



**BOARD OF VARIANCE REFERRAL LETTER**

<b>DATE:</b> Jan 13, 2015		<b>DEADLINE:</b> February 9, 2016 for the March 3, 2016 hearing		<i>This is <u>not</u> an application. Please take letter to Board of Variance. (Clerk's office - Ground Floor)</i>
<b>NAME OF APPLICANT:</b> Karmjit Sanghera				
<b>ADDRESS OF APPLICANT:</b> 7069 125A St, Surrey V3W 1T5				
<b>TELEPHONE:</b> 604.537.1851				
<b>PROJECT</b>				
<b>DESCRIPTION:</b> New two family dwelling				
<b>ADDRESS:</b> 7774 / 76 16 <sup>th</sup> Ave				
<b>LEGAL:</b>	<b>LOT:</b> 21	<b>DL:</b> 28	<b>PLAN:</b> 19626	

The above mentioned application, which includes the attached plan of the proposal, has been refused by the Building Department on the basis of contravention of:

**Zone/Section(s) R5 [105.9]**  
of the Burnaby Zoning Bylaw No. 4742

**COMMENTS:**

The applicant is proposing to build a new two family dwelling. The following relaxation is being requested.

- 1) The front yard setback, to the window seats, will be 22.13 feet where a minimum front yard setback of 27.36 feet is required based on front yard averaging. The overhang projects 1.5 feet beyond the window seat.

*Note: The applicant recognizes that should the project contain additional characteristics in contravention of the zoning by-law a future appeal(s) may be required.*

BHS

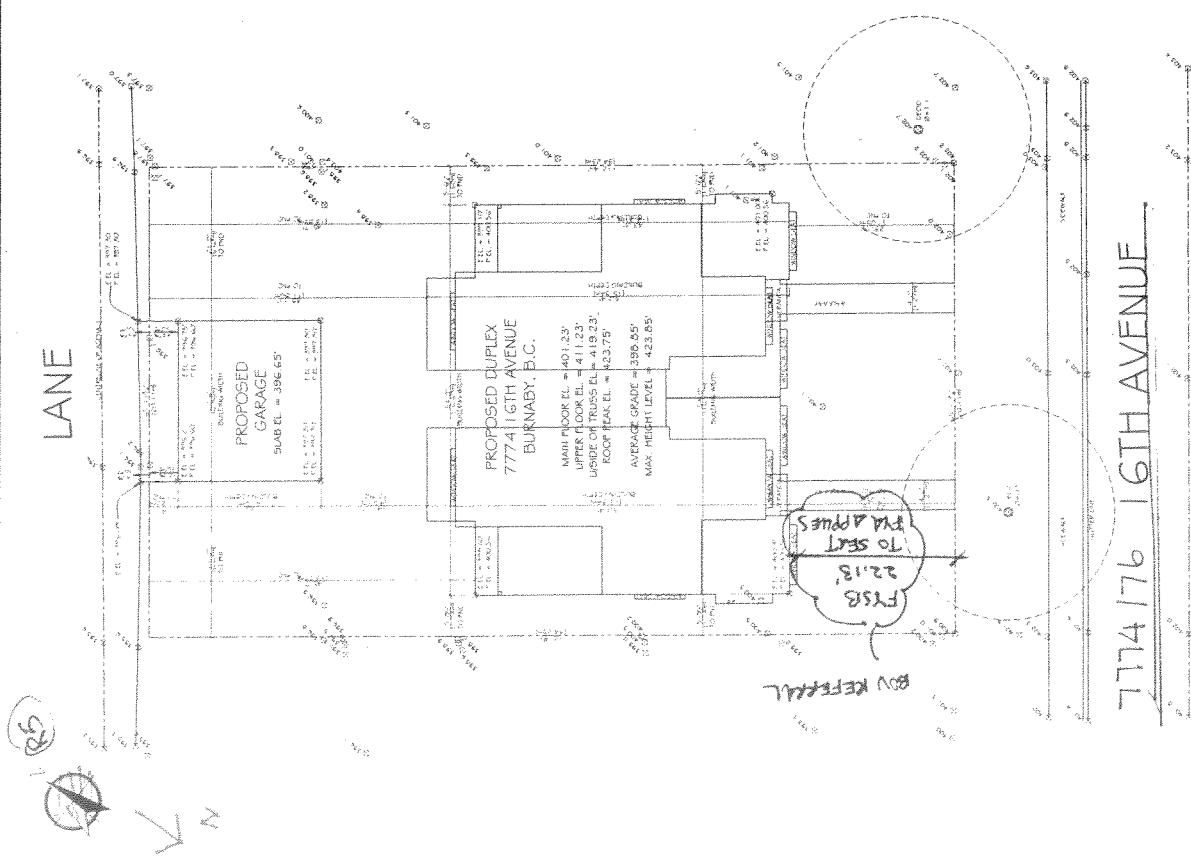
Peter Kushnir  
Deputy Chief Building Inspector

RECEIVED

JAN 13 2016

BUILDING DEPARTMENT

LANE



7774 176 16TH AVENUE

SITE PLAN  
SCALE 1/8"=1'

**DIVISION B - PART 9**

1. EXCEPT AS PROVIDED IN OTHERWISE, ALL MATERIALS SHALL BE OF THE QUALITY AND IN QUANTITY AS SPECIFIED IN THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

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**NOTES:**

1. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.
2. CONDITIONS PRIOR TO COMMENCEMENT OF THE WORK.
3. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE 2012 EDITION OF THE BRITISH COLUMBIA BUILDING CODE.
4. ALL CONCRETE WORK SHALL CONFORM TO THE REQUIREMENTS OF THE 2012 EDITION OF THE BRITISH COLUMBIA BUILDING CODE.
5. CONCRETE STRENGTH AT 28 DAYS, MINIMUM 3,000 PSI.
6. ALL FRAMING AND NAILING SHALL CONFORM TO CSA LATEST EDITION PART 9 AND DESIGN TO 42 OR BETTER.
7. ALL FRAMING LUMBER SHALL BE DOUGLAS FIR OR BETTER.
8. ALL FRAMING SHALL BE DESIGN AND SEALED BY A P.E. REGISTERED IN B.C.
9. ALL FLYWOOD SHALL BE DOUGLAS FIR CONFORM TO CSA O121 LATEST EDITION.
10. ALL STRUCTURAL REQUIREMENTS FOR ALL STRUCTURAL ENGINEERING REQUIREMENTS.
11. ALL DIMENSIONS ARE TO BE CHECKED ON SITE BEFORE WORK COMMENCES.

**REQUIRED MINIMUM THERMAL CHARACTERISTICS**

DESCRIPTION	U VALUE	R VALUE
ROOF	0.15	6.67
WALL	0.15	6.67
FLOOR	0.15	6.67
GLAZING	0.15	6.67

**REQUIRED MINIMUM EFFECTIVE THERMAL RESISTANCE (R-VALUES)**

DESCRIPTION	R VALUE
ROOF	6.67
WALL	6.67
FLOOR	6.67
GLAZING	6.67

**AREA STATEMENT**

ITEM	PERMITTED	PROPOSED
LOT AREA	2417.50 FT <sup>2</sup>	2417.50 FT <sup>2</sup>
LOT COVERAGE @ 40%	967.00 FT <sup>2</sup>	967.00 FT <sup>2</sup>
GARAGE	3725.50 FT <sup>2</sup>	3725.50 FT <sup>2</sup>
DECK AREA @ 8%	492.50 FT <sup>2</sup>	492.50 FT <sup>2</sup>
POURCH	40.50 FT <sup>2</sup>	40.50 FT <sup>2</sup>

**COMPLIANCE PATH CHOSEN:**  
 DESCRIPTIVE METHODS PER SECTION 9.34.2.9.36.4 of BCBC  
 HEATING:  
 IN FLOOR RADIANT HEAT SYSTEM WITH UNIT FOR VENTILATION

THESE PLANS CONFORM TO REQUIREMENTS IN THE B.C. BUILDING CODE R212

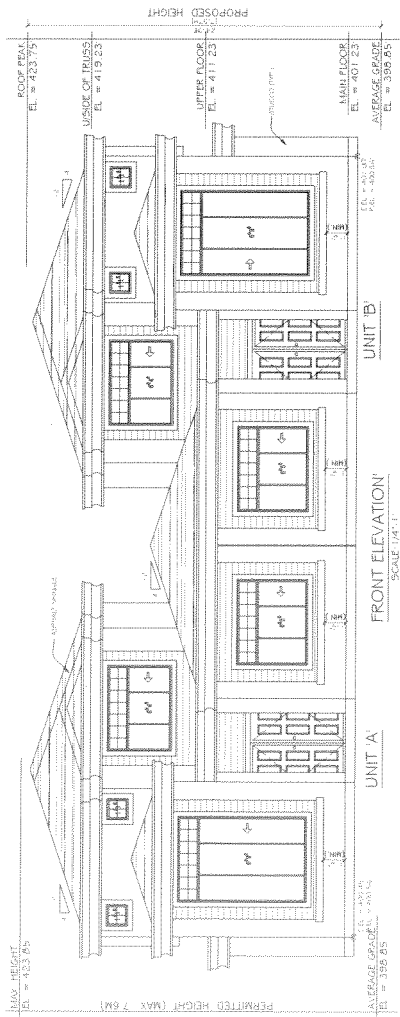
**TOORA HOME PLANS**  
 12968 - 107 AVENUE TEL: (604) 951-4343  
 SURREY, B.C. V3T 2E9 FAX: (604) 951-4373

PROPOSED DUPLEX  
 7774 16TH AVENUE BURNABY  
 BURNABY, B.C.

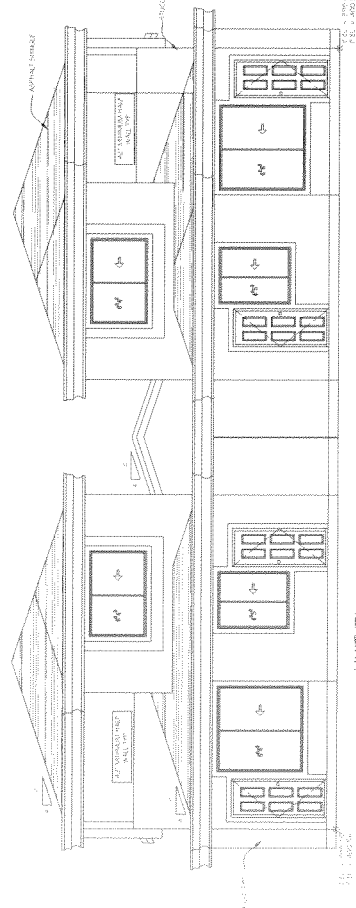
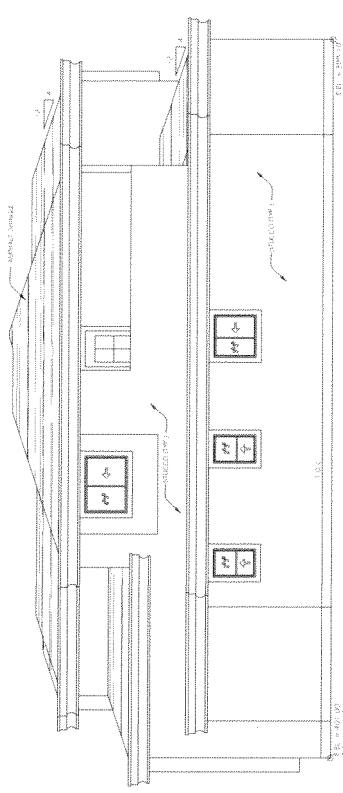
PROJECT #  
 DRAWING #  
 DATE JAN 20 16

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 JAN 13 2016

BUILDING DEPARTMENT

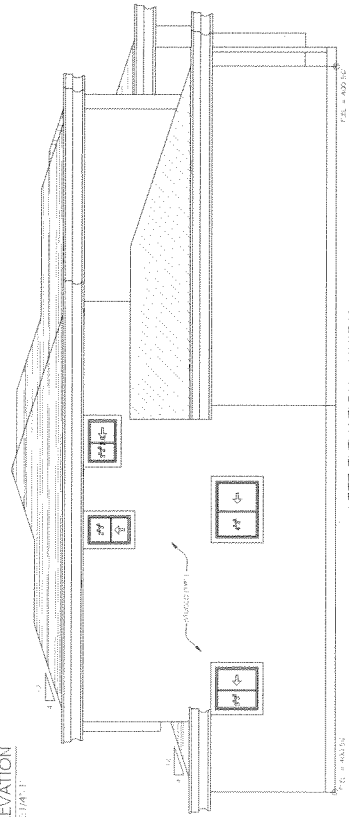


UNITING DISTANCE = 53.94'  
 TOTAL PROPOSED WALL AREA = 761.50 FT<sup>2</sup>  
 PROPOSED WINDOW AREA = 152.00 FT<sup>2</sup>  
 PROPOSED OPENING = 33.50 FT



UNITING DISTANCE = 41.11'  
 TOTAL PROPOSED WALL AREA = 761.50 FT<sup>2</sup>  
 PROPOSED WINDOW AREA = 152.00 FT<sup>2</sup>  
 PROPOSED OPENING = 33.50 FT

LEFT ELEVATION - UNIT A  
 SCALE: 1/4" = 1'-0"



THESE PLANS CONFORM TO REQUIREMENTS IN THE B.C. BUILDING CODE 2012

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PROPOSED DUPLEX  
 7774 16TH AVENUE BURNABY  
 BURNABY, B.C.

PROJECT	TOORA HOME PLANS		
DATE	JAN/2016	DRAWN	KAJ TOOKA
SCALE	1/4" = 1'-0"	CHECKED	
REV		DATE	
ELEVATIONS			A3



BRITISH COLUMBIA LAND SURVEYOR'S SITE SURVEY PLAN OF  
 LOT 21 DISTRICT LOT 28 GROUP 1 N.W.D. PLAN 19626

P.I.D. 003-091-333

For Building Design Purposes  
 Scale: 1 inch = 16 feet

Current Civic Address:  
 7774 Sixteenth Avenue  
 Burnaby, B.C.

LEGEND

- IP ● .....denotes iron post
- LP ■ .....denotes lead plug
- (g) .....denotes gutter
- +998.9 .....denotes spot elevation
- ⊙CCNW .....denotes tree

- Notes:
- All dimensions are in feet.
  - Property line dimensions are based on legal field survey.
  - This Site Plan adheres to city's Tree By-law.
  - Elevations are based on City of Burnaby integrated monument 94H1417 elevation = 391.33 ft (119.278m).

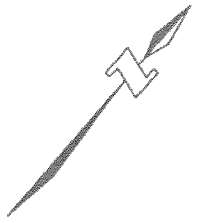
Building Envelope in R5 zoning:

- adjacent lot average:
- House 7533 setback = 28.12 ft
  - House 7754/7756 setback = 26.13 ft
  - House 7768/7770 setback = 26.97 ft
  - House 7788/7790 setback = 28.23 ft
- Front yard = average = 27.36 ft
- Rear yard = minimum = 24.6
- Building depth = remainder = 60.68 feet
- Side yard = 4.8 ft. min.

It is the contractor's responsibility to verify applicable zoning category and setback requirements.

SIXTEENTH AVENUE

RECEIVED  
 JAN 13 2016  
 BUILDING DEPARTMENT



LMS  
 4537

21  
 PLAN 19626  
 (SEE POSTING PLAN EPM55993)  
 SITE AREA = 7417 sq ft  
 APPROX.  
 BUILDING  
 ENVELOPE

BCS  
 2991

