



2021 Board of Variance Notice of Appeal Form

OFFICE OF THE CITY CLERK

Burnaby City Hall, 4949 Canada Way, Burnaby BC, V5G 1M2, Phone: 604-294-7290 Email: clerks@burnaby.ca

Applicant

Name of Applicant JAS BRAR (Quorus Properties Ltd)
Mailing Address 6488 GORDON AVE
City/Town Burnaby Postal Code _____
Phone Number(s) (H) 778-882-7969 (C) _____
Email quorusproperties@gmail.com

Property

Name of Owner Darshan Brar
Civic Address of Property 6499 GORDON AVE

I hereby declare that the information submitted in support of this application is, to the best of my knowledge, true and correct in all aspects, and further that my plans have no conflict with municipal bylaws other than those applied for with in this application.

March / 5 / 2021
Date

[Signature]
Applicant Signature

Office Use Only

Appeal Date 2021 APRIL 08 Appeal Number BV# 6423

Required Documents:

- ☒ Fee Application Receipt
- ☒ Building Department Referral Letter
- ☒ Hardship Letter from Applicant
- ☒ Site Plan of Subject Property

Any documents submitted in support of this Board of
Variance Appeal will be made available to the public



BOARD OF VARIANCE REFERRAL LETTER

DATE: March 2, 2021		<i>This is not an application. Please submit this letter to the Clerk's office (ground floor) when you make your Board of Variance application.</i>	
DEADLINE: March 9, 2021 for the April 8, 2021 hearing.			
APPLICANT NAME: Jas Brar			
APPLICANT ADDRESS: 6488 Gordon Ave			
TELEPHONE: 778-882-7969			
PROJECT			
DESCRIPTION: New single family dwelling with secondary suite and attached garage.			
ADDRESS: 6499 Gordon Ave			
LEGAL DESCRIPTION:	LOT: 174	DL: 91	PLAN: NWP25478

Building Permit application BLD20-00770 will be denied by the Building Department because the design is not in compliance with Burnaby Zoning Bylaw No. 4742:

Zone R1 / Sections 101.8

COMMENTS:

The applicant proposes to build a new single family dwelling with secondary suite and attached garage. In order to allow the Building Permit application to proceed, the applicant requests that the following variances be granted:

- 1) To vary Section 101.8 – “Front Yard” of the Zoning Bylaw requirement for the minimum front yard depth from 10.65 m (34.95 ft.) based on front yard averaging to 9.0 m (29.5 ft.). The applicability of this variance, if granted, is limited to the scope of the proposal shown on the attached plans.

Note:

1. The applicant recognizes that should the project contain additional characteristics in contravention of the Zoning By-law, a future appeal(s) may be required.
2. All new principal building projections into the resulting required yards will conform to the requirements of Section 6.12.
3. Principal building projection exemptions in the calculations of building depth will conform to the requirements of the Depth, Principal Building definition.
4. Retaining walls and Fences will conform to the requirements of Section 6.14.

CL

Peter Kushnir
Deputy Chief Building Inspector

FROM THE DESK OF

QUORUS PROPERTIES LTD ON BEHALF OF DARSHAN BRAR

March 1, 2021

Site address
6499 Gordon Avenue
Burnaby BC
V5E 3M3

To Council and Staff of City of Burnaby,

We, Quorus Properties Ltd, kindly request a variance to the front yard setback for the property mentioned above at 6499 Gordon Avenue (formerly known as 7635 Morley Drive) on Behalf of the owner, Darshan Brar. We have applied to the City of Burnaby for a new building permit (BLD 20-00770) at this property however the city has taken the two neighbouring properties into consideration to average the setback and make it 35 feet.

We kindly request that this variance be allowed so that a setback of 29.5 feet is implemented as per R1 zoning bylaw under front yard section 101.8. Firstly, since this is a new construction and the neighbouring homes are much older we feel that this 29.5 feet setback will allow those newer homes (built at a future date) on those neighbouring properties to also follow the setback regulation set forth in this R1 zoning bylaw. Secondly, this would allow an extra 5 feet of space along the north side yard which spans 70 feet in length thus allowing more room for personal use and more play area for the owners' grandchildren. Last but not least, there is a dedicated right of way in the north side of the property which spans 15 feet into the property essentially rendering much of that yard space useless for any other use other than grass so the extra 5 feet would be very helpful. Thus with the reasons mentioned above we kindly ask that this variance be approved by the City of Burnaby.

Sincerely,

Quorus Properties Ltd (778-882-7969)

On behalf of Darshan Brar

TOPOGRAPHIC SITE PLAN OVER LOT 174 DISTRICT LOT 91 GROUP 1 NEW WESTMINSTER DISTRICT PLAN 25478

CIMC ADDRESS:
7635 Morley Drive, Burnaby
PID: 008-778-892

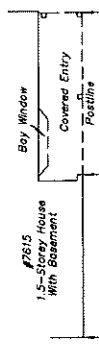
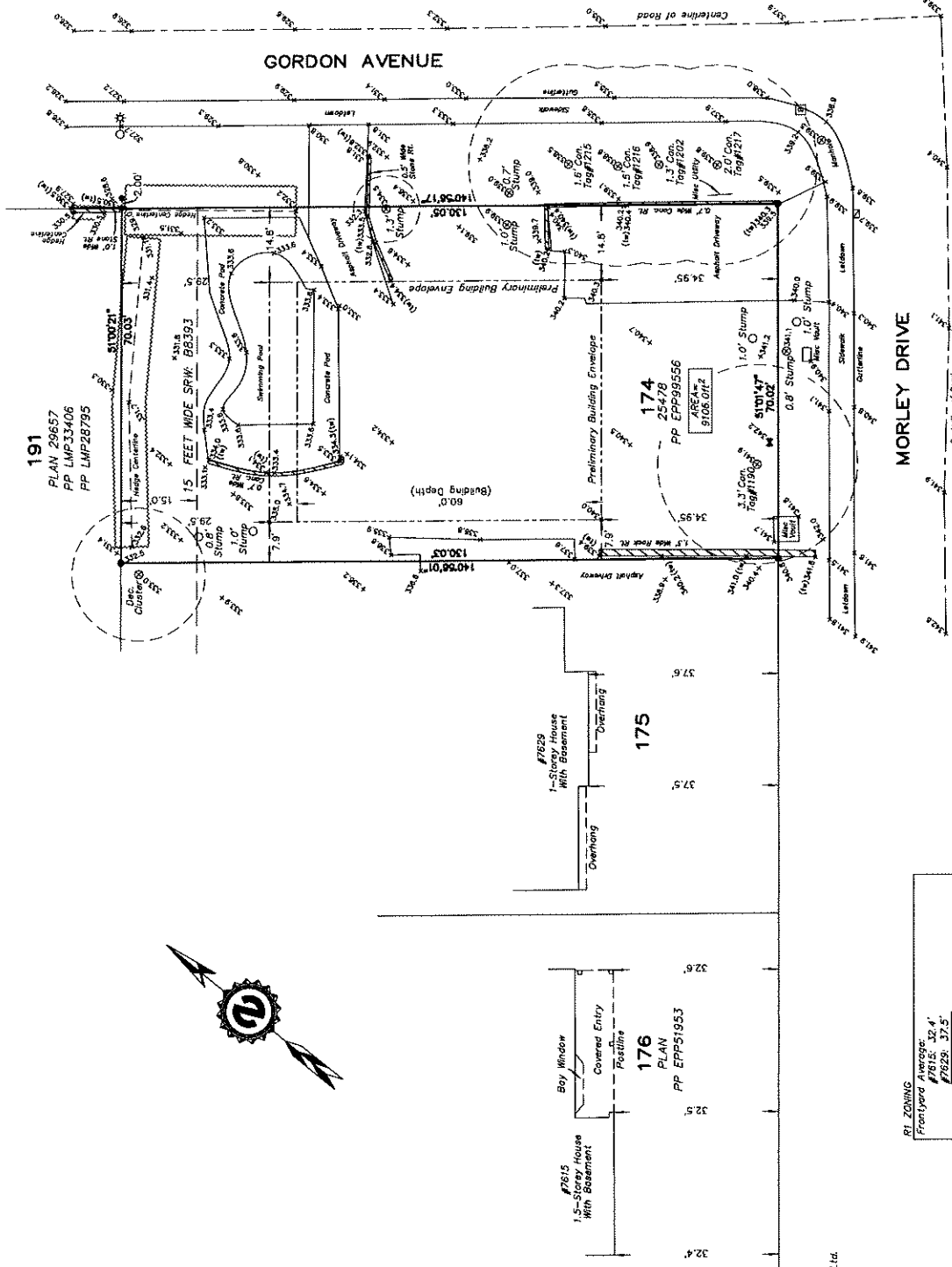
SCALE 1" = 16'

ALL DISTANCES ARE IN FEET

The intended plot size of this plan is 22' in width and 17' in height (C size) when plotted at a scale of 1"=16'.

LEGEND

- DENOTES STANDARD IRON POST
- Misc DENOTES MISCELLANEOUS
- R.2 DENOTES SQUARE FEET
- ISI DENOTES CATCH BASIN - TOP ENTRY
- O-# DENOTES STREET LIGHT - DART
- M DENOTES WATER VALVE
- X-# DENOTES TREE AND CANOPY EXTENT
- ⊙ DENOTES GROUND ELEVATION
- (w) DENOTES TOP OF RETAINING WALL ELEVATION
- Dec. DENOTES DECIDUOUS
- Con. DENOTES CONIFEROUS
- Conc. DENOTES CONCRETE
- RI. DENOTES RETAINING WALL
- ⊠ DENOTES SIGN



176
PLAN
PP EPPS1953

NOTES:
Lot dimensions are derived from Posting Plan EPPS9556.
Measurements shown are to the exterior
siding of buildings.

Elevations are Geodetic (C028 GPR02018 - IN FEET)
Derived from geodetic control
monument 94H1400 located at
the south corner of the intersection of Imperial Street
and Burnaby Avenue. Elevation = 376.171.

If this plan is used in digital form, Target Land Surveying (NW) Ltd.
warrants that the information contained
therein is a true and accurate representation of the
information shown in the original land survey drawing.

Tree diameters are taken at 4.6ft above grade and
are shown in feet.

Tree and stump symbols shown are not drawn to scale.

This Plan was prepared for architectural design and
site servicing purposes, and is for the exclusive use
of our client. The signatory accepts no responsibility
or liability for any damages that may be suffered by a
third party as a result of the use of this plan, and the
attention to this document without consent of the signatory.

The lot is subject to the following non-financial charges on title
---STATUTORY RIGHT OF WAY: 88393 (NORTH WESTERLY 15 FEET)

RI ZONING
FrontYard Average:
#7615: 32.4'
#7625: 37.5'
Average: 34.95'
SideYard: Adjoining Gordon Avenue: 14.8'
Interior Lot line: 7.9'
RearYard: 29.5'
*Stakeouts are preliminary and subject to approval
by City of Burnaby

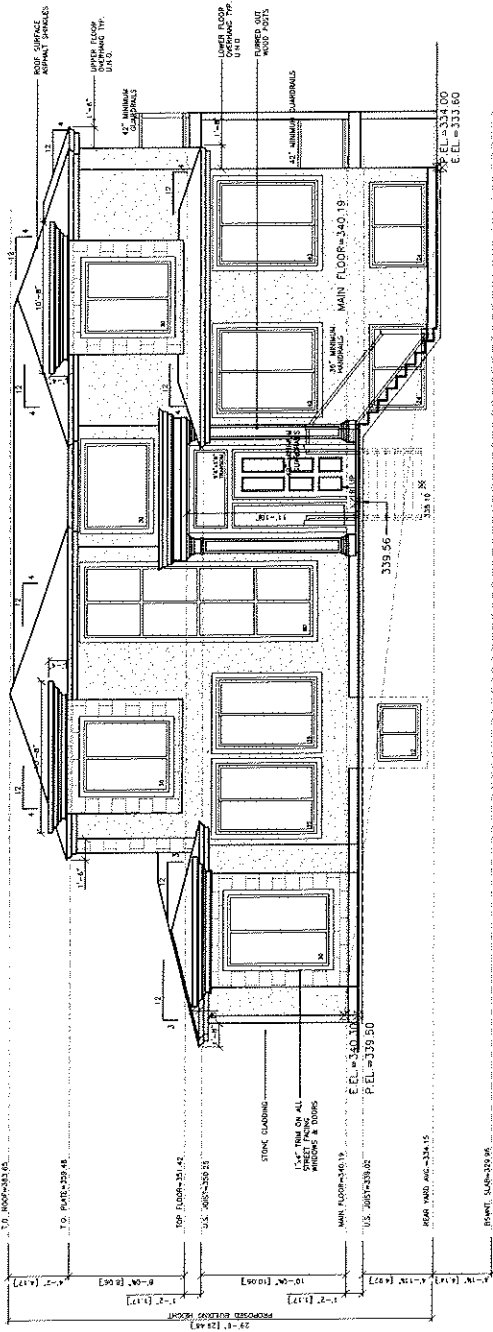
CERTIFIED CORRECT
DATED THIS 5TH DAY OF FEBRUARY, 2020

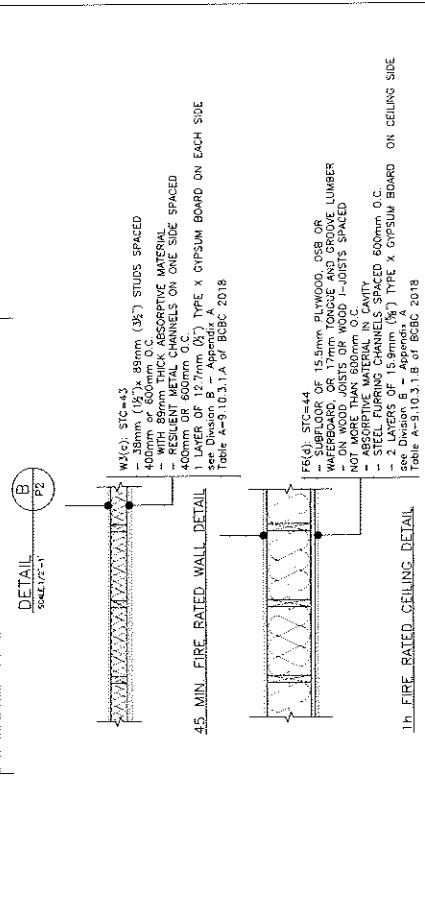
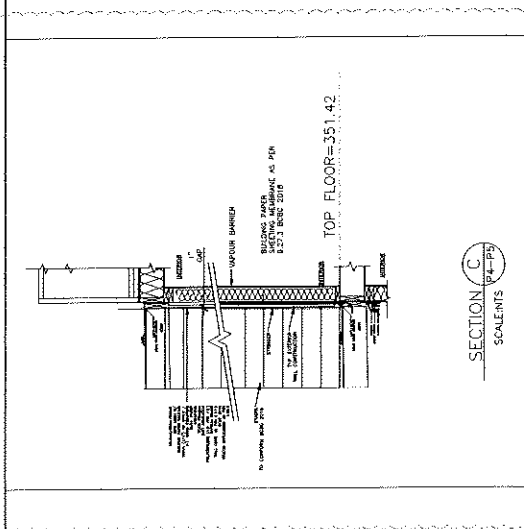
MICHAEL RHYME, B.C.L.S.

TARGET
LAND SURVEYING
www.targetlandsurveying.co
FILE: M4002 TOPO-Feet

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DRAWING NO.	REFERENCE

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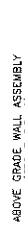
DRAWING NO	REFERENCE	NO	REVISION	BY	DATE	 Billion <i>Design</i>	PROPOSED RESIDENCE FOR OURUS PROPERTIES LTD. LOT 174, 6499 GORDON AVENUE BURNABY, B.C.	TITLE	CHANGING NO	DATE ISS NOTED DATE UN. 26/20 DATE UN. 26/20 DATE UN. 26/20 DATE UN. 26/20 DATE UN. 26/20	DESIGN, DESIGN ADDRESS - 17450-2000 AVE SURREY - B.C. V0N 1M6 TEL (604) 330-2018 FAX (604) 330-2018 info@billiondesign.ca

ABOVE GRADE WALL ASSEMBLY
(STUCCO SIDING)

DESCRIPTION	NOMINAL	EFFECTIVE
3.5" FORMED IN-PLACE CONCRETE SLAB		
2.5" EXTRUDED POLYSTYRENE INSULATION	R-9.2 (R-15.1)	R-9.2 (R-13.14)
OTHER BUILDING ENVELOPE DETAILS		
SLAB COMPARED TO EFFECTIVE INSULATION	0.18	
3.5" CONCRETE SLAB		
2.5" EXTRUDED INSULATOR VALUE		R-9.2 (R-14.60)
ADJUSTED EFFECTIVE THERMAL RESISTANCE FOR BELOW GRADE HEATED FLOOR		R-9.2 (R-13.27)

[illegible]

DRAWING NO.	REFERENCE	NO.	REVISION
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CEILING BELOW ATTICS
AS PER BIDD 9.36 LATEST REVISION WITH OR WITHOUT HEAT RECOVERY
VENTILATOR

RIM JOIST SPACE
(STUCCO SIDING)
TEST SECTION WITH NO HEAT RECOVERY VENTILATOR

WALLS BETWEEN UNHEATED SPACE

RIM JOIST SPACE
(STONE)

SCALE 1/2"=1'-0" AS PER BSRC 9-26. LATEST REVISION WITH OR WITHOUT HWT. RECOVERY VENTILATOR

DRAWING NO.	REFERENCE	NO.	REVISION	BY	DATE		PROPOSED RESIDENCE FOR QUORUS PROPERTIES LTD. LOT 174, 6499 GORDON AVENUE DENHAM, ONTARIO	G.S.B.				DRAWING NO.	DD20-8241-P11	PREPARED FOR: QUORUS PROPERTIES LTD. IN THE I.C. BUILDING CODE 2019 DESIGNED BY: BHILLION DESIGN UNIT 215, 12300-40th AVE SCARBOROUGH, ONTARIO PHONE: (416) 305-7908 FAX: (416) 305-7909 email: info@bhilliondesign.ca www.bhilliondesign.ca	
								DATE	AS NOTED	DATE	DATE				

Dehillon design

