



2021 Board of Variance Notice of Appeal Form

OFFICE OF THE CITY CLERK

Burnaby City Hall, 4949 Canada Way, Burnaby BC, V5G 1M2, Phone: 604-294-7290 Email: clerks@burnaby.ca

Applicant

Name of Applicant Imran Ali
Mailing Address #180-20339 96 Ave Langley, B.C. V1M 0E4
City/Town Langley Postal Code V1M 0E4
Phone Number(s) (H) _____ (C) 604.379.4687
Email imran.ali@lumen.com

Property

Name of Owner Shirley Tam
Civic Address of Property 3667 Lynndale Cres.

I hereby declare that the information submitted in support of this application is, to the best of my knowledge, true and correct in all aspects, and further that my plans have no conflict with municipal bylaws other than those applied for with in this application.

08/06/2021

Date

[Signature]
Applicant Signature

Office Use Only

Appeal Date July 08 Appeal Number BV# 6435

Required Documents:

- ☒ Fee Application Receipt
- ☒ Building Department Referral Letter
- ☒ Hardship Letter from Applicant
- ☒ Site Plan of Subject Property

Any documents submitted in support of this Board of
Variance Appeal will be made available to the public



Imran Ali
Lumon Canada Inc.
180-20339 96 Avenue
Langley, B.C., V1M 0E4
Tel. +1 604 379 4687
imran.ali@lumon.com

June 08 / 2021

Board of Variance
City of Burnaby
4949 Canada Way
Burnaby, B.C., V5G 1M2

To Whom it May Concern:

This letter is to outline that our client had work done at her property 3667 Lyndale Crescent, BLD18-00715 within what she and us at Lumon Canada Inc. had received approval for.

Shirley Tam had approached Lumon when she discovered our product and requested that we take over her existing permit. We approached the city and followed all the steps laid out for us, we remained within the already approved footprint by the city and had our drawings reviewed and approved. Upon final inspection the city inspector could not determine the property line and requested that we supply a survey, which we gladly did. The survey indicated that the covered carport on the side of the building extended 9 ½" into the side yard setback of 8'. The cover was constructed in accordance with the approved drawings from the city and with the understanding that we were compliant and within the setbacks as stipulated by the city.

This letter is to request a variance on the side yard setback, as the client and contractor were under the impression that the cover was built as set out and that having to tear down the cover or redesign the cover would result in financial loss to both parties, and the client would no longer have a safe place for which she parks her vehicle under.

We would like to thank you for your assistance in the matter. We understand that multiple meetings and work needed to be done to get the application to this stage. We hope to continue to work together, with yourself at the City of Burnaby and our client, to attain approval and successfully close out this project.
Respectfully Yours,

A handwritten signature in black ink, appearing to read "Ali", with a long, sweeping horizontal stroke extending to the left.



BOARD OF VARIANCE REFERRAL LETTER

DATE: May 27, 2021		<i>This is <u>not</u> an application. Please submit this letter to the Clerk's office (ground floor) when you make your Board of Variance application.</i>	
DEADLINE: June 8, 2021 for the July 8, 2021 hearing.			
APPLICANT NAME: Jean-Claude Jacquemin (Lumon Canada Inc)			
APPLICANT ADDRESS: Unit 180 20339 96 Avenue, Langley, BC V1M 0E4			
TELEPHONE: 778-549-6120			
PROJECT			
DESCRIPTION: New rear deck, attached carport and accessory building to an existing single family dwelling.			
ADDRESS: 3667 Lynndale Cr.			
LEGAL DESCRIPTION:	LOT: 130	DL: 44	PLAN: NWP51253

Building Permit BLD18-00715 will be denied by the Building Department because the design is not in compliance with Burnaby Zoning Bylaw No. 4742:

Zone R1 / Sections 101.9(1)

COMMENTS:

The applicant is constructing a new rear deck, attached carport and accessory building to an existing single family dwelling. In order to allow the Building Permit to proceed, the applicant requests that the following variances be granted:

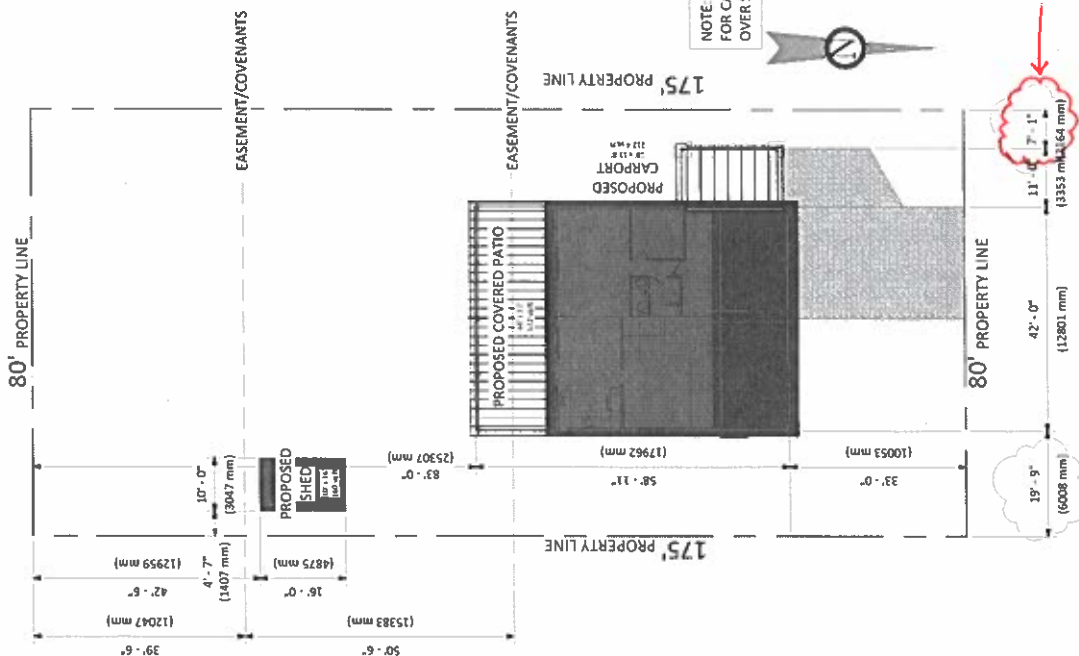
- 1) To vary Section 101.9(1) – "Side Yard" of the Zoning Bylaw requirement for the minimum side yard width from of 2.4 m (7.9 ft.) to 2.16 m (7.08 ft.). The applicability of this variance, if granted, is limited to the scope of the proposal shown on the attached plans.

Note:

1. The applicant recognizes that should the project contain additional characteristics in contravention of the Zoning By-law, a future appeal(s) may be required.
2. All new principal building projections into the resulting required yards will conform to the requirements of Section 6.12.
3. Principal building projection exemptions in the calculations of building depth will conform to the requirements of the Depth, Principal Building definition.
4. Retaining walls and Fences will conform to the requirements of Section 6.14.

JQ

Peter Kushnir
Deputy Chief Building Inspector



CIVIC ADDRESS LEGAL DESCRIPTION ZONING	3667 LYNNDALDE CR LOT 130 DL 44, NWD PLAN 51253 R1
SITE AREA	14,000.0 sq ft
MAX. SITE COVERAGE	5,600.0 sq ft
MAX FAR 60% OR 6351 SQFT	6,351.0 sq ft
PROPOSED SITE COVERAGE	2,769.9 sq ft
EXISTING FLOOR AREA MAIN	1,825.5 sq ft
PROPOSED COVERED PATIO	572.0 sq ft
PROPOSED CARPORT	212.4 sq ft
PROPOSED SHED	160.0 sq ft
MAX HEIGHT OF BUILDING	29.50 ft
HEIGHT OF PROPOSED BUILDING	29.50 ft
MIN.	PROPOSED.
FRONT YARD SETBACK (NORTH)	9.00m
REAR YARD SETBACK (SOUTH)	33.0 ft
SIDE YARD SETBACK (EAST)	29.5 ft
SIDE YARD SETBACK (WEST)	7.9 ft
	83.0 ft
	19.0 ft
	8.0 ft
	2.44 m
	10.07 m
	25.32 m
	5.80 m
	2.44 m

www.autodesk.com/revit

No.	Description	Date
2	ROOF SLOPE ADDED & CARPORT FLOOR FINISHED AND SCALE UPDATED TO IMPERIAL	22.08.2019

TAM

PATIO COVER

3667 Lynndale Crescent

Project number 5030 1491

Date 24.06.19

Drawn by IDA

Checked by JC

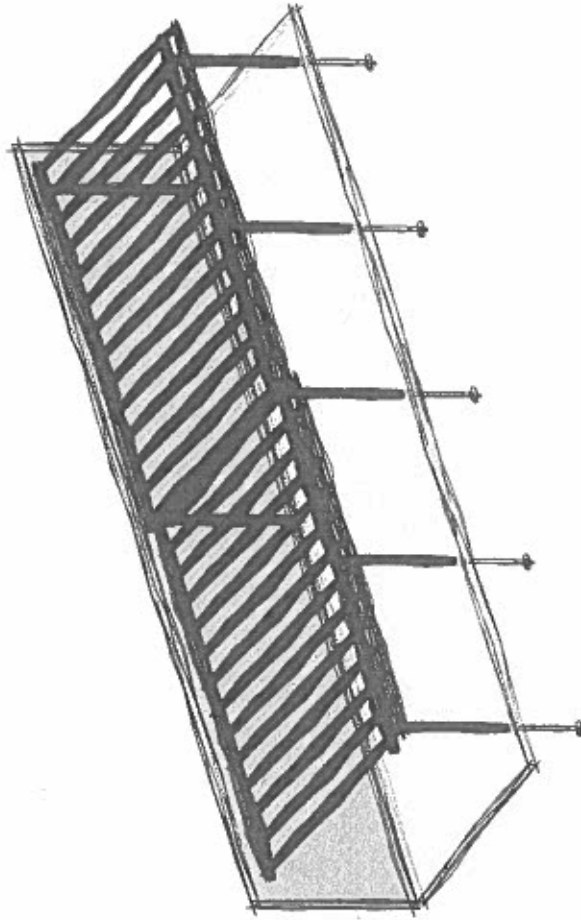
Site Plan

Scale 1/16" = 1'-0"

DRAWINGS

DWG No. TITLE

01	PROPOSED NEW COVERED PATIO & CARPORT NOTES & LEGEND
02	PROPOSED NEW COVERED PATIO & CARPORT SITE PLAN
03	PROPOSED NEW COVERED PATIO & CARPORT EISING ELEVATIONS
04	PROPOSED NEW COVERED PATIO & CARPORT LAYOUT ON COVER No.1
05	PROPOSED NEW COVERED PATIO & CARPORT ELEVATIONS & SECTIONS ON COVER No.1
06	PROPOSED NEW COVERED PATIO & CARPORT LAYOUT & ELEVATIONS ON COVER No.2
07	PROPOSED NEW COVERED PATIO & CARPORT CONNECTION DETAILS
08	PROPOSED NEW COVERED PATIO & CARPORT CONNECTION DETAILS



GENERAL NOTES

- DESIGN IS IN ACCORDANCE WITH 2018 EDITION OF BRITISH COLUMBIA BUILDING CODE, INCLUDING ALL ADDENDA.
- CONSTRUCTION MUST BE IN ACCORDANCE WITH THE BRITISH COLUMBIA BUILDING CODE INCLUDING ALL ADDENDA, ALL REFERENCED CODES AND ALL FEDERAL AND MUNICIPAL REGULATIONS AND BY-LAWS.
- ALL APPLICABLE CODES AND STANDARDS SHALL BE AS REFERENCED IN THE GOVERNING EDITION OF THE BRITISH COLUMBIA BUILDING CODE.

FOLLOW ALL NOTES AND RECOMMENDATIONS CONTAINED WITHIN THESE DRAWINGS.

DESIGN CRITERIA

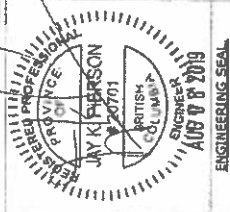
- PREVAILING CODE : BCBC 2018
- SNOW LOAD : $S_s = 2.7 \text{ kPa}$
- RAIN LOAD : $S_r = 0.4 \text{ kPa}$
- WIND LOAD :
 - 1 in 10 : 0.36 kPa
 - 1 in 50 : 0.47 kPa
- DEAD LOAD : 0.48 kPa
- SEISMIC DATA :
 - $S_e (0.2)$: 0.93
 - $S_e (0.5)$: 0.63
 - $S_e (1.0)$: 0.32
 - $S_e (2.0)$: 0.17
 - PGA : 0.46

REVISION
pc: *[Signature]* date: SEP 10 2019

OFFICE COPY

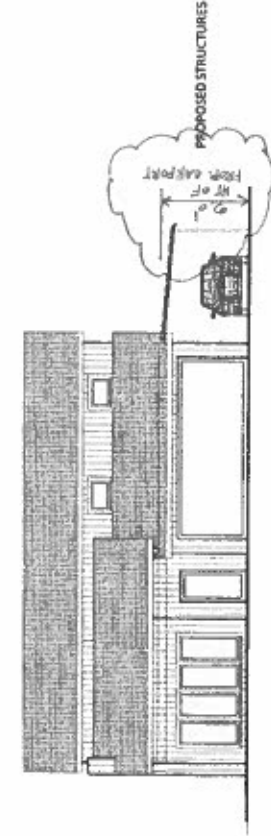
BLD 18-00715

LUMON
20329 96 Ave. Unit 180
LUMON BC LUMON BC
PH: 604 857 1102 | TS: 1 844 655 8666
info.canada@lumon.com



Rev	No.	Revision Description	Date
1		ISSUED FOR PERMIT	16/02/2019
2		ISSUED FOR PERMIT	16/02/2019
3		ISSUED FOR PERMIT	16/02/2019
4		ISSUED FOR PERMIT	16/02/2019
5		ISSUED FOR PERMIT	16/02/2019
6		ISSUED FOR PERMIT	16/02/2019
7		ISSUED FOR PERMIT	16/02/2019
8		ISSUED FOR PERMIT	16/02/2019
9		ISSUED FOR PERMIT	16/02/2019
10		ISSUED FOR PERMIT	16/02/2019

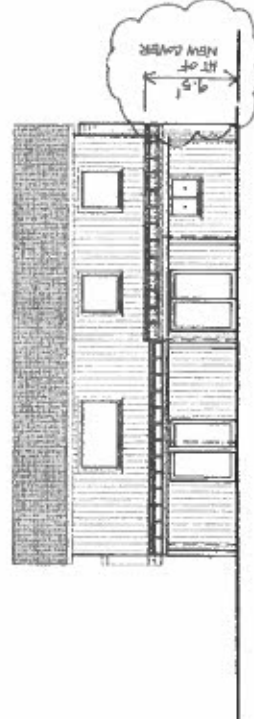
Robert & Shirley Tam 3667 Lyndale Crescent Burnaby, B.C. V5A 3S5			
PROPOSED NEW COVERED PATIO & CARPORT NOTES & LEGEND			
Project No:	Drawn by:	Date:	Sheet No:
5030 1491	J.J	24.06.19	01
			1



NORTH ELEVATION
1/8" = 1'-0"



EAST ELEVATION
1/8" = 1'-0"



SOUTH ELEVATION
1/8" = 1'-0"



WEST ELEVATION
1/8" = 1'-0"

BLD 18-00715

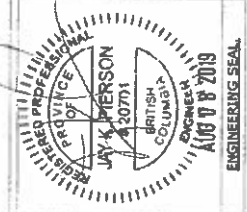
REVIEWED
CITY OF BURNABY

Date SEP 10 2019
PLAN CHECKER

Per: JA

REVISION
date: SEP 10 2019

Rev	No.	Description	Date
1		CHANGED MATERIALS AND SUBSTITUTED FOR PERMIT	27/08/2019
2		CHANGED MATERIALS AND SUBSTITUTED FOR PERMIT	27/08/2019
3		CHANGED MATERIALS AND SUBSTITUTED FOR PERMIT	27/08/2019



LUMON

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Robert & Shirley Tam
3687 Lyndale Crescent
Burnaby, B.C.
V5A 3S5

PROPOSED NEW COVERED PATIO & CARPORT
EXISTING ELEVATIONS

Project No.	Drawn By	Date	Sheet No.	Rev
5030 1491	J.J.	24.06.19	03	1

date: SEP 10 2009

SEP 10 2019

PLAN CHECKER

Per: Jan

BLT 18-00715

MARK No	TYPE	LEGEND
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01	90 x 90 ALUMINUM POST
02	70x70 ALUMINUM POST
03	ALUMINUM FRONT BEAM
04	HEAVY DUTY FRONT BEAM
05	ALUMINUM REAR BEAM
06	ALUMINUM ROOF RAFTER
07	ALUMINUM RETURN BEAM
08	ALUMINUM GUTTER
09	SCREW PH F

Robert & Shirley Tam

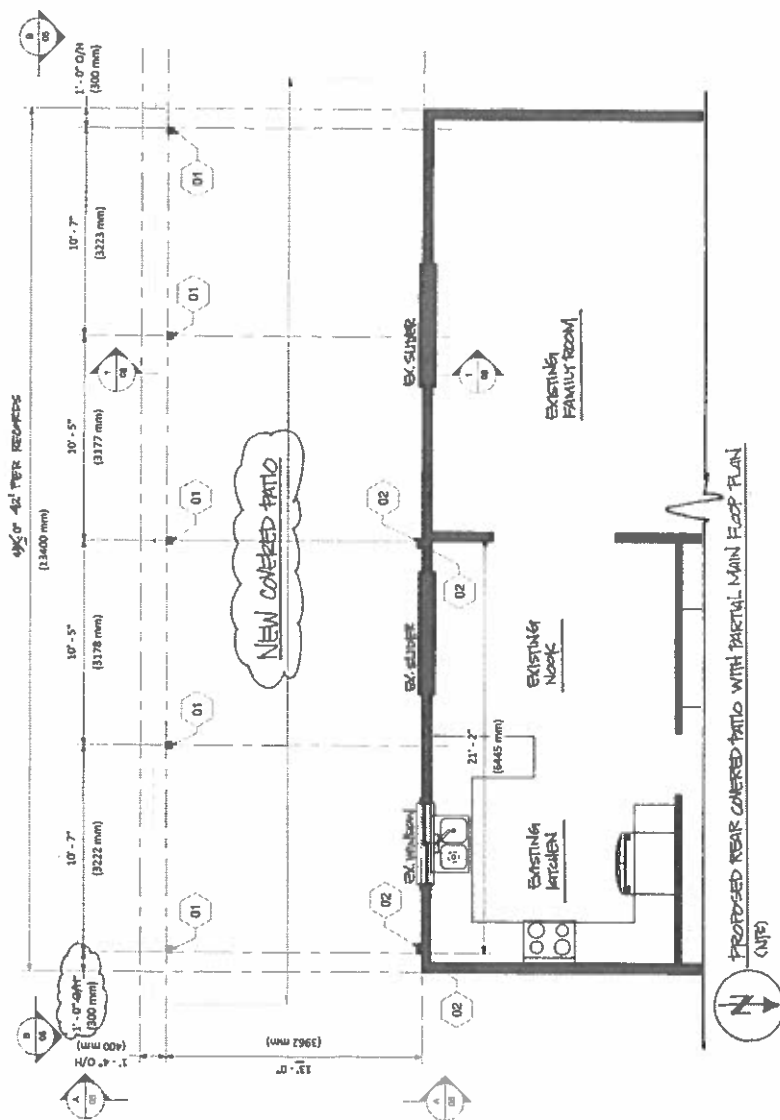
3667 Lyndale Crescent
Burnaby, B.C.
V5A 3S5

**PROPOSED NEW COVERED PATIO & CARPORT
LAYOUT ON COVER No.1**

Project No:	Drawn by:	Date Drawn:	Sheet No:	Rev
5030 1491	JJ	24.06.19	04	1

LUMON

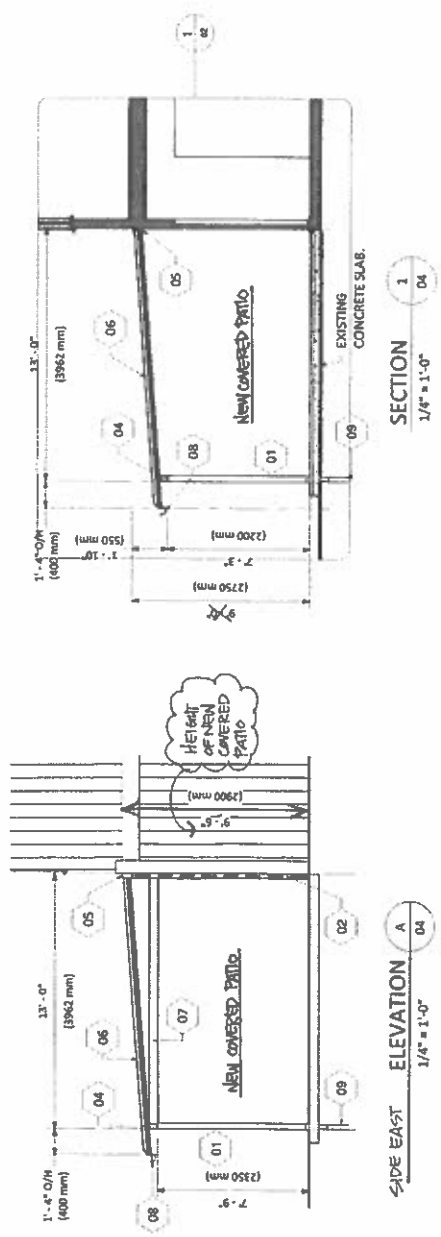
20339 96 Ave, Unit 180
Langley, BC, V1M 0E4
PH: 604 857 1702 | TF: 1 844 655 8666
info.canada@lumon.com



REGISTERED PROFESSIONAL
ENGINEER
PROVINCE OF
JAY PETERSON
#20701
BRITISH COLUMBIA
EXPIRES: 8
AUG 08 2019

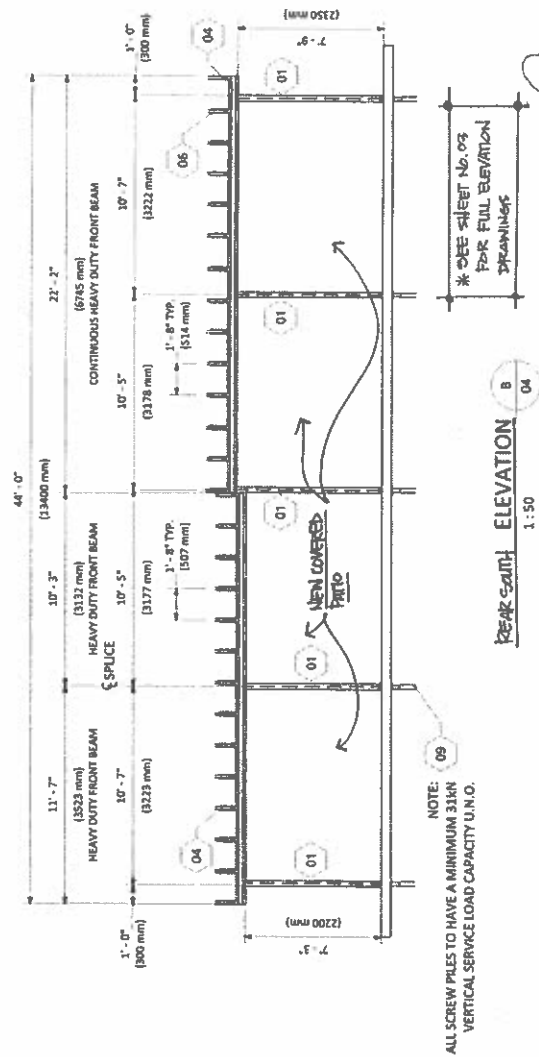
	Revision	Description	Date
1		DRAWING SCALED AND ISSUED FOR PERMIT	08-07-2019
2		DRAWING REVISED AND ISSUED FOR BIDDING	06-08-2019
3		PERMITS	27-08-2019

ENGINEERING SEAI



SIDE EAST ELEVATION
1/4" = 1'-0"

SECTION
1/4" = 1'-0"



REAR SOUTH ELEVATION
1:50

NOTE:
ALL SCREW PILES TO HAVE A MINIMUM 31KN
VERTICAL SERVICE LOAD CAPACITY U.N.O.

MARK No	TYPE
01	90 x 90 ALUMINUM POST
02	70x70 ALUMINUM POST
03	ALUMINUM FRONT BEAM
04	HEAVY DUTY FRONT BEAM
05	ALUMINUM REAR BEAM
06	ALUMINUM ROOF RAFTER
07	ALUMINUM RETURN BEAM
08	ALUMINUM GUTTER
09	SCREW PILE

REVISION
date: SEP 10 2019
pc: A

REVIEWED
CITY OF BURNABY
Date SEP 10 2019
PLAN CHECKER
Per J.A.

BLE 18-00715

20339 96 Ave, Unit 180
Langley, BC, V1M 0E5
PH: 604 857 1702 | TP: 1 844 655 8666
info.canada@lumon.com

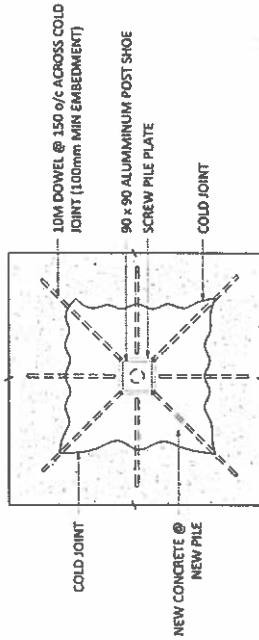
Robert & Shirley Tam
3867 Lyndale Crescent
Burnaby, B.C.
V5A 3S5

PROPOSED NEW COVERED PATIO & CARPORT
ELEVATIONS & SECTIONS ON COVER No.1

Project No:	Drawn by:	Date:	Sheet No:	Rev
5030 1491	Author	24.06.19	05	1

REGISTERED PROFESSIONAL
JAY K. PIERSON
BRITISH COLUMBIA
ENGINEER
AUG 08 2019

Rev	No.	Revision Description	Date
1	A	CHANGING BEAM AND RAFTER FOR NEW PATIO	24.06.19
2	B	CHANGING BEAM AND RAFTER FOR NEW PATIO	24.06.19
3	C	NEW DRAWING	24.06.19



(4) 1/4" - 14 x 1 1/4" HEX HEAD 410SS SELF DRILLING SCREW TO POST CONNECTOR AT 2 SIDES. (2 SIDES CLEAR OF GLAZING)



90 x 90 ALUMINUM POST



(3) M7.5 x 50Lg TX30 CONCRETE SCREW & M8 x 24 FLAT WASHER INTO CONCRETE.

NEW CONCRETE @ NEW PILE
SCREW PILE - MINIMUM VERTICAL SERVICE LOAD CAPACITY.

POST SHOE

POST SHOE

SCREW PILE - MINIMUM VERTICAL SERVICE LOAD CAPACITY.

90 x 90 POST ON CONCRETE WITH SCREW PILE

1:10



(4) 1/4" - 14 x 1 1/4" HEX HEAD 410SS SELF DRILLING SCREW TO POST CONNECTOR AT 2 SIDES. (2 SIDES CLEAR OF GLAZING)

70x70 ALUMINUM POST



(4) M8 SS BOLTS.

SCREW PILE - MINIMUM 31kN VERTICAL SERVICE LOAD CAPACITY.

70 x 70 POST ON SCREW PILE

1:5



(4) 1/4" - 14 x 1 1/4" HEX HEAD 410SS SELF DRILLING SCREW TO POST CONNECTOR AT 2 SIDES. (2 SIDES CLEAR OF GLAZING)



70x70 ALUMINUM POST

POST CONNECTOR

(3) M7.5 x 50Lg TX30 CONCRETE SCREW & M8 x 24 FLAT WASHER INTO CONCRETE.

70 x 70 POST ON CONCRETE

1:5

BLC 18-00715

LUMON

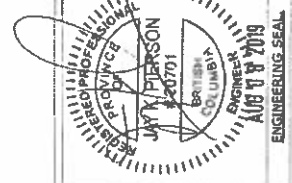
20339 96 Ave. Unit 180
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Robert & Shirley Tam

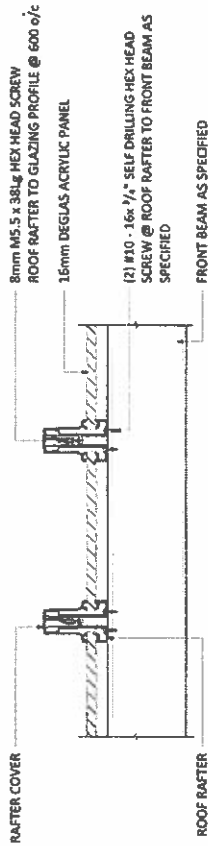
3887 Lyndale Crescent
Burnaby, B.C.
V5A 3S5

PROPOSED NEW COVERED PATIO & CARPORT
CONNECTION DETAILS

Project No.	Drawn By:	Date	Sheet No.	Rev
5030 1491	Author	24.06.19	07	1

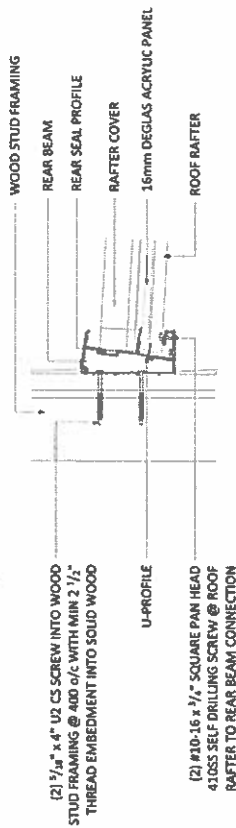


Rev	No.	Description	Date
1		ISSUED FOR PERMIT	24.06.2019
2		CHANGES FOR PERMIT	24.06.2019
3		CHANGES FOR PERMIT	27.08.2019



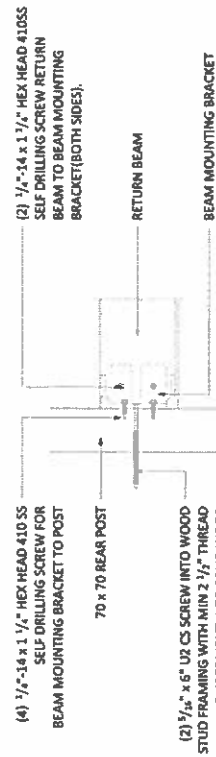
ROOF RAFTER CONNECTION DETAIL

1:5



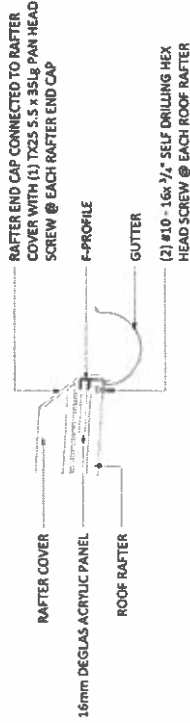
REAR BEAM CONNECTION DETAIL TO WOOD STUD FRAMING

1:5



RETURN BEAM CONNECTION DETAIL TO 70 x 70 POST

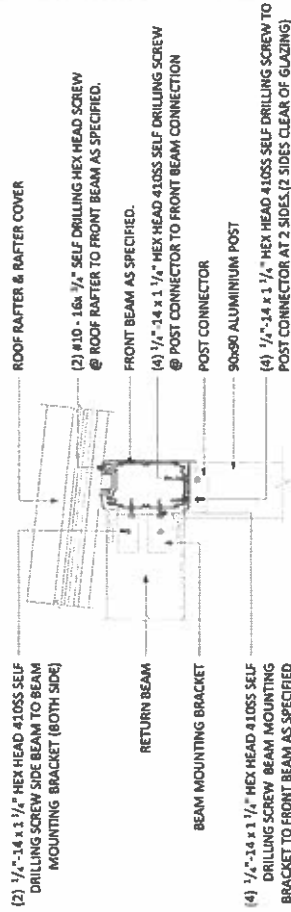
1:5



GUTTER CONNECTION DETAIL

1:5

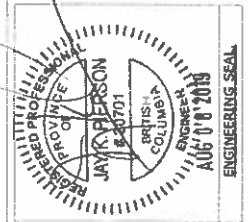
BLC 18-00715



FRONT & RETURN BEAM CONNECTION DETAIL - WITH 90 x 90 POST

1:5

Rev	No.	Description	Date
1		CRANKED BEAM AND ASSELED FOR PRELIM	14/07/2019
2		CRANKED BEAM AND ASSELED FOR PRELIM	28/08/2019
3		CRANKED BEAM AND ASSELED FOR PRELIM	27/08/2019
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87		CRANKED BEAM AND ASSELED FOR PRELIM	27/08/2019
88		CRANKED BEAM AND ASSELED FOR PRELIM	27/08/2019
89		CRANKED BEAM AND ASSELED FOR PRELIM	27/08/2019
90		CRANKED BEAM AND ASSELED FOR PRELIM	27/08/2019
91		CRANKED BEAM AND ASSELED FOR PRELIM	27/08/2019
92		CRANKED BEAM AND ASSELED FOR PRELIM	27/08/2019
93		CRANKED BEAM AND ASSELED FOR PRELIM	27/08/2019
94		CRANKED BEAM AND ASSELED FOR PRELIM	27/08/2019
95		CRANKED BEAM AND ASSELED FOR PRELIM	27/08/2019
96		CRANKED BEAM AND ASSELED FOR PRELIM	27/08/2019
97		CRANKED BEAM AND ASSELED FOR PRELIM	27/08/2019
98		CRANKED BEAM AND ASSELED FOR PRELIM	27/08/2019
99		CRANKED BEAM AND ASSELED FOR PRELIM	27/08/2019
100		CRANKED BEAM AND ASSELED FOR PRELIM	27/08/2019



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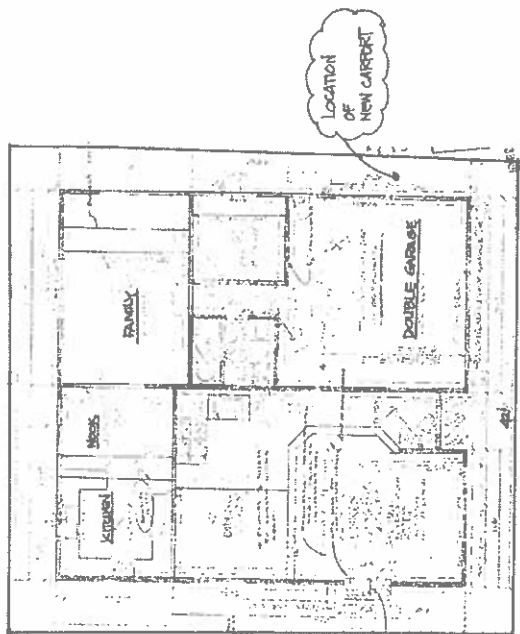
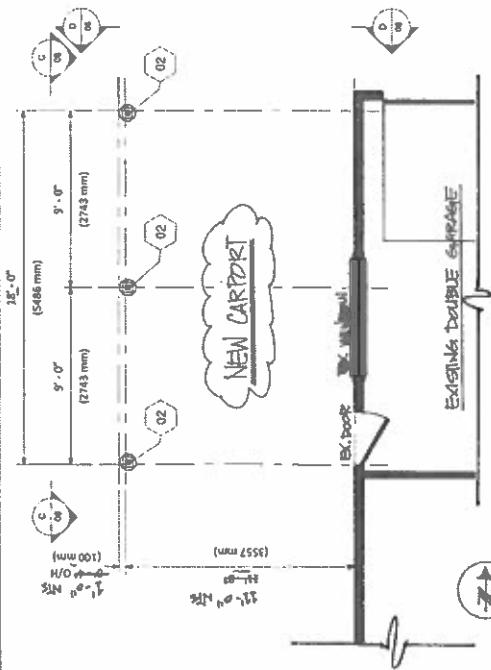
PROPOSED NEW COVERED PATIO & CARPORT
CONNECTION DETAILS

Project No.	5030 1491	Drawn By.	Author	Date	24.06.19	Sheet No.	08	Rev	1
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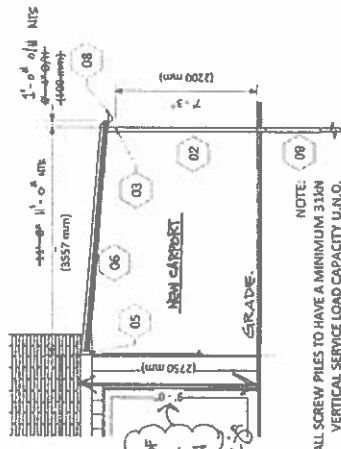
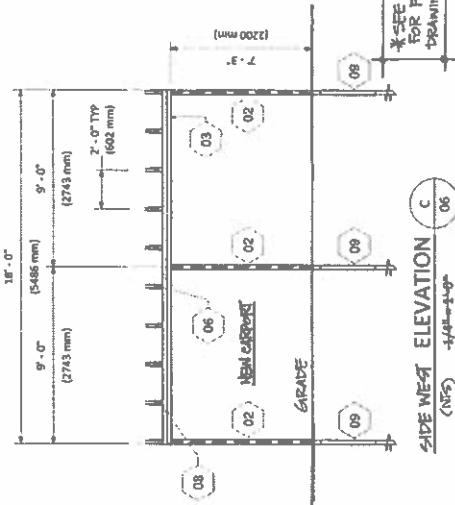
REVISION
 pc: *JA* date: SEP 10 2019

REVIEWED
 CITY OF BURNABY
 Date SEP 10 2019
 PLAN CHECKER
 Per: *JA*

BLC 18-00715



EXISTING MAIN FLOOR PLAN PER RECORDS
 (NFS)



NOTE:
 ALL SCREW PILES TO HAVE A MINIMUM 311N
 VERTICAL SERVICE LOAD CAPACITY U.N.O.

SEE SHEET NO. 03
 FOR FULL ELEVATION
 DRAWINGS.

MARK No	TYPE
01	90 x 90 ALUMINUM POST
02	70x70 ALUMINUM POST
03	ALUMINUM FRONT BEAM
04	HEAVY DUTY FRONT BEAM
05	ALUMINUM REAR BEAM
06	ALUMINUM ROOF RAFTER
07	ALUMINUM RETURN BEAM
08	ALUMINUM GUTTER
09	SCREW PILE

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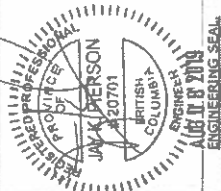
3867 Lynndale Crescent
 Burnaby, B.C.
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PROPOSED NEW COVERED PATIO & CARPORT
 LAYOUT & ELEVATIONS ON COVER NO. 2

Project No.	Drawn by	Date	Sheet No.	Rev
5030 1491	Author	24.06.19	06	1

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Date

Revision Description

Rev No.