

Date	Issue / Revisions
18-1-30	Re-Issued for Suitable Plan of Development
18-2-9	Re-Issued for Suitable Plan of Development
18-6-22	Re-Issued for Suitable Plan of Development
18-11-18	Issued for 3rd Reading
18-11-18	Issued for 3rd Reading
19-1-14	Re-Issued for 3rd Reading
19-07-31	Issued for Suitable Plan of Development
19-08-29	Issued for Suitable Plan of Development V2



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Design Consultant  
RICHARD HENRY ARCHITECT INC.

Project  
Telford Ave. Multi-Residential  
6525 Telford Ave.  
Burnaby, BC

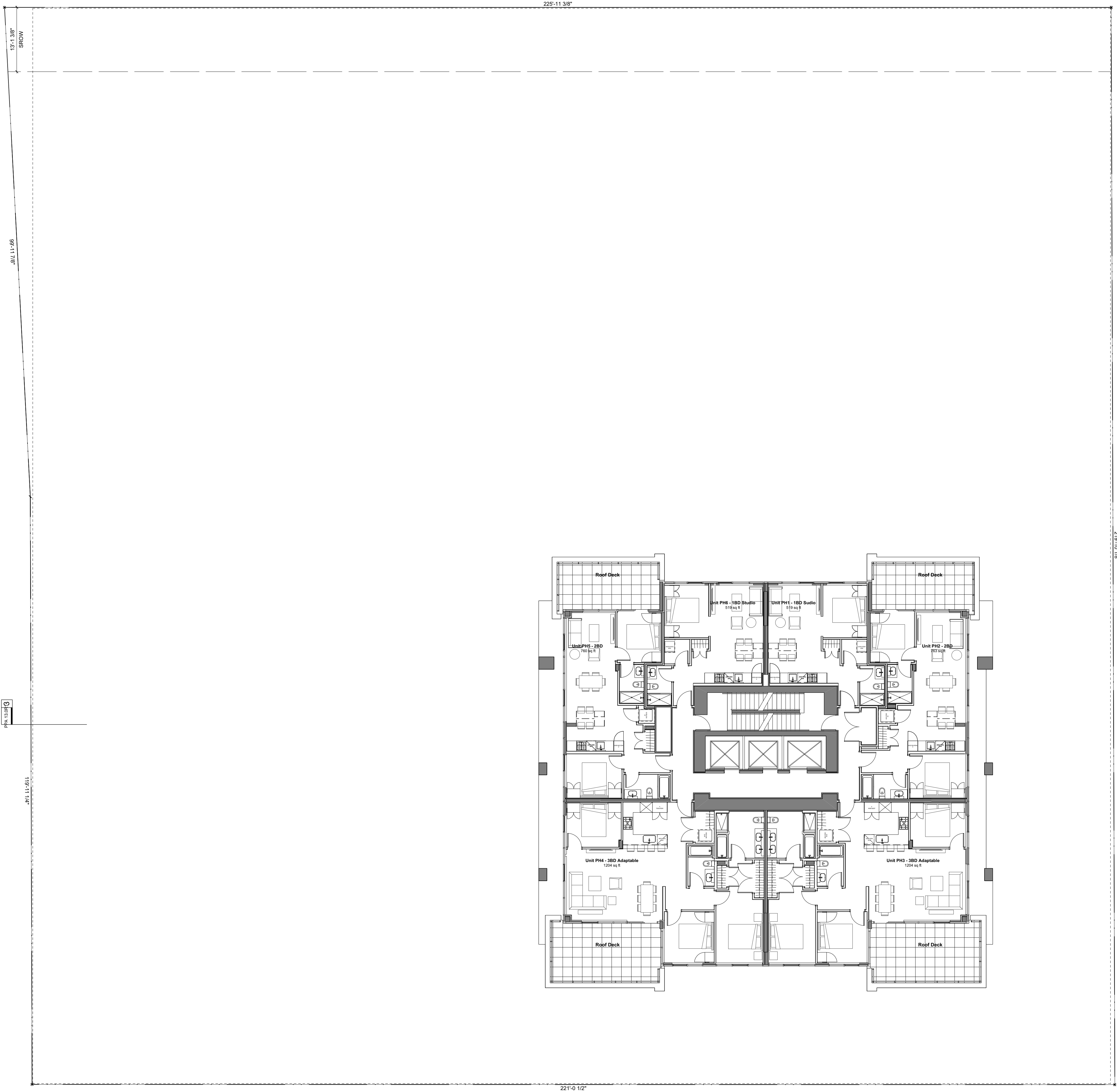
Sheet Title  
Level 31 Floor Plan

Project Number  
16046

Scale  
3/32" = 1'-0"

Sheet Number

PPA 11.7R1



Plan 26877

Date	Issue / Revisions
19-07-31	Issued for Suitable Plan of Development
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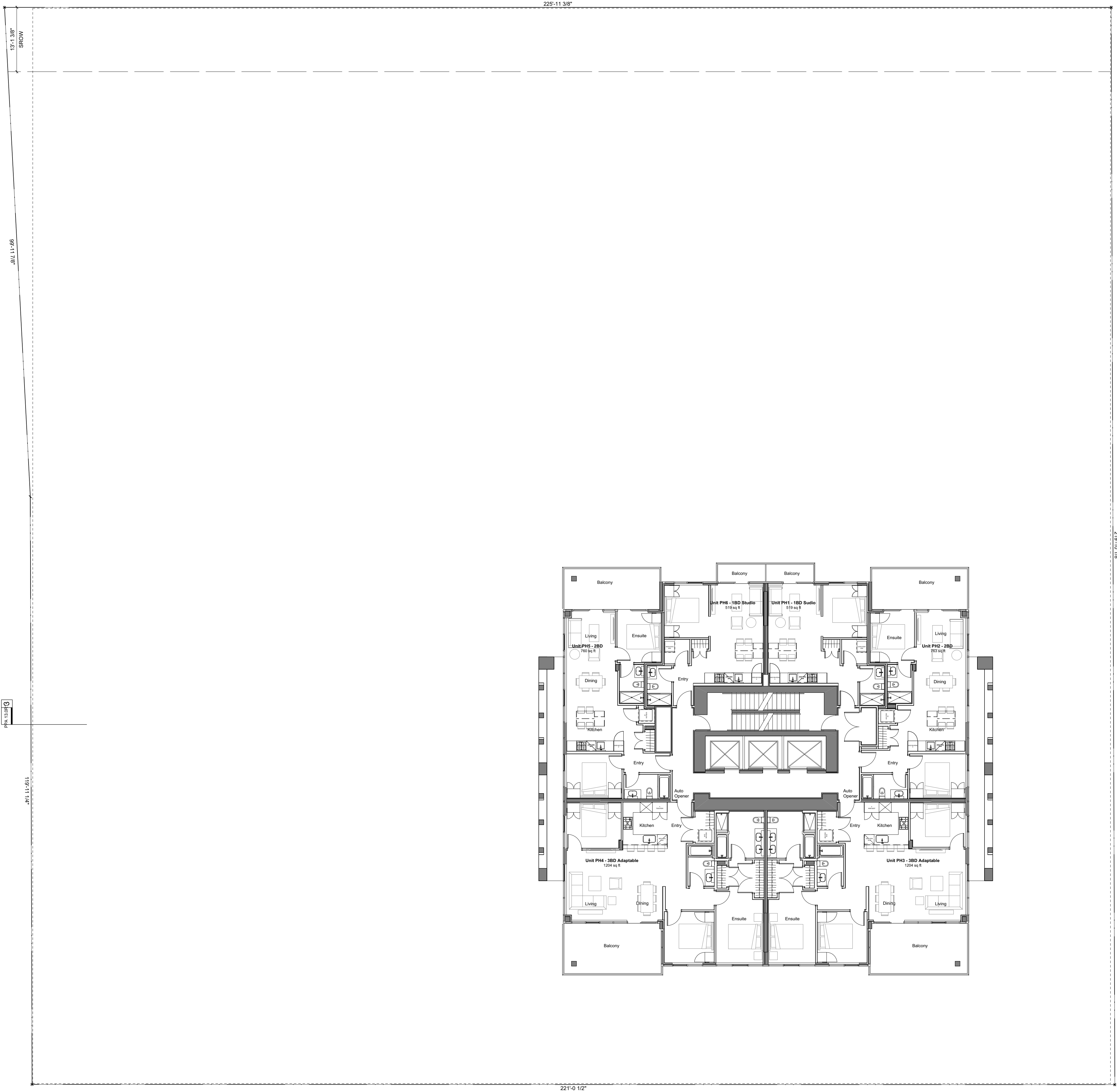
Design Consultant  
RICHARD HENRY ARCHITECT INC.

Project  
Telford Ave. Multi-Residential  
6525 Telford Ave.  
Burnaby, BC

Sheet Title  
Levels 32-37 Floor Plans

Project Number  
16046  
Scale  
3/32" = 1'-0"  
Sheet Number

PPA 11.8



Plan 26877

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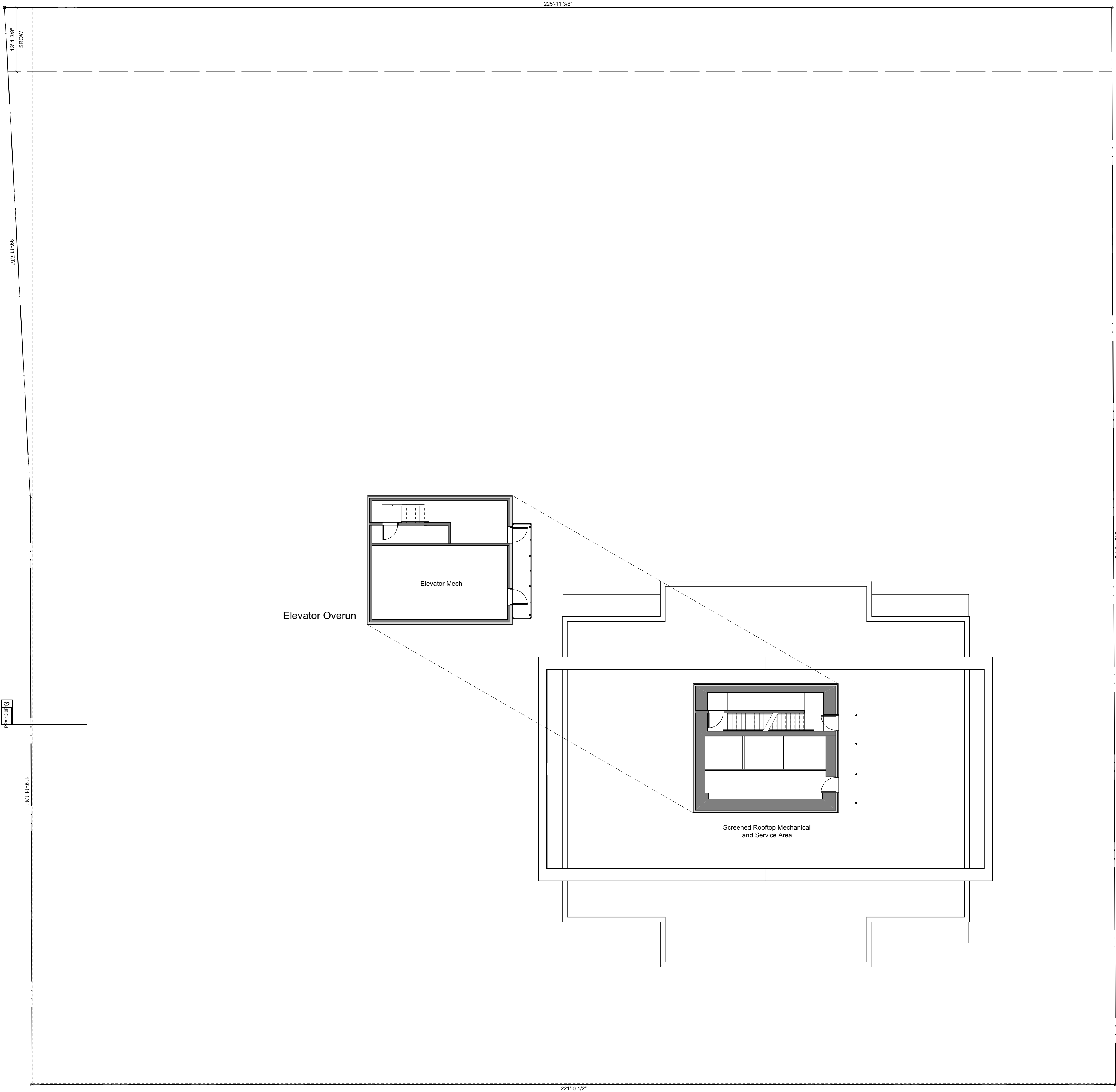
Sheet Title  
Roof Level Plan

Project Number  
16046

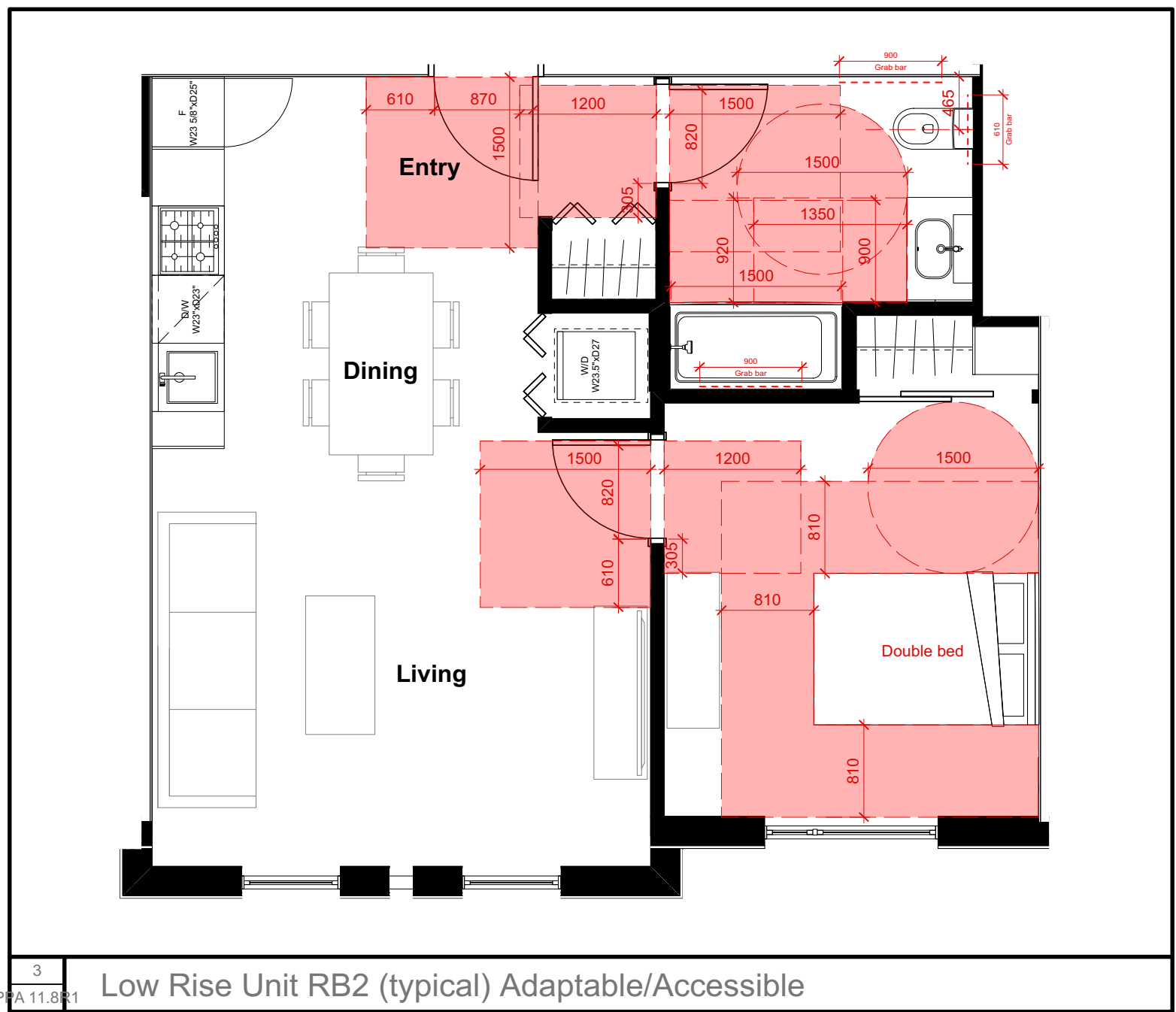
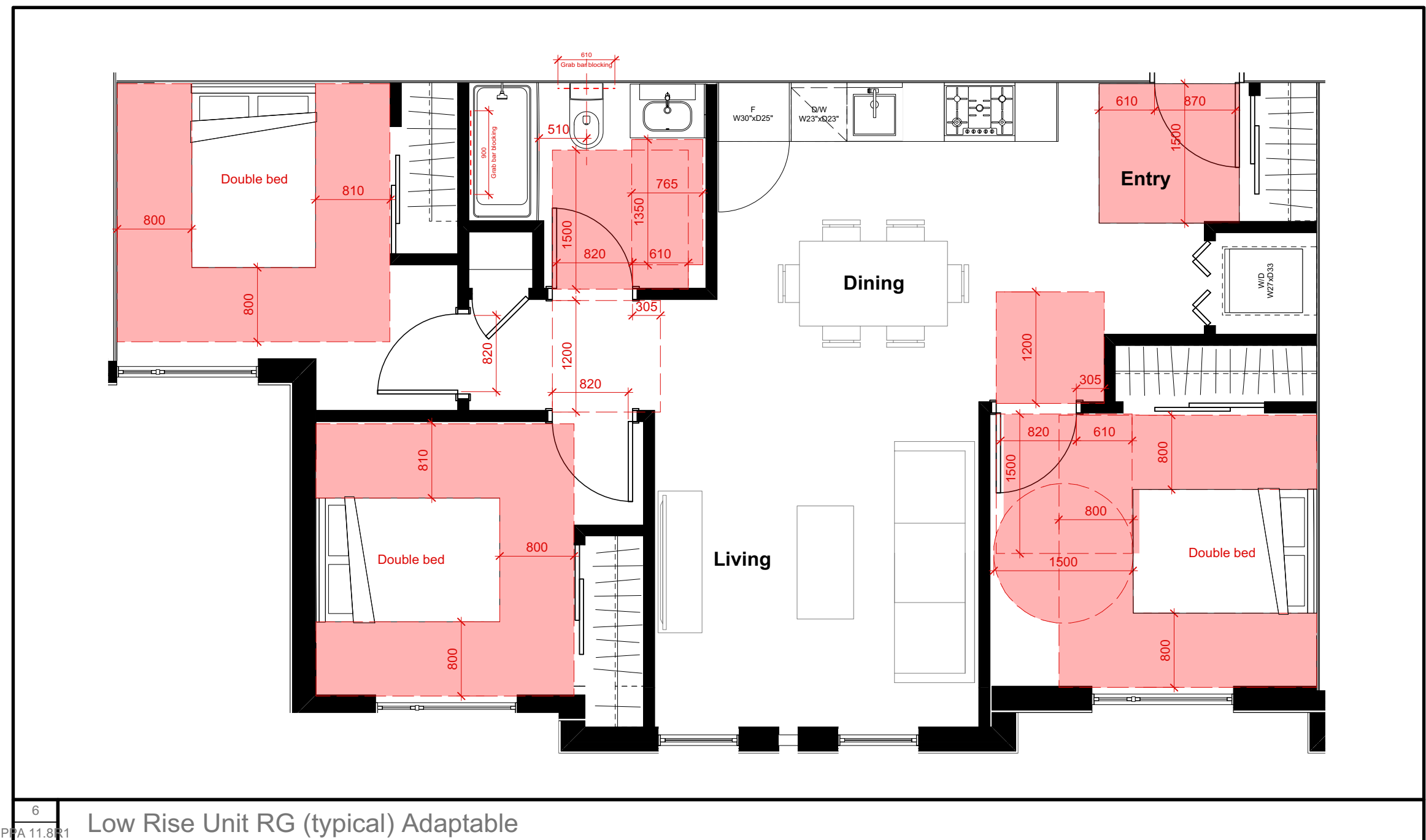
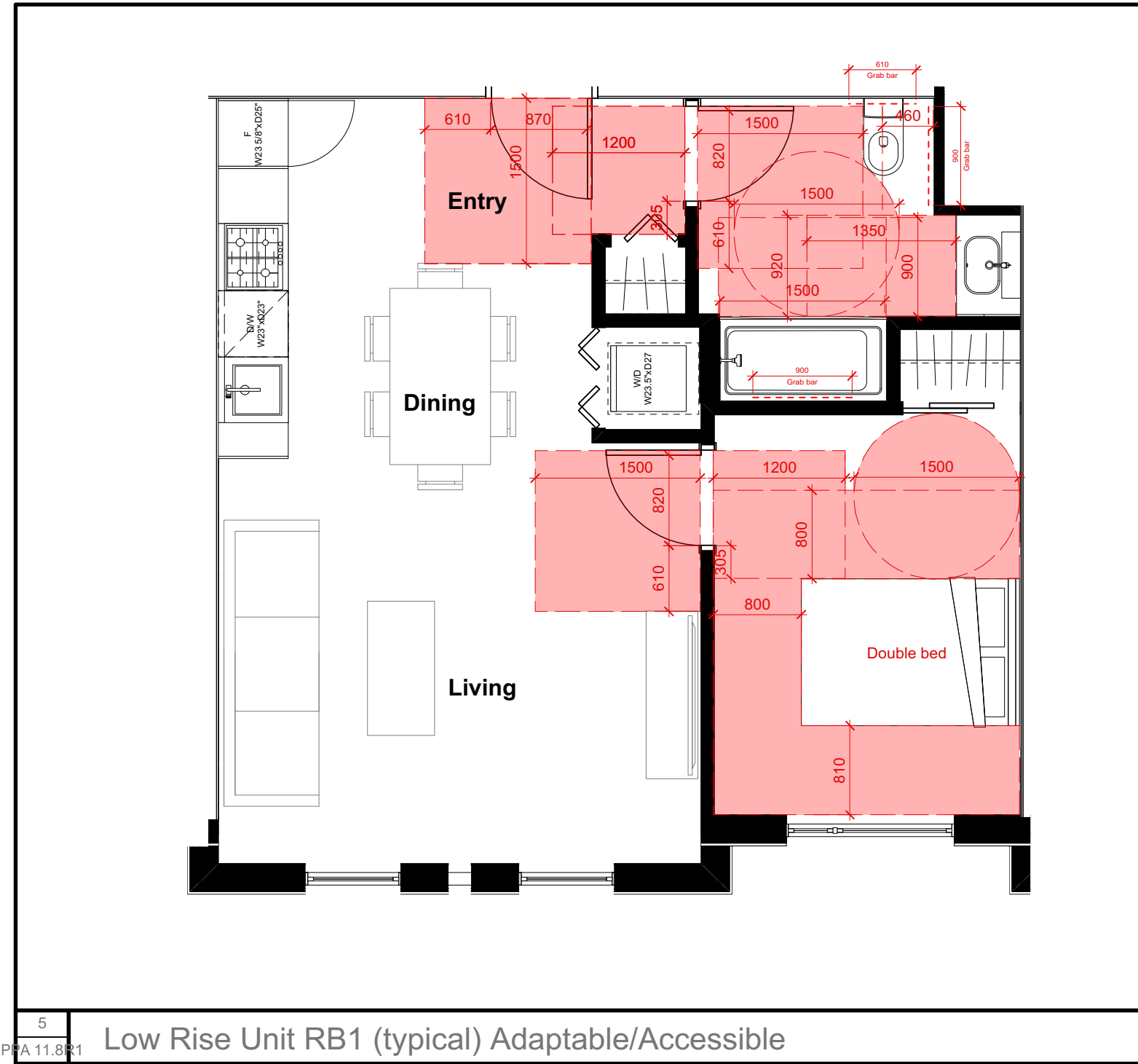
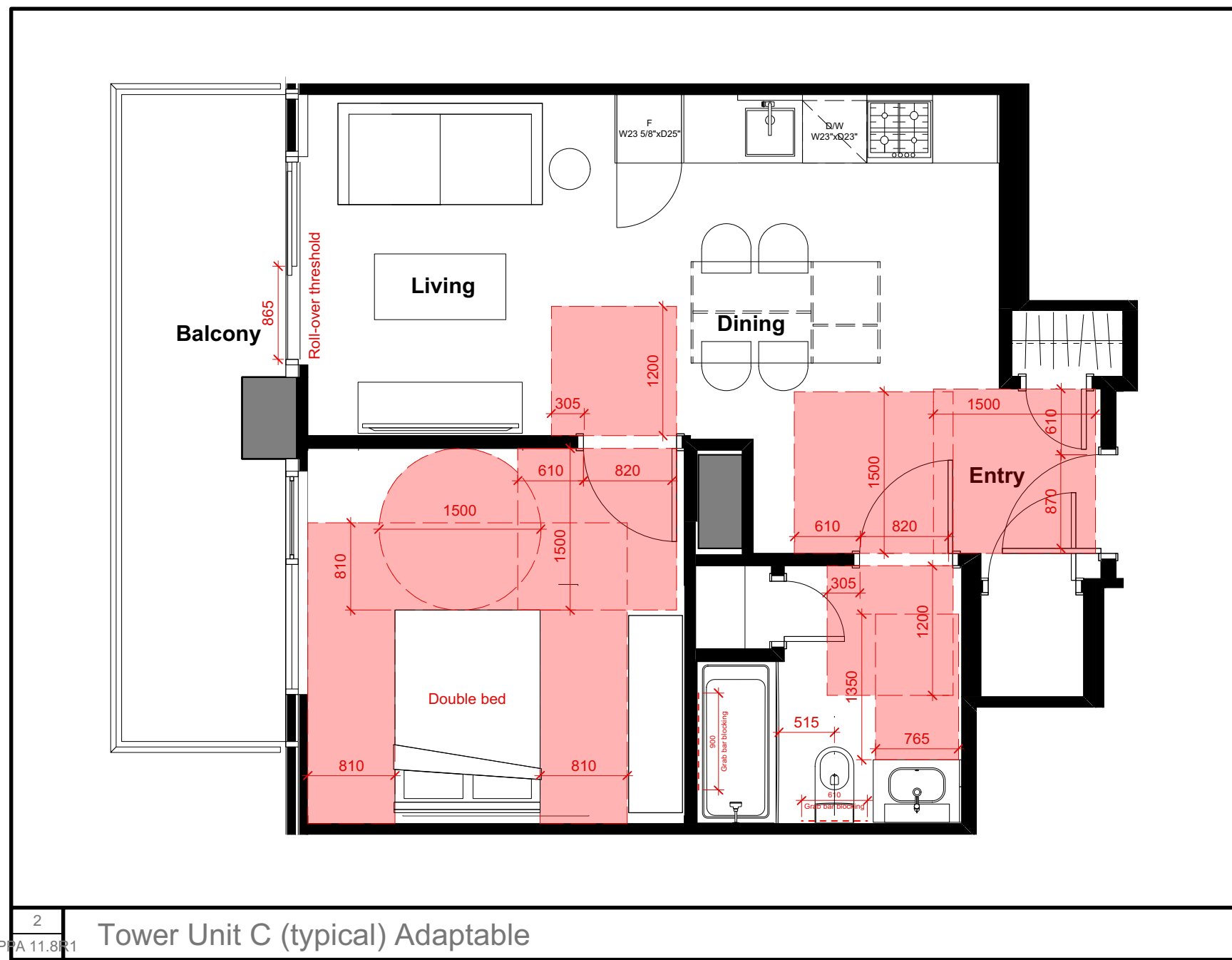
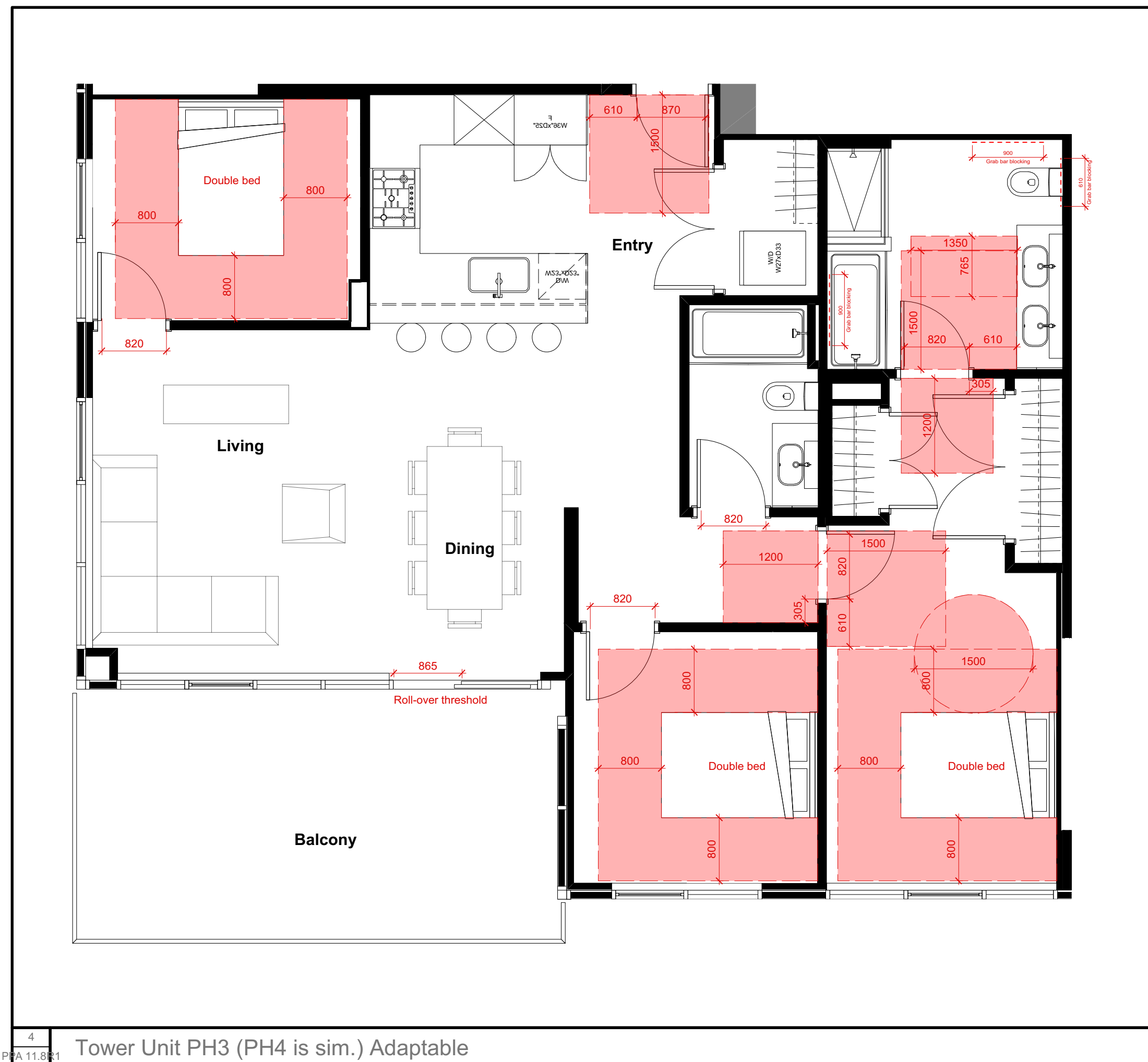
Scale  
3/32" = 1'-0"

Sheet Number

PPA 11.9



Plan 26877



Note: All dimensions in metric this sheet only

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Project  
Telford Ave. Multi-Residential  
6525 Telford Ave.  
Burnaby, BC

Sheet Title  
Unit Adaptability Compliance

Project Number  
16046  
Scale  
1:50  
Sheet Number

PPA 11.10



ADAPTABLE DWELLING UNIT DESIGN GUIDELINES FOR MULTIPLE  
FAMILY RESIDENTIAL DEVELOPMENTS

(Updated 2019 July 05 - Updated Sketch)

Burnaby's *Adaptable Housing Policy* requires that a minimum of 20% of all single-level units in new multi-family and residential mixed-use developments, in which dwelling units are primarily accessed via a common corridor, be adaptable. The intent of the policy is to promote housing choice and flexibility such that people are able to meet their accessibility needs and age-in-place with minimal or no additional renovation costs in the future.

The construction requirements for adaptable dwelling units are specified in Subsection 3.8.5, Division B, of the BC Building Code. In addition to those requirements, the Planning Department, as part of the CD Comprehensive Development District rezoning process, reviews the design and configuration of adaptable dwelling units for:.

- the provision of adequate circulation and maneuvering space for wheelchairs or other mobility devices within the building / adaptable dwelling unit;
- the efficiency of the adaptable dwelling unit's layout and configuration; and,
- the installation of equipment, controls, switches, outlets, and handles within the adaptable dwelling unit for ease, or reach and use.

Well-designed adaptable dwelling units meet basic accessibility such that people can comfortably move and operate within their own home.

The following *Adaptable Unit Design Guidelines* have been prepared to support developers and architects to meet the criteria used by the Planning Department to assess the design and configuration of adaptable dwelling units in each project. Architectural plans should clearly illustrate or note the accessible/adaptable features in each of the adaptable unit-types provided in the proposed CD development. *Attached* as a reference are illustrations of the accessible/adaptable features sought in adaptable dwelling units

DEVELOPMENT STATISTICS

The Burnaby Adaptable Housing policy requires that a minimum of 20% of all single-level units in new multi-family and residential mixed-use developments be adaptable. While no specific percentages are prescribed, the development should provide a balanced mix of adaptable dwelling units across the unit types within the development.

398 Total number of dwelling units x 20% = 80 Total number of adaptable units required, which are distributed across the following unit types:

Studio units

One-Bedroom + den units

Two-Bedroom + den units

One-Bedroom units

Two-Bedroom units

Three-Bedroom units or more

FLOOR AREA EXEMPTION

One Bedroom Units

39 Adaptable dwelling units x 1.86 m<sup>2</sup> of gross floor area = 72.54 m<sup>2</sup> excluded from the calculation of gross floor area.

Two or more Bedroom Units

48 Adaptable dwelling units x 1.86 m<sup>2</sup> of gross floor area + 0.93 m<sup>2</sup> for every bedroom in excess of the first adaptable bedroom = 89.28

A. BUILDING ENTRY AND CIRCULATION

The following guidelines allow for visitability to a residential development.

ADAPTABLE FEATURE	PROVIDED
An accessible path of travel shall be provided: <ul style="list-style-type: none"><li>from the street, surface, passenger-loading zones and/or underground parking area to at least one main entrance;</li><li>from the main entrance to each adaptable unit;</li><li>from the main entrance to the elevator; and,</li><li>from the main entrance to all common facilities or amenities (i.e. lounge, party room, pool/sauna, fitness room, guest suite, garbage/recycling).</li></ul>	Yes.
Elevator entrances shall provide a clear area of not less than 1,500 mm x 1,500 mm on a floor where adaptable units or common facilities or amenities are located.	Yes.
Corridors and passage ways providing access to adaptable dwelling unit entrances and common facilities or amenities shall be not less than 1,220 mm in width.	Yes.
Door handles shall not require tight grasping or twisting of the wrist.	Yes.

F. LIVING ROOMS AND BEDROOM(S)

The following guidelines provide basic clearance and maneuvering space for a wheelchair or other mobility device to access all living rooms and bedrooms within an adaptable dwelling unit. Areas identified on the architectural plans as living rooms and bedrooms should be illustrated with furniture to scale with the size and dimensions of the room. Living room furniture includes one loveseat (two people), one side table and one entertainment console (where a wall-mounted television is not possible). Bedroom furniture includes one bed, one night stand and closet. Notwithstanding the above, it is acknowledged that residents have the ability to select furnishing and its placement to suit their accessibility needs.

ADAPTABLE FEATURE	PROVIDED
A minimum of one bedroom shall be designed to meet the following criteria: <ul style="list-style-type: none"><li>(i) accommodate a double bed (1345 mm x 1890 mm);</li><li>(ii) provide a clear turning radius of 1500 mm on one edge of the bed; and,</li><li>(iii) provide a clear open travel path of not less than 800 mm on the remaining sides of the bed (excluding the head).</li></ul>	Yes.
Where more than one bedroom is provided, each additional bedroom shall be designed to meet the following minimum criteria: <ul style="list-style-type: none"><li>(i) accommodate a double bed; and,</li><li>(ii) provide a minimum clear open travel path of not less than 800 mm on the remaining sides of the bed (excluding the head).</li></ul>	Yes.
Controls and switches, including electrical, telephone, cable and data outlets shall be located between 455 mm and 1200 mm above the floor.	Yes.
Wiring for a visual alarm shall be tied into the fire alarm system for future installation of such alarm in the living room and bedroom(s).	Yes.

G. BALCONY

The following guidelines provide access to the balcony.

ADAPTABLE FEATURE	PROVIDED
A minimum clear width opening of 850 mm shall be provided to the balcony.	Yes.
The threshold shall be designed and constructed in a manner that is accessible, while maintaining the integrity of the building envelope. Alternatively, the accessibility of the balcony can be addressed with the provision of a portable wheelchair ramp.	Yes.

B. UNIT ENTRY

The following guidelines provide basic clearance for a wheelchair or other mobility device to enter and exit an adaptable dwelling unit.

ADAPTABLE FEATURE	PROVIDED
Unit suite entry shall have a minimum clear opening of not less than 850 mm.	Yes.
Door swing clearance shall be provided as follows: <ul style="list-style-type: none"><li>When the door swings out (away from the unit entry area), a minimum clearance of 1220 mm will be provided in the common corridor to accommodate the door swing movement. A 300 mm clear space beside the latching jamb of the door will also be provided.</li><li>When the door swings in (towards the unit entranceway), a minimum clearance of 1500 mm will be provided in the entranceway to accommodate the door swing movement. A 600 mm clear space beside the latching jamb of the door will also be provided.</li></ul>	Yes.
Door handles shall not require tight grasping or twisting of the wrist.	Yes.

C. INTERNAL DOORWAYS AND CORRIDORS (WITHIN ADAPTABLE UNIT)

The following guidelines provide basic clearance and maneuvering space for a wheelchair or other mobility device to access common living areas and rooms of an adaptable dwelling unit.

ADAPTABLE FEATURE	PROVIDED
All doorways providing access to all living areas within the unit shall have a clear minimum opening width of not less than 810 mm.	Yes.
Door swing clearance shall be provided as follows: <ul style="list-style-type: none"><li>When the door swings out, a minimum clearance of 1220 mm will be provided in the corridor to accommodate the door swing movement. A 300 mm clear space beside the latching jamb of the door will also be provided.</li><li>When the door swings in, a minimum clearance of 1500 mm will be provided in the entranceway to accommodate the door swing movement. A 600 mm clear space beside the latching jamb of the door will also be provided.</li></ul>	Yes.
Internal unit corridors and passageways shall be a minimum of 850 mm in width.	Yes.
Door handles shall not require tight grasping or twisting of the wrist.	Yes.

H. PARKING

The following guidelines relate to the provision of accessible parking stalls.

ADAPTABLE FEATURE	PROVIDED
Parking stalls shall be 3.7 m in width, including 1200 mm for entering and leaving the vehicle	Yes.
Parking stalls shall be located as close as possible to an accessible main entry (surface) or elevator (underground).	Yes.
Parking stalls shall be marked as disabled parking in compliance with the Motor Vehicle Act.	Yes.

RECOMMENDED DISABLED PARKING STALLS PER DEVELOPMENT

TOTAL NUMBER OF PARKING SPACES	REQUIRED DISABLED PARKING SPACES
1 – 25	1
26 – 50	2
51 – 100	3
101 – 150	4
151 – 200	5
201 – 250	6
251 – 300	7
301 – 350	8
351 – 400	9
401 – 450	10



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18-11-18	Issued for 3rd Reading
18-3-27	Re-Issued for Suitable Plan of Development
19-1-14	Re-Issued for 3rd Reading
19-1-14	Re-Issued for 3rd Reading
19-07-31	Issued for Suitable Plan of Development
19-08-29	Issued for Suitable Plan of Development V2

### Materials Legend

- A1 Painted Concrete
- A2 Clear Sealed Concrete
- B1 Clay brick masonry and mortar
- C1 Cementitious fibreboard panel
- C2
- C3
- C4 High pressure laminate panel
- D1 Painted Metal fences, canopies, louvres, exterior doors and frames, guardrails, privacy screen frames, window system frames, metal panels, louvres, screens and, grilles, vinyl windows
- D2
- D3
- D4
- E1 Opaque Window System spandrel panels
- E2 Tinted Glazing at windows, guardrails, canopies
- E3 Clear Glazing at windows, guardrails, canopies
- E4 Translucent Glazing at guardrails, privacy screens
- F1 Painted wood grain aluminum extrusions

Seal

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**RICHARD HENRY ARCHITECT INC.**

Project  
**Telford Ave. Multi-Residential**  
**6525 Telford Ave.**  
**Burnaby, BC**

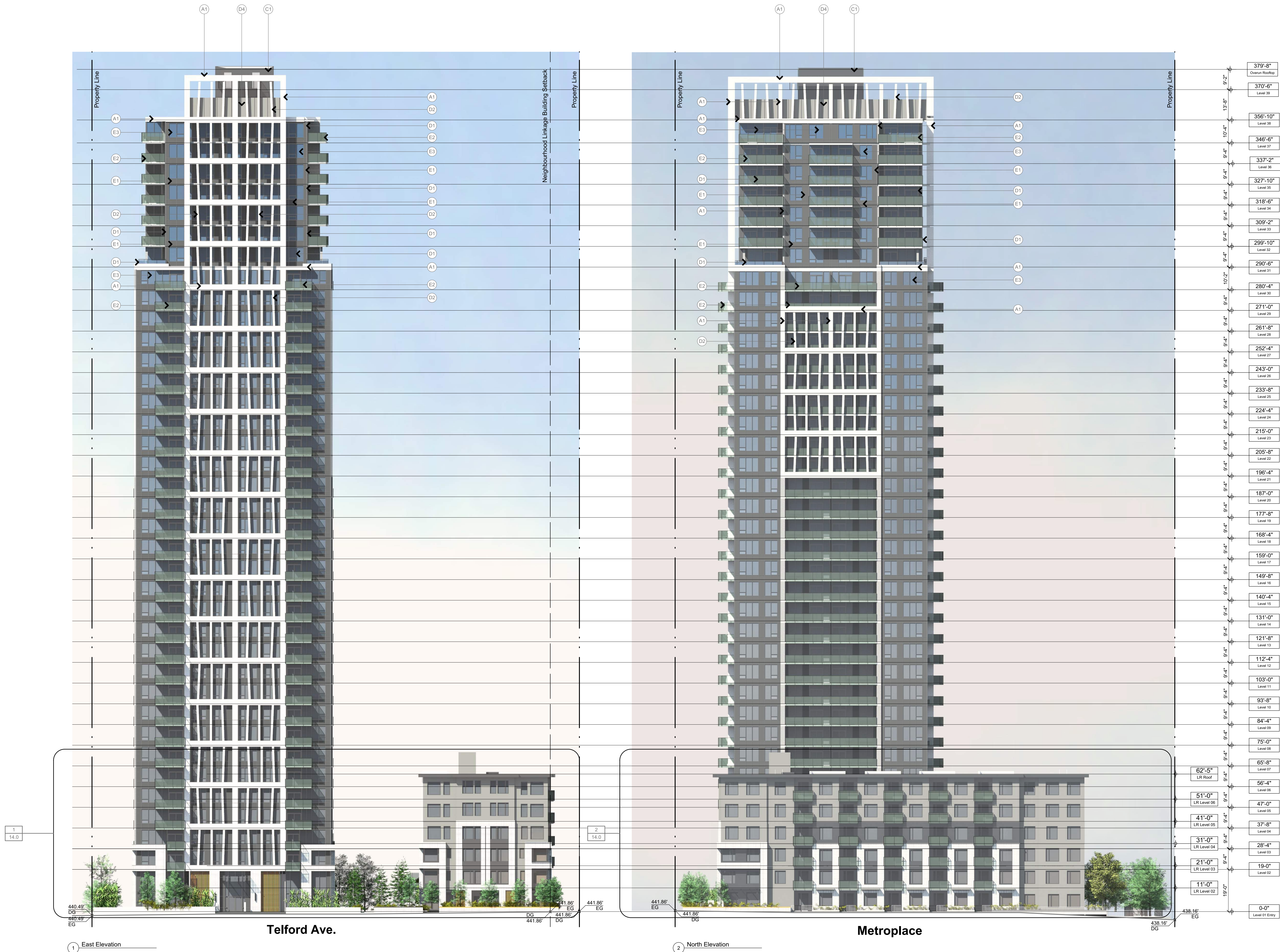
Sheet Title  
**East & North Elevations**

Project Number  
**16046**

Scale  
**1" = 20'-0"**

Sheet Number

**PPA 12.0R1**





Date	Issue / Revisions
17-11-27	Issued for Suitable Plan of Development
18-1-30	Re-Issued for Suitable Plan of Development
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18-11-18	Issued for 3rd Reading
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19-1-14	Re-Issued for 3rd Reading
19-1-14	Re-Issued for 3rd Reading
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### Materials Legend

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- A2 Clear Sealed Concrete
- B1 Clay brick masonry and mortar
- C1 Cementitious fibreboard panel
- C2
- C3
- C4 High pressure laminate panel
- D1 Painted Metal fences, canopies, louvres, exterior doors and frames, guardrails, privacy screen frames, window system frames, metal panels, louvres, screens and, grilles, vinyl windows
- D2
- D3
- D4
- E1 Opaque Window System spandrel panels
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Project  
Telford Ave. Multi-Residential  
6525 Telford Ave.  
Burnaby, BC

Sheet Title  
West & South Elevations

Project Number  
16046

Scale  
1/16" = 1'-0"

Sheet Number

PPA 12.1R1





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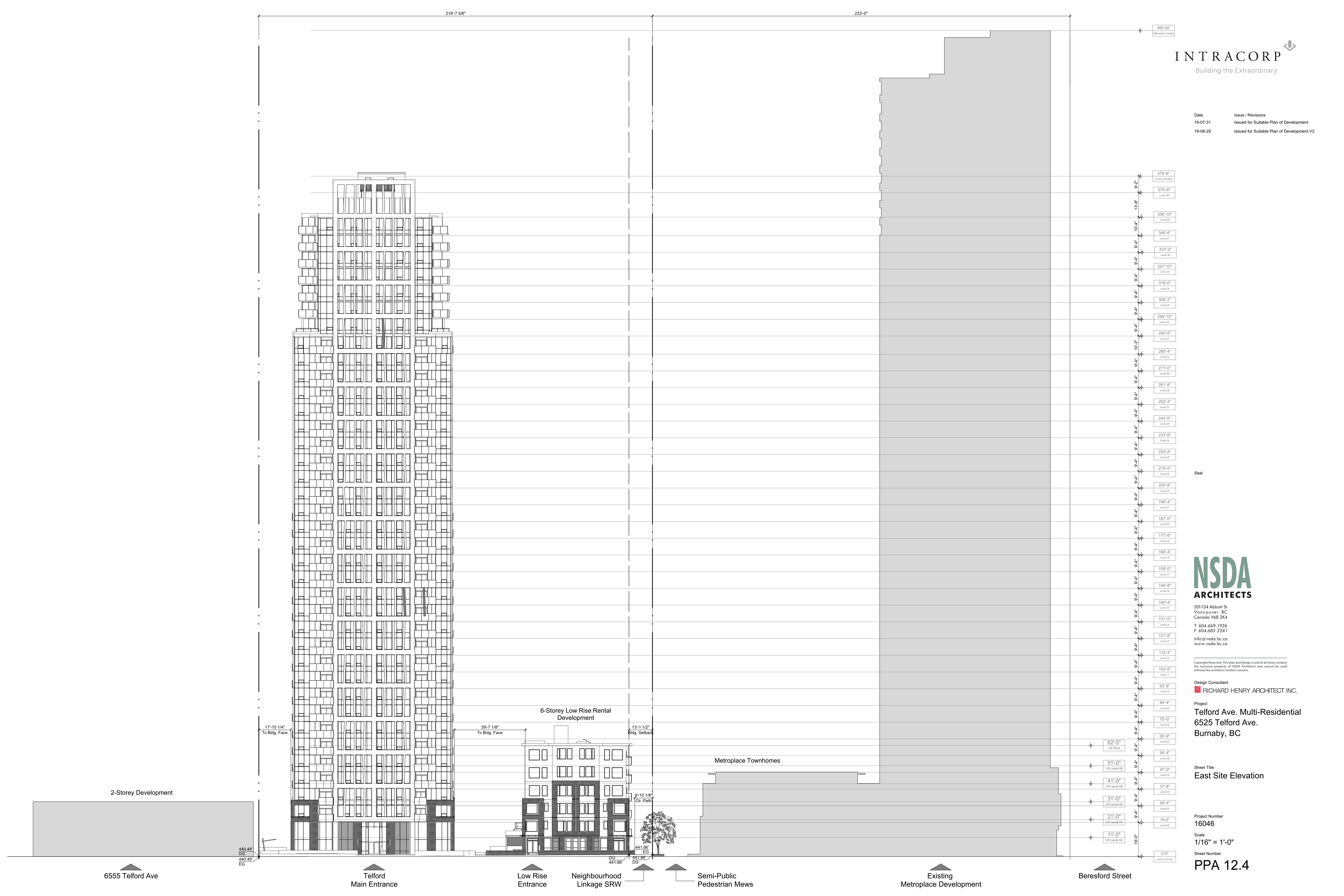
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Project Number  
16046

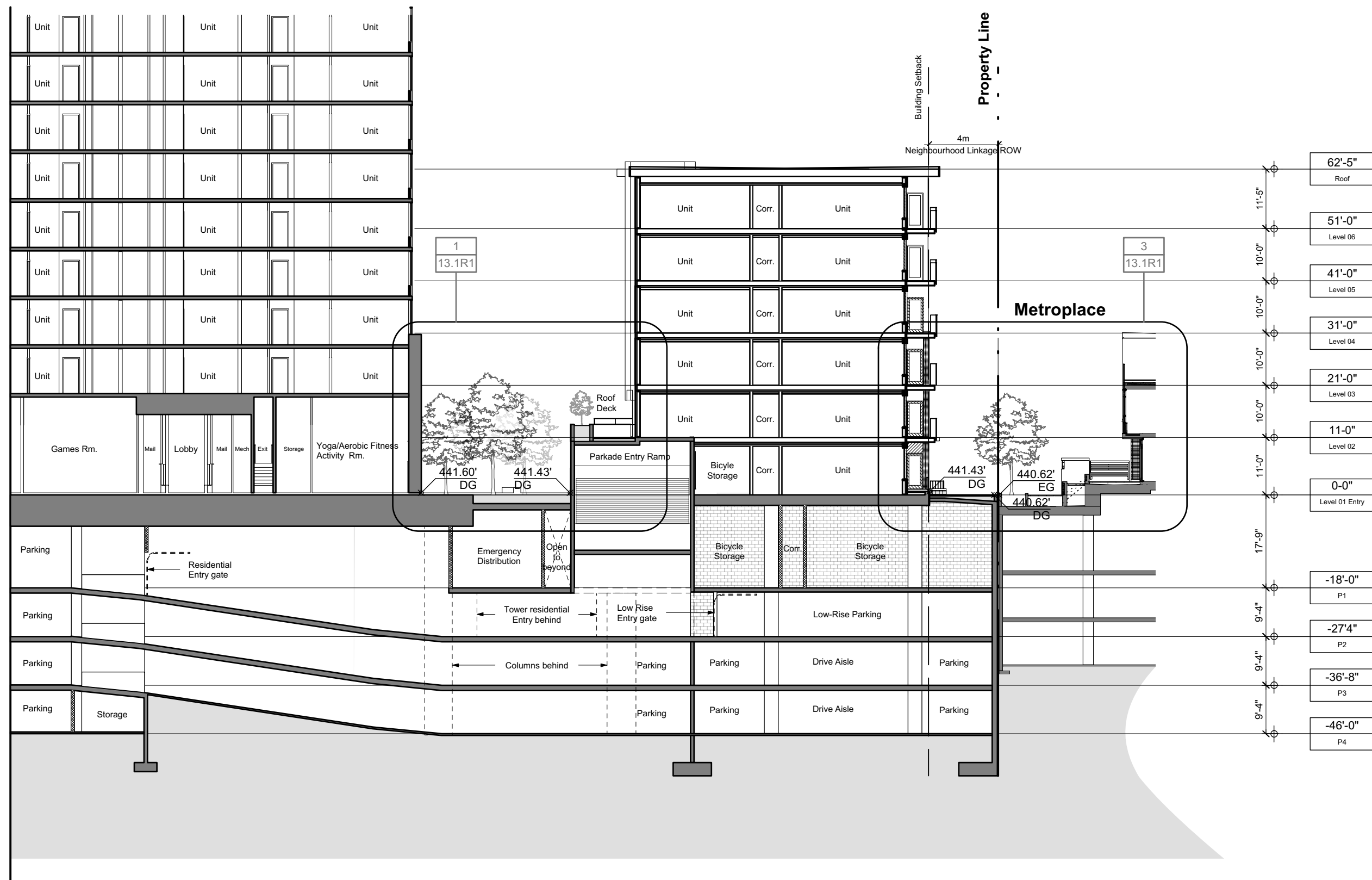
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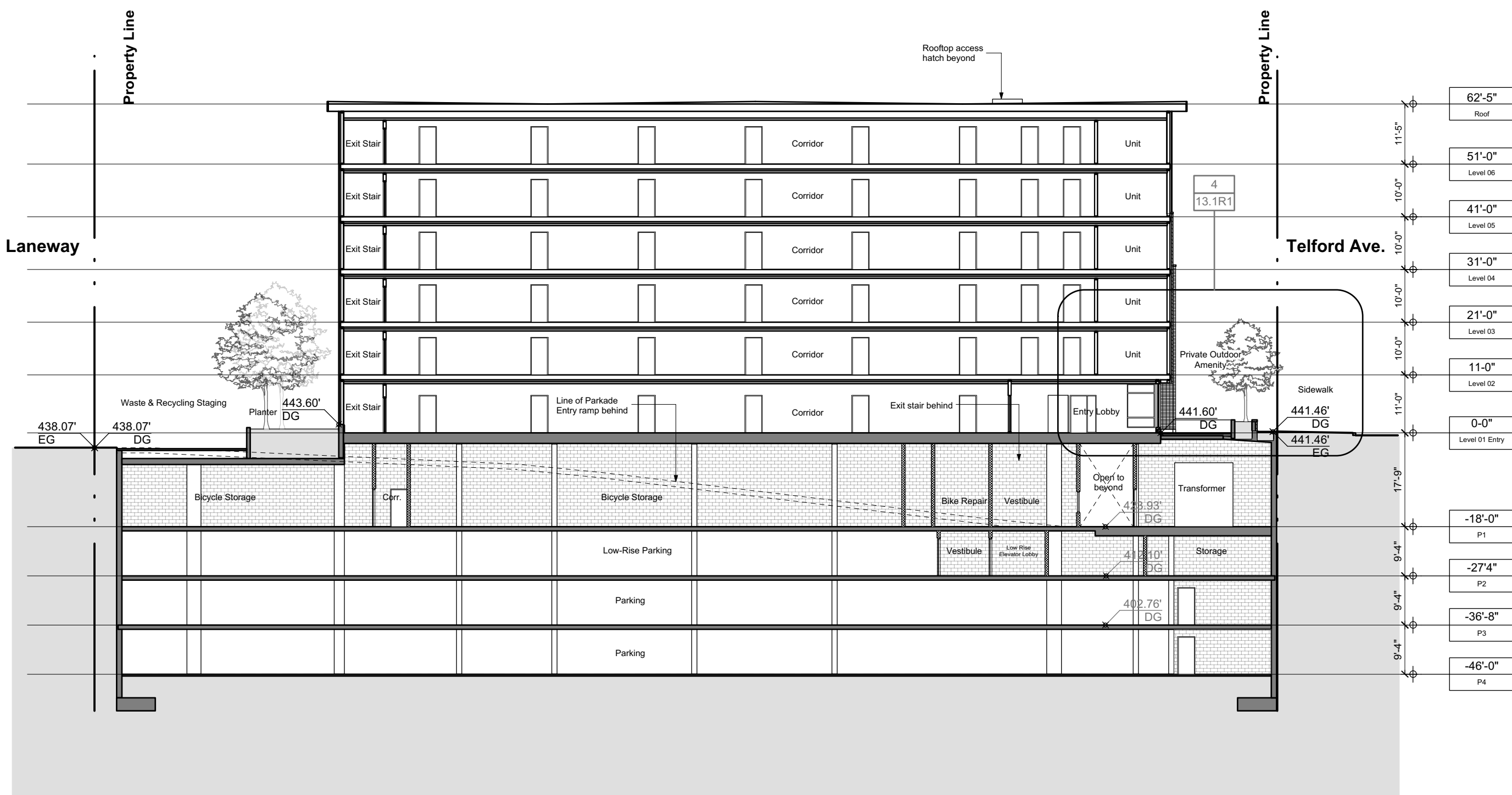
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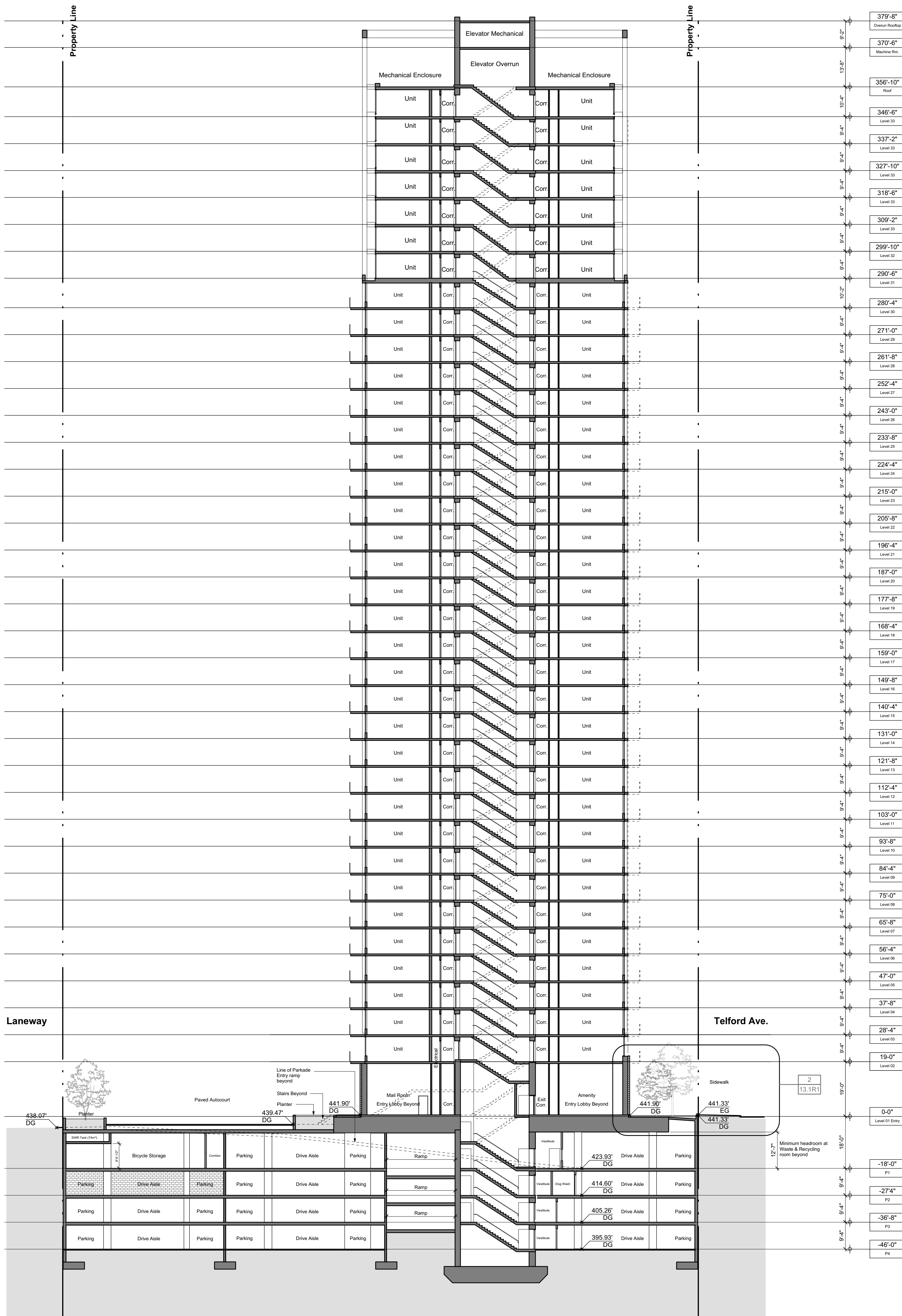




1 Section B-B



2 Section C-C



3 Section A-A

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Project  
Telford Ave. Multi-Residential  
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Burnaby, BC

Sheet Title  
Building Section

Project Number  
16046

Scale  
1" = 20'-0"

Sheet Number

PPA 13.0R1



Date	Issue / Revisions
18-11-18	Issued for 3rd Reading
18-3-27	Re-Issued for Suitable Plan of Development
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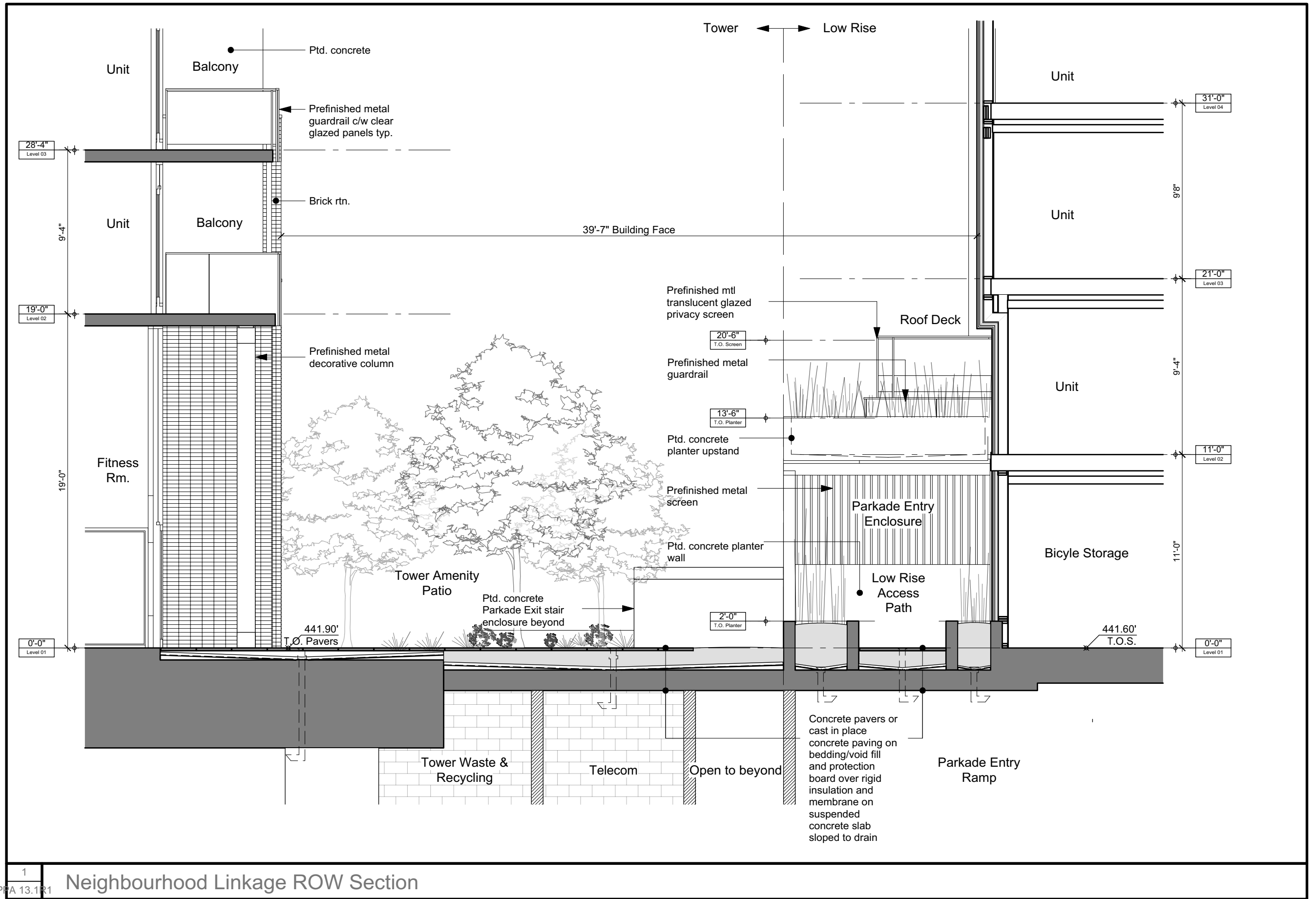
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Project Number  
16046

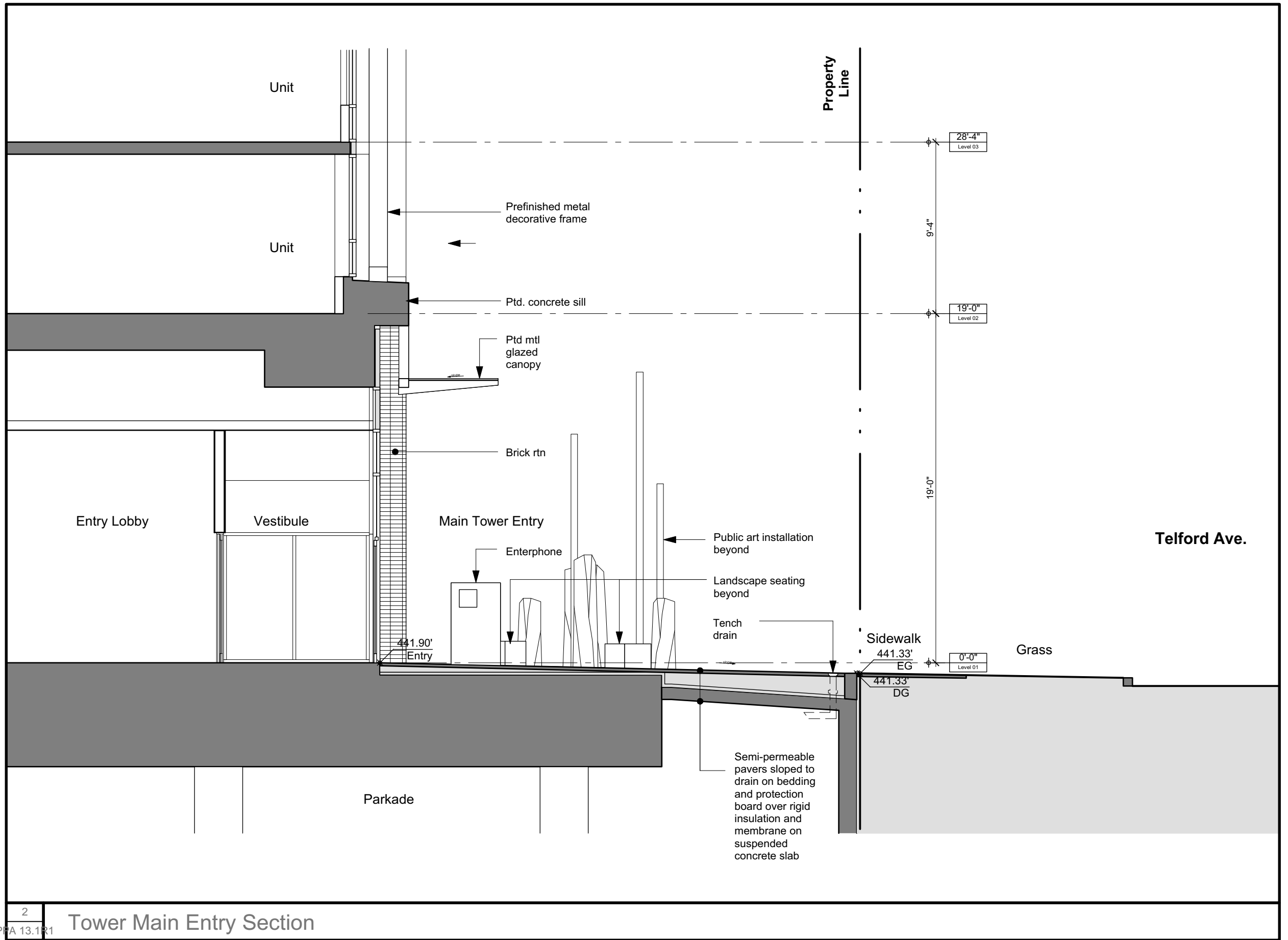
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Sheet Number

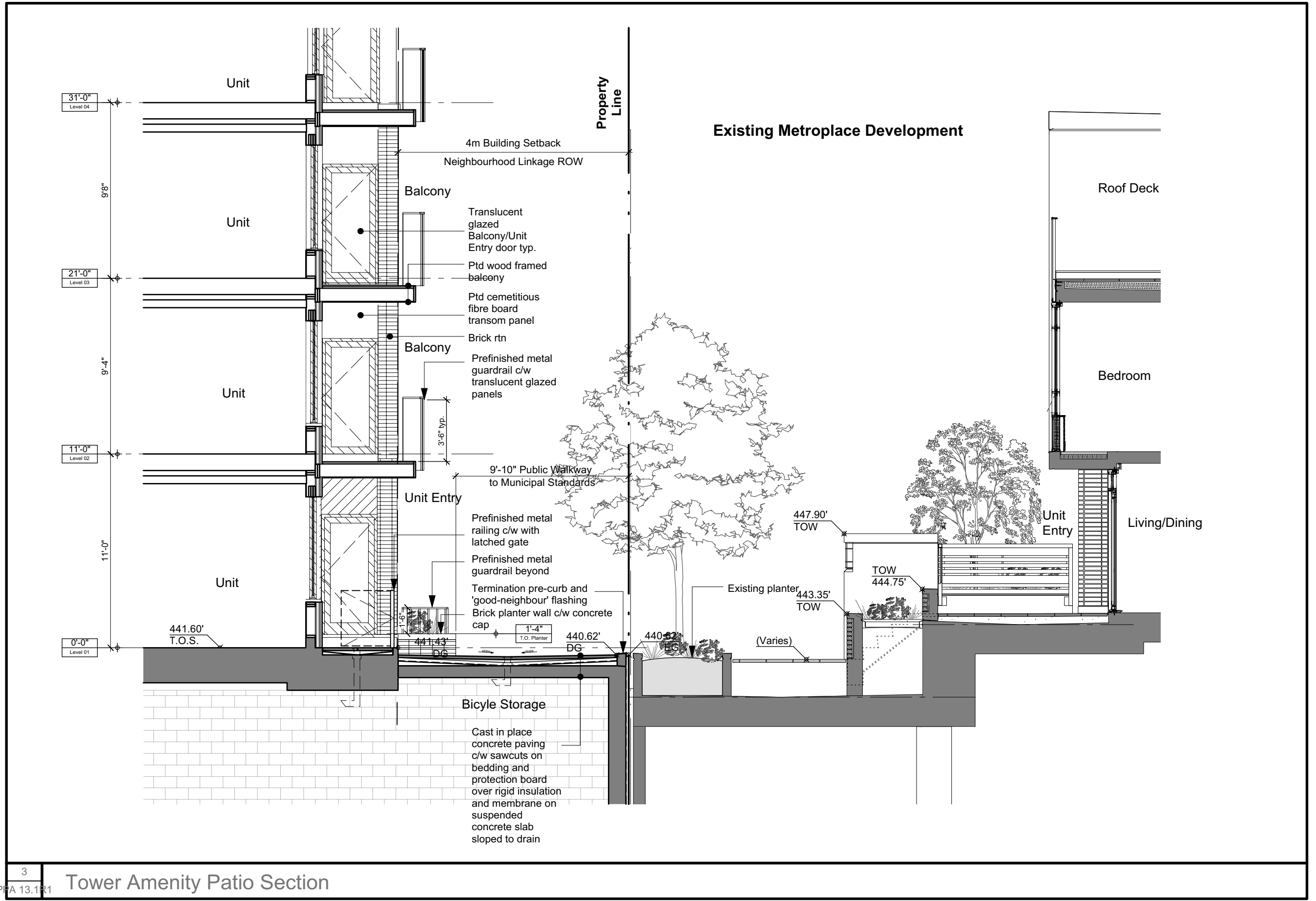
PPA 13.1R1



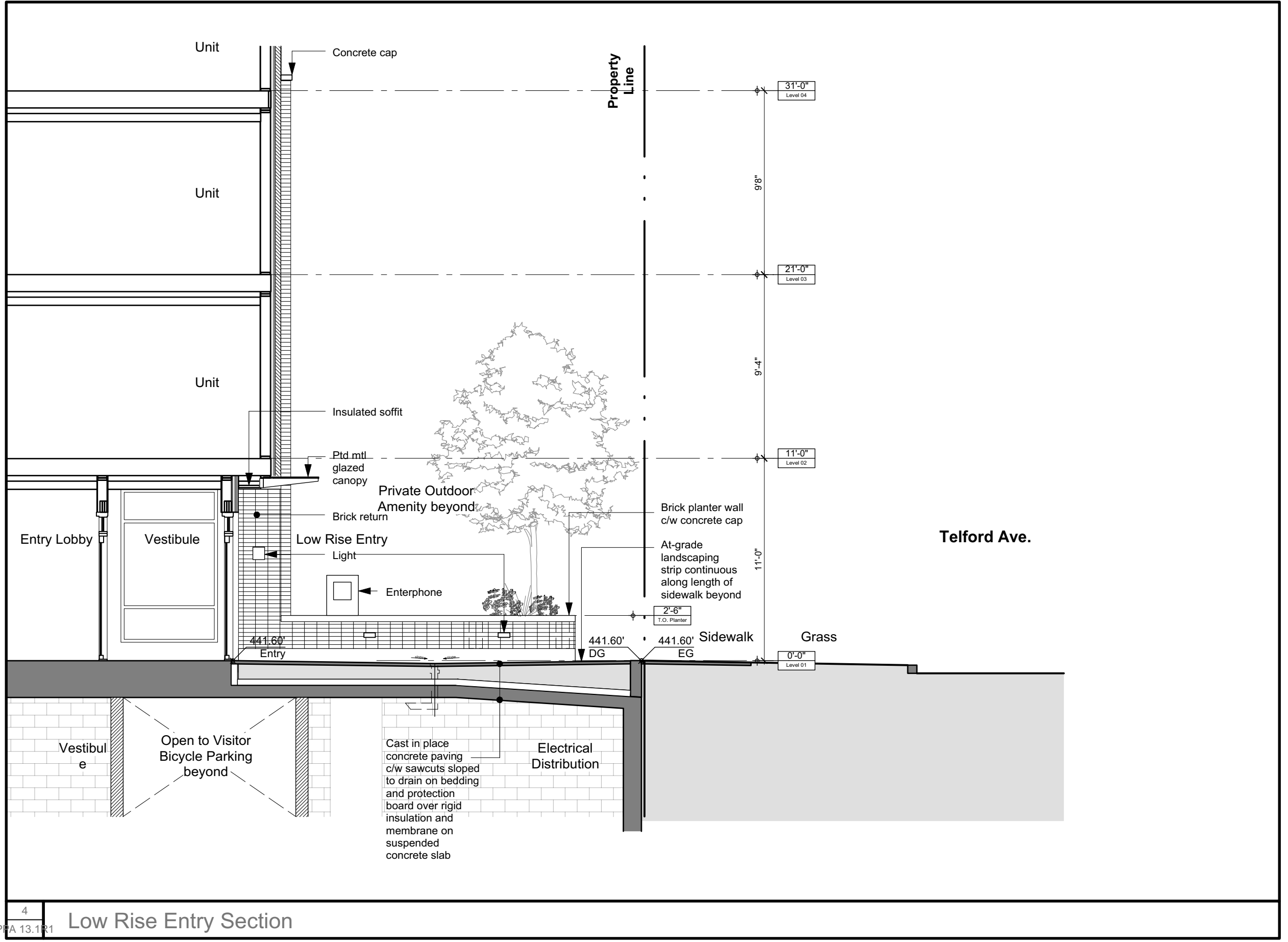
1 Neighbourhood Linkage ROW Section



2 Tower Main Entry Section



3 Tower Amenity Patio Section



4 Low Rise Entry Section