



2021 Board of Variance Notice of Appeal Form

OFFICE OF THE CITY CLERK

Burnaby City Hall, 4949 Canada Way, Burnaby BC, V5G 1M2, Phone: 604-294-7290 Email: clerks@burnaby.ca

Applicant

Name of Applicant ~~STOVAR~~ Gerardo Centanni
Mailing Address 878 MacDonald Avenue
City/Town Burnaby BC Postal Code V5C 5W3
Phone Number(s) (H) 604²⁹¹-8501 (C) 604-340-4182
Email joanna@centannifile.com
angel99@telus.net

Property

Name of Owner Gerardo Centanni
Civic Address of Property 878 MacDonald Ave
Burnaby BC V5C 5W3

I hereby declare that the information submitted in support of this application is, to the best of my knowledge, true and correct in all aspects, and further that my plans have no conflict with municipal bylaws other than those applied for with in this application.

June 7, 2021
Date

[Signature]
Applicant Signature

Office Use Only

Appeal Date July 08 Appeal Number BV# 6434

Required Documents:

- ☒ Fee Application Receipt
- ☒ Building Department Referral Letter
- ☒ Hardship Letter from Applicant
- ☒ Site Plan of Subject Property

Any documents submitted in support of this Board of
Variance Appeal will be made available to the public

Gerardo Centanni
878 MacDonald Avenue
Burnaby, BC
V5C 5W3

City Of Burnaby

To The Board of Variance,

We are requesting a relaxation of bylaws concerning the existing main building, accessory building as well as the set back between the main and accessory building. All of which were approved in the past when the original work was done.

We are applying to put a new wood-framed cover over the existing sundeck to match the existing roof. At the same time as the sundeck cover in question, we are planning to replace our roof from roof tiles to asphalt shingles. We will also be replacing the fascia as some of the material is worn out and rotting. Since the roof needs replacing, this would be a good time to extend the work over to the existing deck for visual and performance consistency.

This is an existing hardship to us. The house was built in 1976 and accessory building built in 1980 which adhered to zoning bylaws for the building depth and setbacks at that time.

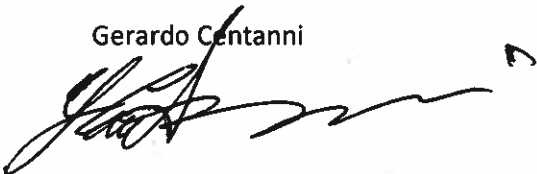
Our consultant has also advised us the aluminum cover that is there now was put up without a permit. We had the aluminum cover installed at the same time we applied for the RV Parking pad back in 1984. We had no idea that the aluminum cover was not approved as the City Inspector checking the RV parking pad at that time did not advise us to take the covering down.

We are not asking for more than what exists, just to cover the existing deck with an extension of the same as the roof of the house which will enhance curbside appeal and neighbourhood aesthetics.

In closing, we are hoping that we will get approval to begin the work. We have also canvassed our neighbors to let them know of our plans and have received signatures of consensus with the work we are planning to do.

Thank you in advance

Gerardo Centanni

A handwritten signature in black ink, appearing to read 'Gerardo Centanni', with a stylized flourish at the end.



BOARD OF VARIANCE REFERRAL LETTER

DATE: May 27, 2021		<i>This is <u>not</u> an application. Please submit this letter to the Clerk's office (ground floor) when you make your Board of Variance application.</i>	
DEADLINE: June 8, 2021 for the July 8, 2021 hearing.			
APPLICANT NAME: Angelo Marrocco			
APPLICANT ADDRESS: 2795 Napier Street, Vancouver BC V5C 5W3			
TELEPHONE: 604-299-4929			
PROJECT			
DESCRIPTION: New deck cover and already constructed deck extension, deck stairs and carport to garage conversion, to an existing single family dwelling			
ADDRESS: 878 Macdonald Avenue			
LEGAL DESCRIPTION:	LOT: 8	DL: 116	PLAN: NWP1439

Building Permit application BLD20-01087 will be denied by the Building Department because the design is not in compliance with Burnaby Zoning Bylaw No. 4742:

Zone R5 / Sections 6.3.1 and 105.8(1)

COMMENTS:

The applicant proposes to build a new deck cover and already constructed deck extension, deck stairs and carport to garage conversion, to an existing single family dwelling. In order to allow the Building Permit application to proceed, the applicant requests that the following variances be granted:

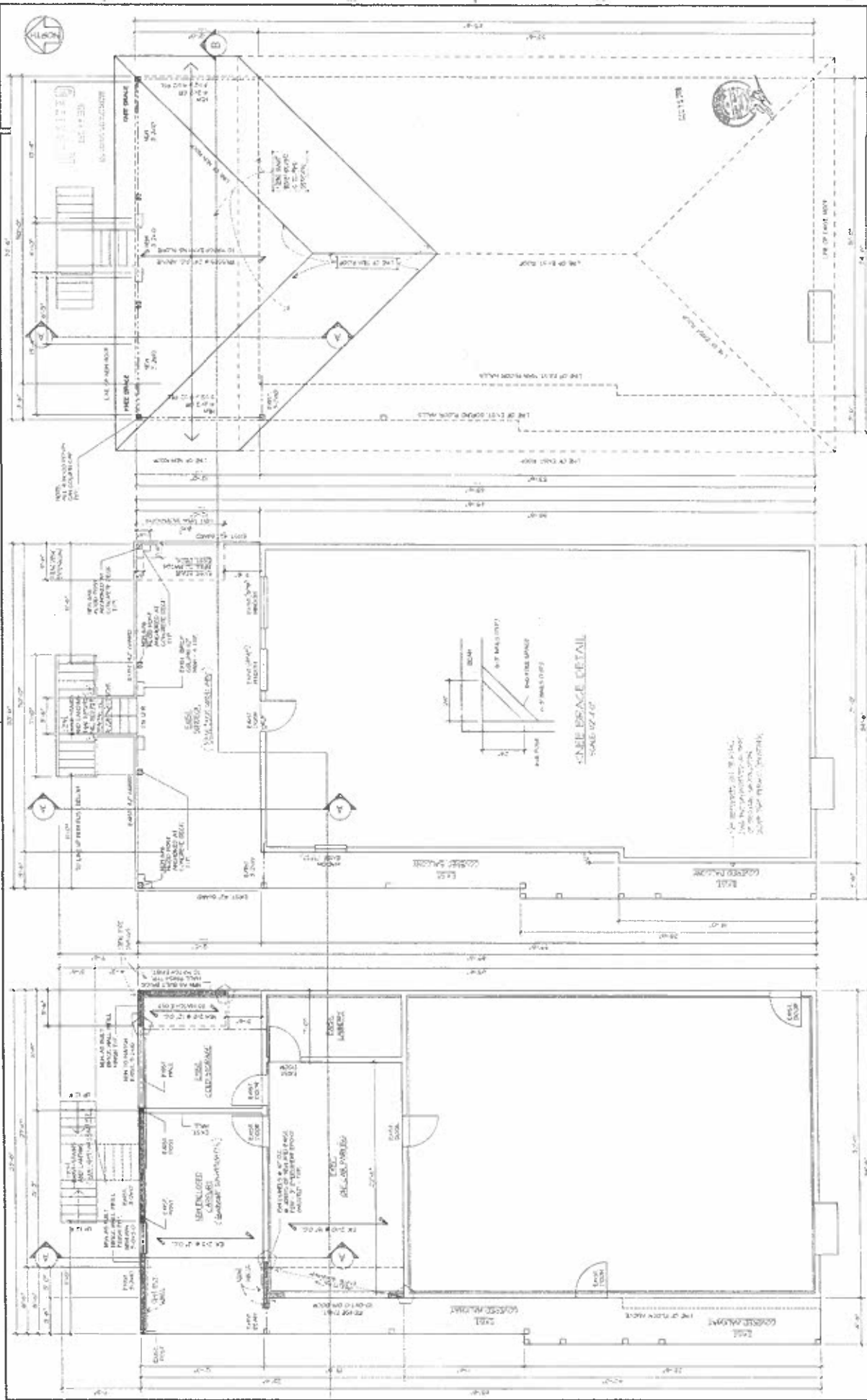
- 1) To vary Section 6.3.1 – "Distance between Buildings on the same Lot" of the Zoning Bylaw requirement for the minimum distance from 4.5 m (14.8 ft.) to 4.12 m (13.5 ft.). The applicability of this variance, if granted, is limited to the scope of the proposal shown on the attached plans.
- 2) To vary Section 105.8(1) – "Depth of Principal Building" of the Zoning bylaw requirement for the maximum building depth from 18.3 m (60 ft.) to 19.64 m (65.5 ft.). The applicability of this variance, if granted, is limited to the scope of the proposal shown on the attached plans.

Note:

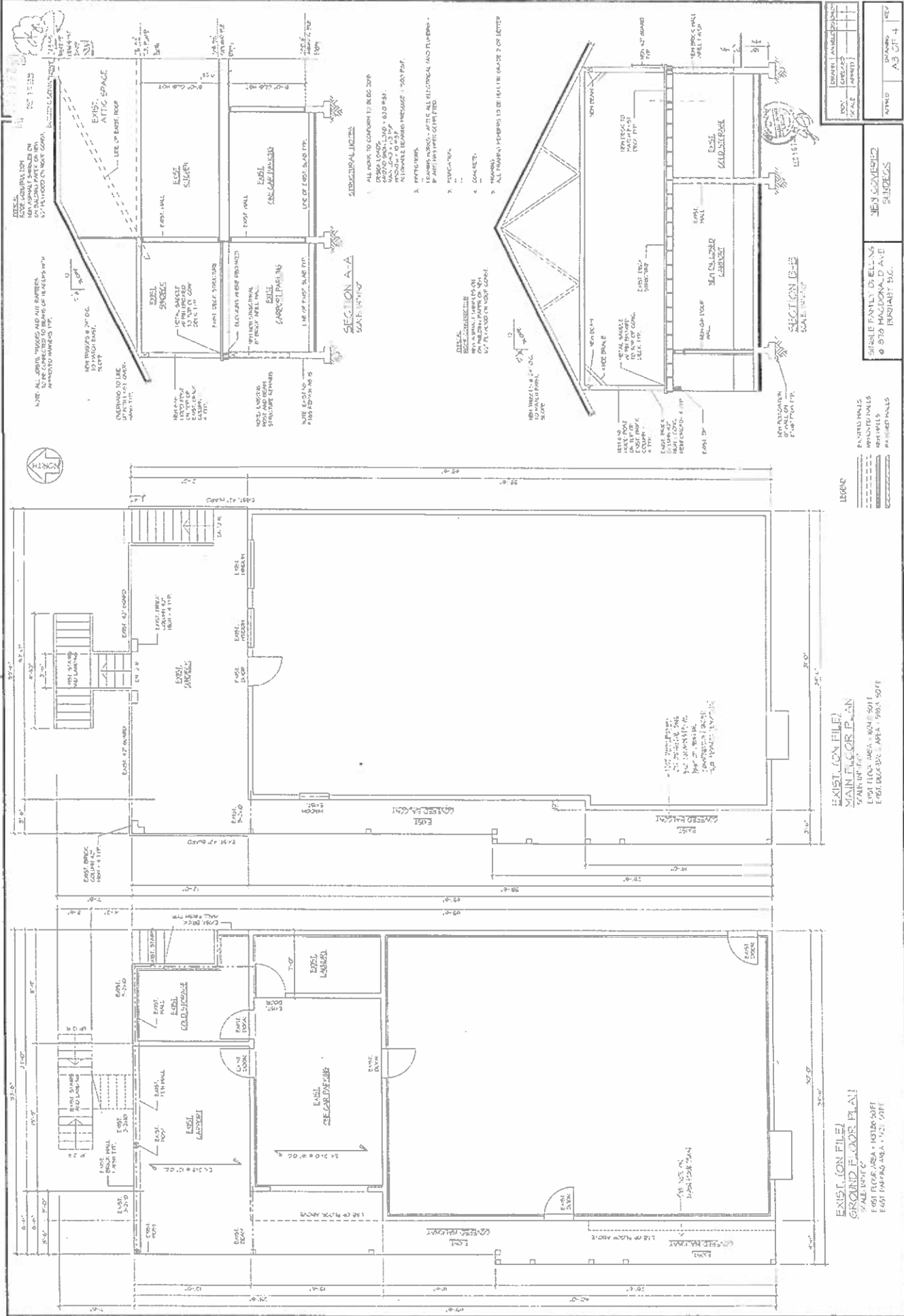
1. The applicant recognizes that should the project contain additional characteristics in contravention of the Zoning By-law, a future appeal(s) may be required.
2. All new principal building projections into the resulting required yards will conform to the requirements of Section 6.12.
3. Principal building projection exemptions in the calculations of building depth will conform to the requirements of the Depth, Principal Building definition.
4. Retaining walls and Fences will conform to the requirements of Section 6.14.

JQ

Peter Kushnir
Deputy Chief Building Inspector



SEA SERVICES OF FLORIDA, INC. 10000 W. BOULEVARD SUITE 100 BOCA RATON, FL 33433 TEL: (305) 991-1111 FAX: (305) 991-1112		SHEET NO. 1 OF 1
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STRUCTURAL NOTES
ALTERATIONS & ADDITIONS
878 MacDonald AVE

BURNABY

SHEET N1

Issued For Approval
DATE OF ISSUE
BY

10 SEP 1967

10

10

STRUCTURAL NOTES
SUPPLEMENTS & ADDITIONS
78 MacDonald Ave.
BURNABY



EXISTING AGGREGATE
BUILDING (S) (AGE)

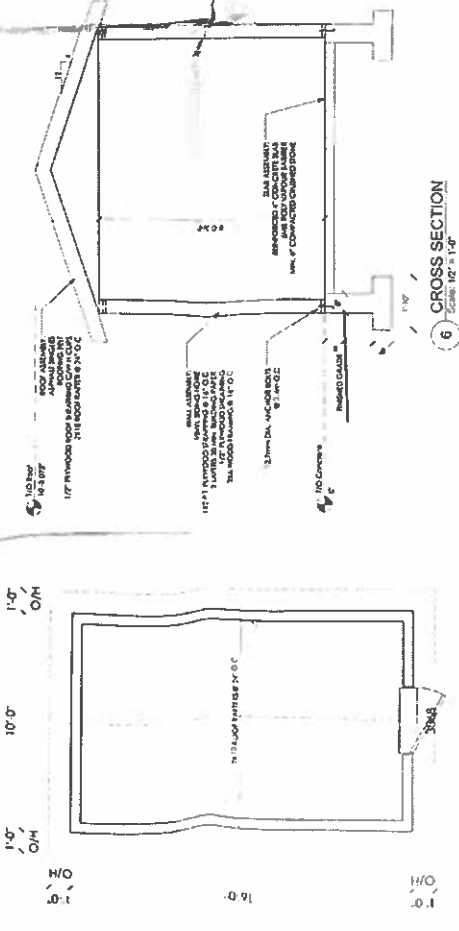
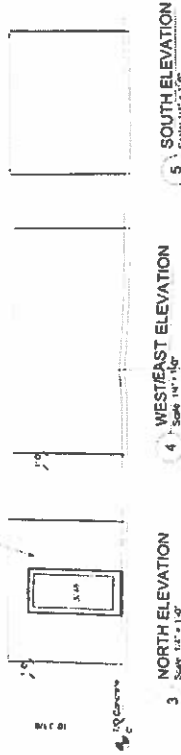
DATE	10/10/2010	TIME	10:00
NAME	ADAM	AGE	4
SEX	M	WEIGHT	10.0
HEIGHT	100.0	TEMP	37.5
PULSE	100	BLOOD PRESSURE	100/60
RESPIRATORY RATE	20	DIAGNOSIS	ADAM
PHYSICIAN	ADAM	NURSE	ADAM
PHARMACEUTICAL	ADAM	LABORATORY	ADAM
DIAGNOSIS	ADAM	TESTS	ADAM
TREATMENT	ADAM	PRESCRIPTIONS	ADAM
ADDITIONAL INFORMATION	ADAM	REMARKS	ADAM

SMILE FAMILY OVERLAYS
IN ITS MAGAZINE AVE
NEW COVERED
SINCE

PROPOSED NEW 10X16 SHED

3667 LYNDALE CRST. BURNABY

200 PAVED ALCEA
10'0" WIDE
10'0" DEEP



2 FLOOR PLAN
Scale 3/8" = 1'-0"

6 CROSS SECTION
Scale 1/2" = 1'-0"

RECEIVED
JUL 20 2011
BUILDING DEPARTMENT

NOTED
RECEIVED
JUL 20 2011
BUILDING DEPARTMENT

BLD10-00715

THESE PLANS CONFORM TO THE BCBC 2012

ANDY HONG

114 604-721-8155 andy.hong@andyhong.com

PLANS ARE THE PROPERTY OF ANDY HONG ARCHITECTURE AND SHALL REMAIN HIS/HERS WITHOUT FURTHER PERMISSION

PROPOSED
10X16 SHED

Site Plan
Section
Details

CITY ADDRESS
AND LYNDALE
BURNABY

DATE REVISION

NO. 1000000

DESIGN BY

DATE BY

SCALE

ISSUED FOR

SHEET

A4.0

Date 10/1/11
Time 8:17:33 PM