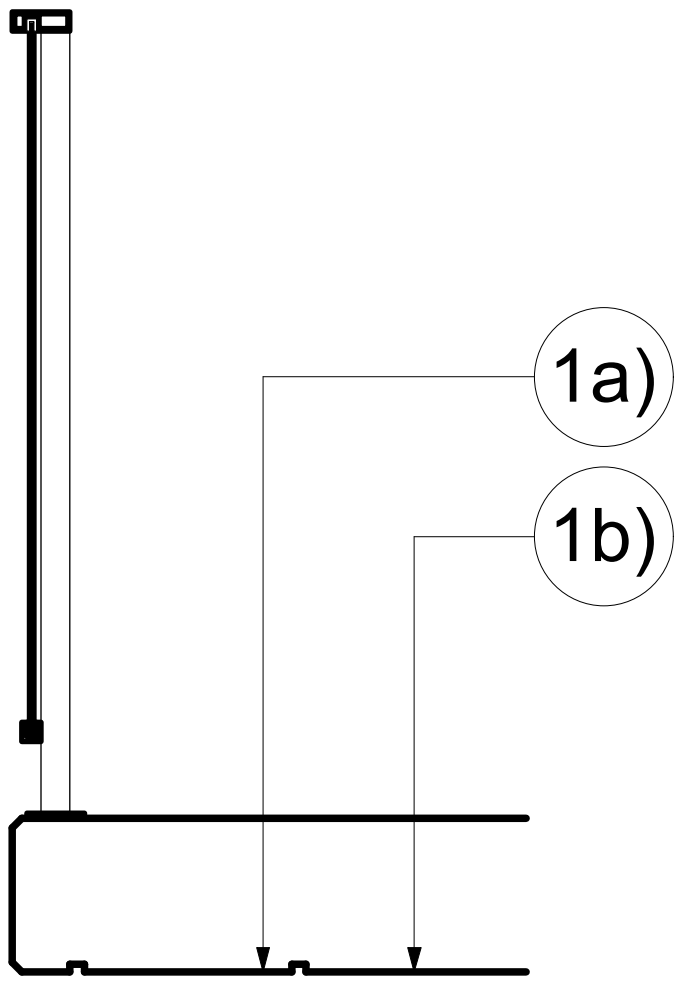
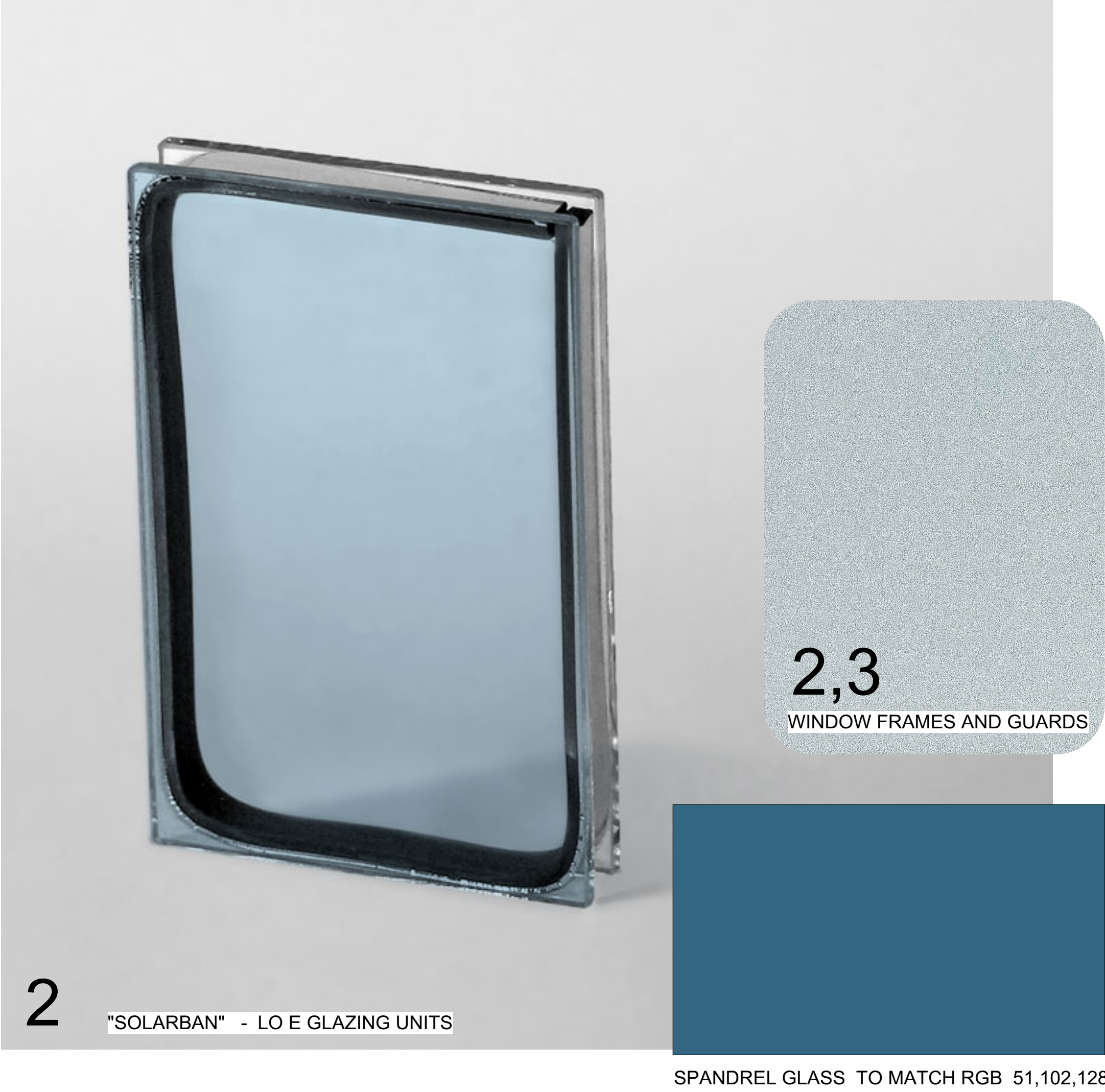
7) GLASS AND STEEL ENTRY CANOPY  
C/W "SPIDER CONNECTORS"

DESCRIPTION

REV

### A3.04





GUARDRAIL DETAIL

- MATERIALS LIST
- 1) PAINTED CONCRETE
- BENJAMIN MOORE  
1a) "STONE WHITE" 2120-70"  
1b) "NORMANDY" 2129-40 "
- 2) WINDOW WALL
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ARTIC WHITE"
- 7) GLASS AND STELL ENTRY CANOPY  
C/W "SPIDER CONNECTORS"

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ISSUES		DESCRIPTION
NO.	DATE	APPR
REVISIONS		
SEAL		DESCRIPTION
SUB-CONSULTANT		
PROJECT CONSULTANT		
<div><div><div>IBI</div></div><div><div>IBI GROUP</div><div>ARCHITECTS (CANADA) INC.</div><div>700 – 1285 West Pender Street</div><div>Vancouver BC V6E 4B1 Canada</div><div>tel 604 683 8757 fax 604 683 0492</div><div>ibigroup.com</div></div></div>		
PROJECT TITLE		
THE BENNETT, BURNABY, BC		
PROJECT NO: 116939		
DRAWN BY:		
CHK'D BY:		
SCALE:		
DATE: 2019 AUGUST		
SHEET TITLE		
MATERIALS		
SHEET NUMBER		REV
A3.05		






- 1a
- 1b
- 3
- 2
- 4
- 7
- 5



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REVISIONS		
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SUB-CONSULTANT

PROJECT CONSULTANT



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PROJECT TITLE

**THE BENNETT,  
BURNABY, BC**

PROJECT NO:	116939
DRAWN BY:	
CHK'D BY:	
SCALE:	
DATE:	2019 AUGUST
SHEET TITLE	

**DETAILS**

SHEET NUMBER	REV
<b>A3.06</b>	