

## Landscape Drawing List

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## Landscape Rationale

Situated adjacent to the Royal Oak SkyTrain station and South-East of Royal Oak Avenue and Imperial Street, the BCGEU-Royal Oak project is a highly connected, transit oriented mixed-use development. The landscape design for this development is intended to complement and accentuate the contemporary expression of the architecture bringing a usable and living landscape to the many levels that this project provides.

From the grade level to podiums levels, the landscape design seeks to promote social connection and wellbeing through; programming of exterior amenity spaces, rich and varied material palette, use of rectilinear and organic forms and a diverse and layered planting strategy.

At grade along Palm Avenue the development provides a number of uses including the BCGEU main office entry, the residential lobbies, a cafe and a daycare facility. The BCGEU entry provides the focal point with feature paving and inlaid way finding signage. A row of trees has been placed on site and offset from the street trees to provide a continuous canopy. A gap in the canopy is articulated at the entrance to the BCGEU to accommodate a future public art element to provide interest and to animate to the street. Paving has been designed to allow the sidewalk to extend toward the building to accommodate the increased pedestrian circulation. Plantings and benches help to further separate and buffer the cafe and interior building uses from the busyness of the exterior realm. Along the north side of the development, a wide walkway meanders through soft landscape providing a mid-block link to the lane. Bike parking is provided with overview from the adjacent residential lobby windows. Lighting will be provided for nighttime use to ensure safety. At the south side of the project the daycare is provided with a large outdoor play area. The exterior daycare play space sits above the grade of the adjacent sidewalk and is secured by a fence and softened by plantings of trees and shrubs. A generous tree planter along the west lane acts as a landscape buffer between lane and building and provides screening for mechanical vents.

The project will include upgrades to the public realm along Palm Avenue including new sidewalk, street trees and bike lane. The combined tree canopy across this ground level creates a connected network above, providing both privacy for residents and offices, while providing habitat benefits for non-human species such as birds.

On Level 2 an amenity patio is offering Tower B residents with a play area and a variety of seating opportunities. The play area features rubber surfacing, playful, informal seating, and a variety of play equipment pieces to engage a wide range of age groups. A generous curvilinear planter supports tree planting to provide screening of the North building wall. This planter and the feature seating mimic the materials and form seen on the ground floor, providing continuity of materiality across the building's landscape. The picnic tables in the west provide a group gathering place while watching kids play. Furthermore, evergreen hedges and trees above provide interest and screening for users between the private and public patios and along the west and east edges.

The Level 4 podium features an amenity deck for Tower A residents and an outdoor office amenity patio separated by generous planting areas. A continuous perimeter planter with tree planting provides interest and screening for users above and below.

The level 4 residential outdoor space features a variety of seating opportunities and play structures comparable to the Tower B amenities.

The level 4 office deck extends the indoor programming to outdoors, creating an active outdoor area with spaces for physical and mental health. Various 'rooms' are designed across this level through materiality and form on lower levels. These rooms include space for outdoor dining, moveable tables nearby the indoor amenity room, a deck for seating, stretching or yoga, space for outdoor work or meetings and a large canopy structure offering shade and weather protection for year-round use. Generous planted areas on both the east and west ends of the podium provide separation between office and residential uses and create a green, biophilic perimeter encouraging moments of quiet reprieve and thought.

Level 15 on Tower A offers a variety of seating and gathering opportunities for residents. Artificial lawn areas with lounge seating can be used for quiet relaxation or informal seating. Centrally located picnic tables under catenary lighting offer great views and opportunities for small gatherings and social interaction. A perimeter planter with trees softens the edge of this level and provides seasonal interest.

Level 16A podium on Tower A utilizes low planting along the edges to allow for stunning views. This outdoor area offers a living space to gather with others to enjoy moments of social connection in direct relation to the programming of the indoor amenities. An exterior exercise patio is provided on the east side adjacent to the gym amenities for open-air stretching, yoga, and exercise opportunities.

Tower B features a large amenity patio on Level 20, combining the same program elements of the Tower A Levels 15 & 16 decks into a single area wrapping the building core. In addition two small amenity decks with benches on the north side provide opportunities to step outside from the indoor amenity areas. A continuous perimeter planter with trees contains the amenity decks and provides separation from the floors below.

Whether at the ground level or on one of the many podium levels, each level provides opportunities to engage in groups or by oneself with the outdoor environment. The playful nature of the landscape design on different building levels encourages residents to find their personal favourite spot, play and work outdoors, interact with nature, and connect with neighbours.

## BCGEU - Amended Development Plan

Amended Development Plan- 6877, 6891, 6913, 6939, 6945 Palm Avenue - REZ20-27

**Landscape Drawings**  
Re-Issued for Amended Development Plan -  
July 31st, 2023

Issues No.	Description	Date
1	Issued for Review	2021/06/16
2	Issued for SPOD Review	2021/12/08
3	Issued for SPOD	2022/01/21
4	Re-Issued for SPOD	2022/02/10
5	Issued for PPA	2022/04/29
6	Issued for 50% Working Drawings	2022/11/14
7	Issued for 70% Working Drawings	2022/12/16
8	Re-issued for SPOD	2023/06/12
9	Issued for Amended Development Plan	2023/07/07
10	Re-issued for Amended Development Plan	2023/07/31



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Client: **BCGEU**

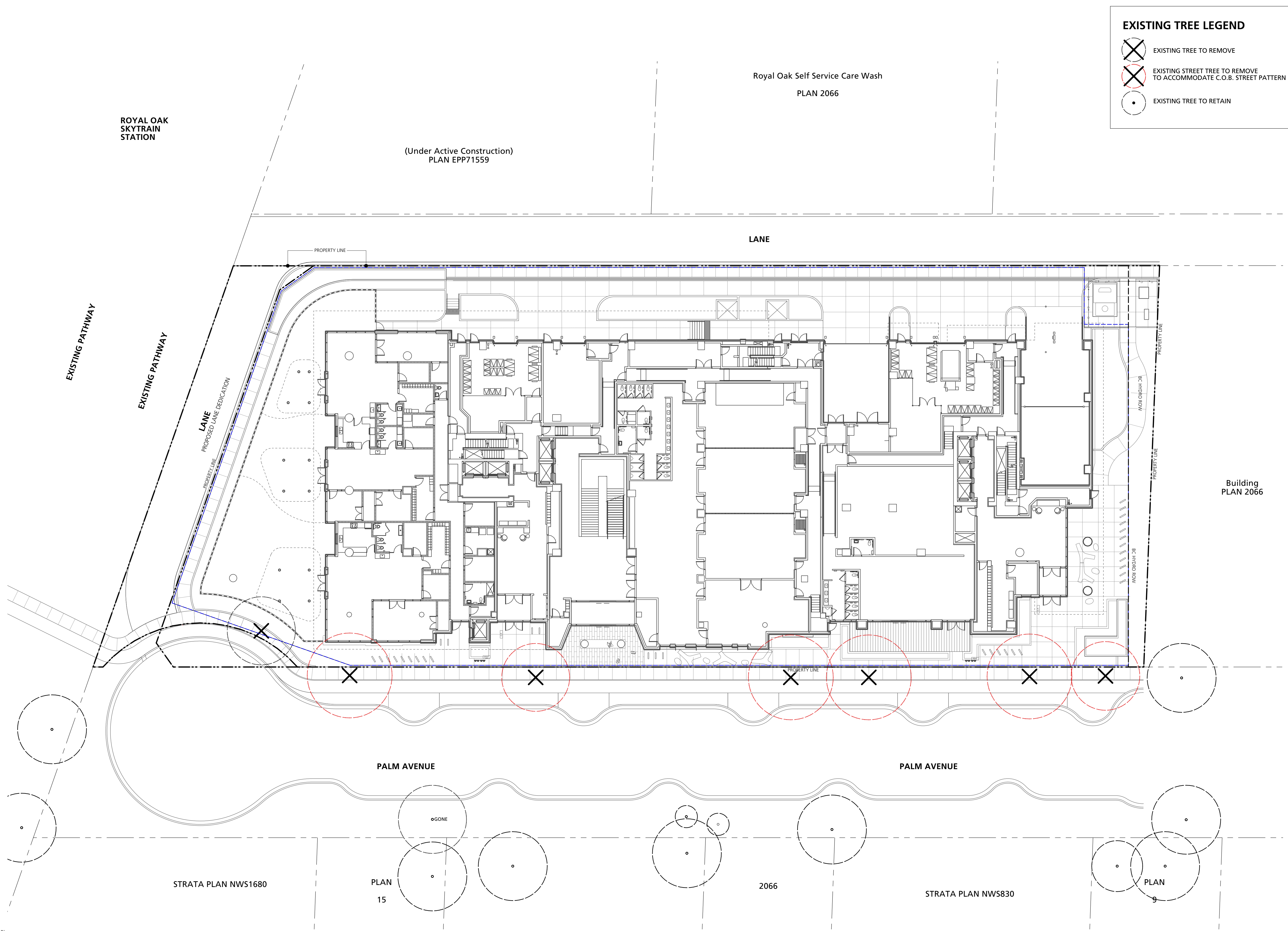
Project Title:  
**BCGEU - Amended Development Plan**  
6877, 6891, 6913, 6939, 6945  
Palm Avenue, Burnaby, BC

Drawing Title:  
**Landscape Context Plan**

Project North: Drawn By: **CS**  
Checked By: **JP**  
Scale: **1:200** Job No.: **21-012**  
Sheet No.:

**EXISTING TREE LEGEND**

-  EXISTING TREE TO REMOVE
-  EXISTING STREET TREE TO REMOVE TO ACCOMMODATE C.O.B. STREET PATTERN
-  EXISTING TREE TO RETAIN



Issues

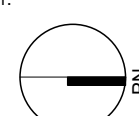
No.	Description	Date
1	Issued for SPOD	2022/01/21
2	Re-Issued for SPOD	2022/02/10
3	Issued for PPA	2022/04/29
4	Issued for 50% Working Drawings	2022/11/14
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Client: **BCGEU**

Project Title:  
**BCGEU - Amended Development Plan**  
6877, 6891, 6913, 6939, 6945  
Palm Avenue, Burnaby, BC

Drawing Title:  
**Tree Management Plan**

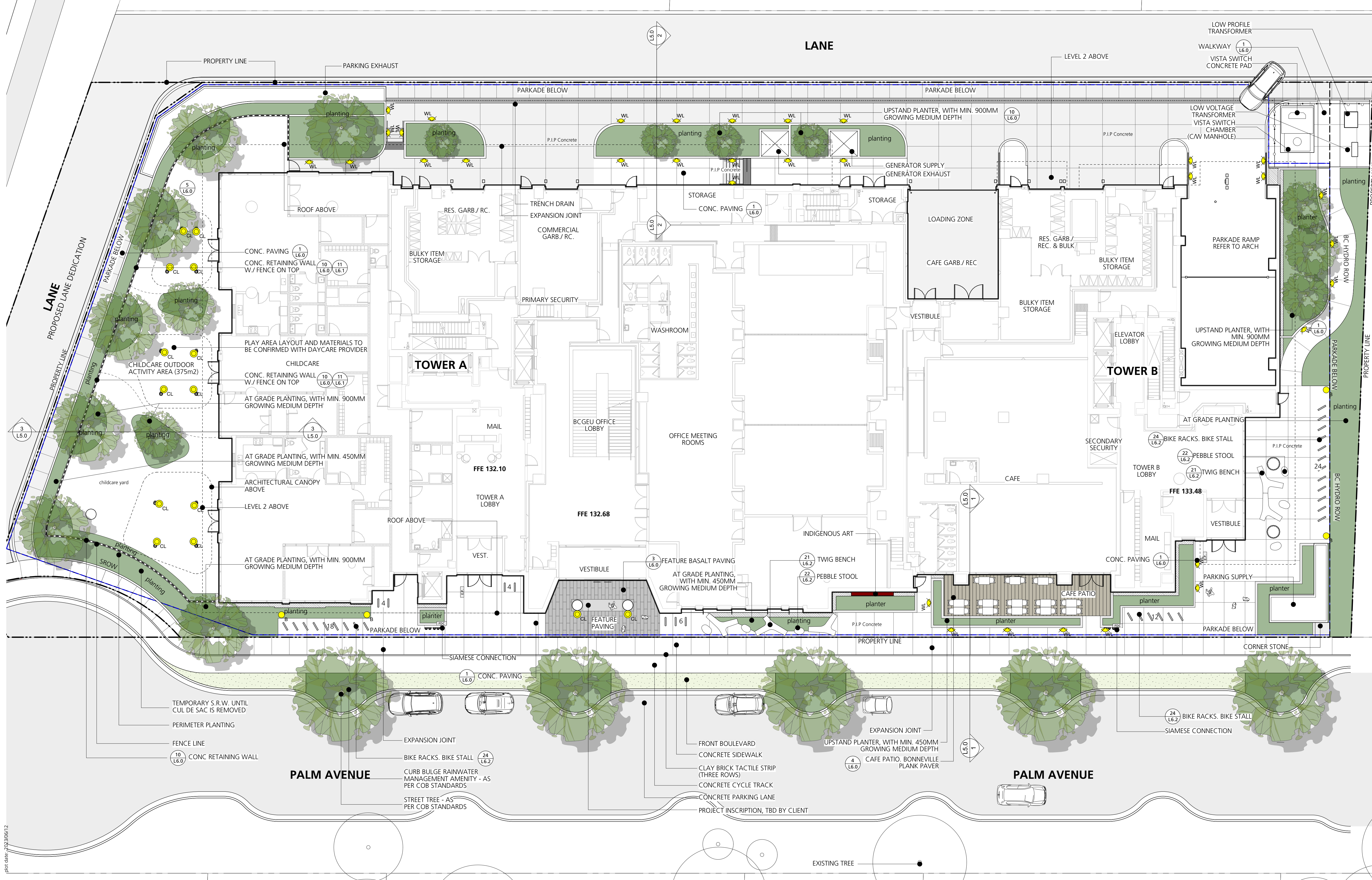
Project North:  Drawn By: **CS**  
Checked By: **JP**  
Scale: **1:200** Job No.: **21-012**  
Sheet No.:

**DETAIL KEY LEGEND**

- 1 L6.0 C.I.P CONCRETE PAVING
- 2 L6.0 HYDRAPRESSED SLAB
- 3 L6.0 FEATURE BASALT PAVING
- 4 L6.0 CONCRETE UNIT PAVING - WOOD COLOR PATIO
- 5 L6.0 P.I.P RUBBER SURFACING (FITNESS)
- 6 L5.0 ARTIFICIAL TURF
- 7 L6.0 FLUSH CONCRETE CURB
- 8 L6.0 GRANULAR MAINTENANCE PATH
- 9 L6.0 GRAVEL STRIP
- 10 L6.0 C.I.P CONCRETE PLANTER WALL
- 11 L6.1 METAL PICKET FENCE - DAYCARE
- 12 L6.1 BACKLESS BENCH
- 13 L6.1 PICNIC TABLE
- 14 L6.1 HIGHTOP WORK TABLE & BAR HEIGHT STOOL
- 15 L6.1 LOUNGE CHAIR
- 16 L6.1 LOUNGE LOVE SEAT
- 17 L6.1 LOUNGE COACH
- 18 L6.1 COFFEE TABLE
- 19 L6.1 CAFE STYLE TABLE
- 20 L6.2 CAFE STYLE SEATING
- 21 L6.2 TWIG BENCH
- 22 L6.2 PEBBLE STOOL
- 23 L6.2 CHAISE LONGUE
- 24 L6.2 BIKE RACK
- 25 L6.2 CATENARY LIGHTING
- 26 A L6.3 PIP RUBBER SURFACING (PLAY) AND CONCRETE CURB
- 26 B L6.3 PLAY EQUIPMENT
- 27 L6.4 SHRUB PLANTING
- 28 L6.4 TREE PLANTING

**LIGHTING LEGEND**

- PT Post-Top Light
- UL Up Light
- DL Down Light
- WL Step Light/ Wall Light
- B Decorative Bollard Light
- CL Column Mounted Light
- CL Catenary Lighting
- R Receptacle Location



**Issues**

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Client: **BCGEU**

Project Title: **BCGEU - Amended Development Plan**  
6877, 6891, 6913, 6939, 6945  
Palm Avenue, Burnaby, BC

Drawing Title: **Landscape Layout and Key Plan - Level 1**

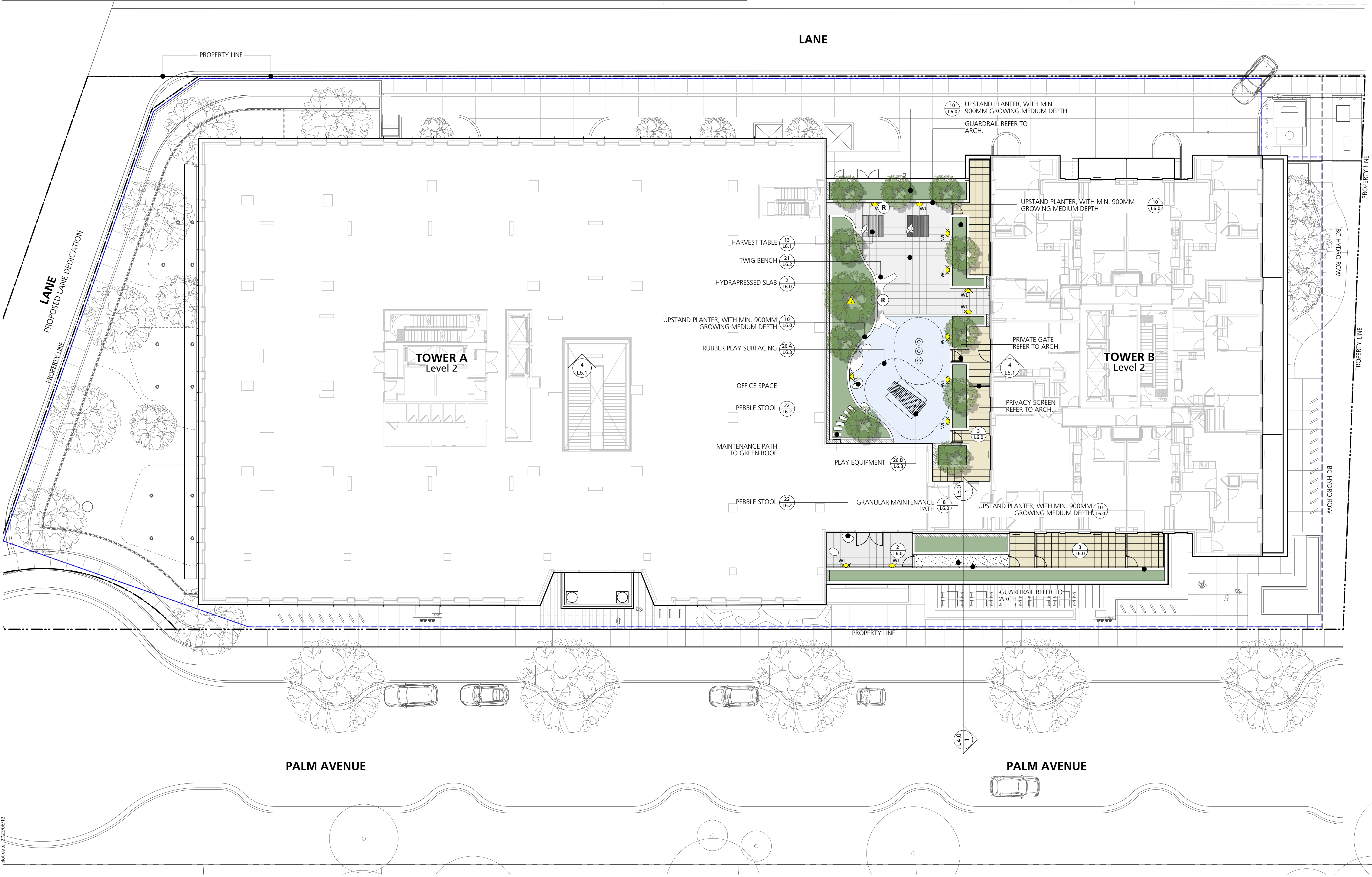
Project North: Drawn By: **CS**  
Checked By: **JP**  
Scale: **1:150** Job No.: **21-012**  
Sheet No.:

**DETAIL KEY LEGEND**

- |           |   |            |                           |            |                                       |            |                    |            |                   |              |   |
|-----------|---|------------|---------------------------|------------|---------------------------------------|------------|--------------------|------------|-------------------|--------------|---|
| 1<br>L6.0 | C.I.P CONCRETE PAVING                   | 6<br>L5.0  | ARTIFICIAL TURF           | 11<br>L6.1 | METAL PICKET FENCE - DAYCARE          | 16<br>L6.1 | LOUNGE LOVE SEAT   | 21<br>L6.2 | TWIG BENCH        | 26 A<br>L6.3 | PIP RUBBER SURFACING (PLAY) AND CONCRETE CURB |
| 2<br>L6.0 | HYDRAPRESSED SLAB                       | 7<br>L6.0  | FLUSH CONCRETE CURB       | 12<br>L6.1 | BACKLESS BENCH                        | 17<br>L6.1 | LOUNGE COACH       | 22<br>L6.2 | PEBBLE STOOL      | 26 B<br>L6.3 | PLAY EQUIPMENT                                |
| 3<br>L6.0 | FEATURE BASALT PAVING                   | 8<br>L6.0  | GRANULAR MAINTENANCE PATH | 13<br>L6.1 | PICNIC TABLE                          | 18<br>L6.1 | COFFEE TABLE       | 23<br>L6.2 | CHAISE LONGUE     | 27<br>L6.4   | SHRUB PLANTING                                |
| 4<br>L6.0 | CONCRETE UNIT PAVING - WOOD COLOR PATIO | 9<br>L6.0  | GRAVEL STRIP              | 14<br>L6.1 | HIGHTOP WORK TABLE & BAR HEIGHT STOOL | 19<br>L6.1 | CAFE STYLE TABLE   | 24<br>L6.2 | BIKE RACK         | 28<br>L6.4   | TREE PLANTING                                 |
| 5<br>L6.0 | P.I.P RUBBER SURFACING (FITNESS)        | 10<br>L6.0 | CIP CONCRETE PLANTER WALL | 15<br>L6.1 | LOUNGE CHAIR                          | 20<br>L6.2 | CAFE STYLE SEATING | 25<br>L6.2 | CATENARY LIGHTING |              |   |

**LIGHTING LEGEND**

- |    |                          |    |                      |
|----|--------------------------|----|----------------------|
| PT | Post-Top Light           | CL | Column Mounted Light |
| ▲  | Up Light                 | —  | Catenary Lighting    |
| ▼  | Down Light               | R  | Receptacle Location  |
| WL | Step Light/ Wall Light   |    |                      |
| B  | Decorative Bollard Light |    |                      |



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Client: **BCGEU**

Project Title:  
BCGEU - Amended Development Plan  
6877, 6891, 6913, 6939, 6945  
Palm Avenue, Burnaby, BC

Drawing Title:  
**Landscape Layout and Key Plan - Level 2**

Project North: Drawn By: CS  
Checked By: JP  
Scale: 1:150 Job No.: 21-012  
Sheet No.:

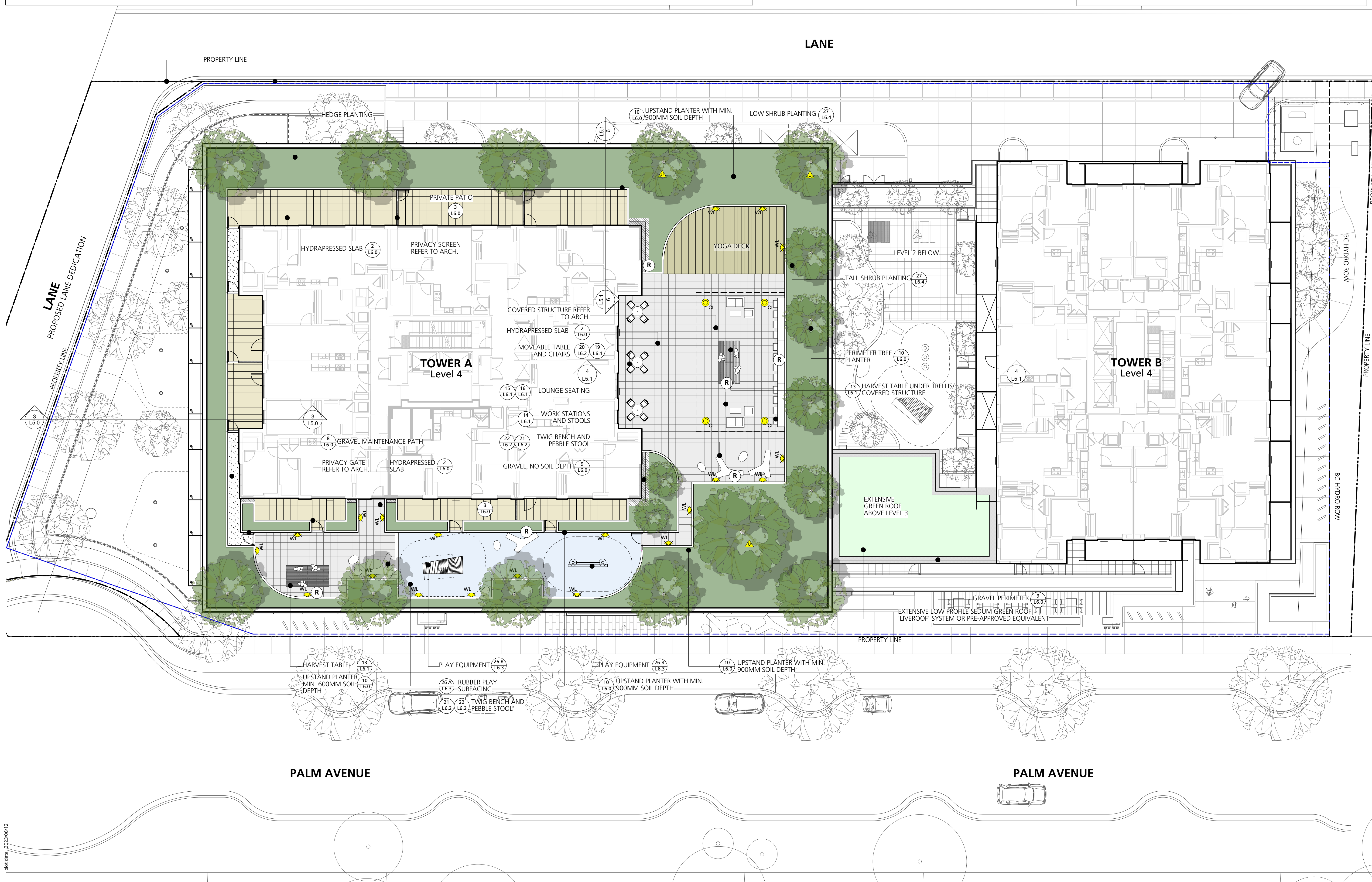
**DETAIL KEY LEGEND**

- |   |  |  |                                 |                                |   |
|---|--|--|---------------------------------|--------------------------------|---|
| 1 (L6.0)<br>C.I.P CONCRETE PAVING                   | 6 (L5.0)<br>ARTIFICIAL TURF            | 11 (L6.1)<br>METAL PICKET FENCE - DAYCARE          | 16 (L6.1)<br>LOUNGE LOVE SEAT   | 21 (L6.2)<br>TWIG BENCH        | 26A (L6.3)<br>PIP RUBBER SURFACING (PLAY) AND CONCRETE CURB |
| 2 (L6.0)<br>HYDRAPRESSED SLAB                       | 7 (L6.0)<br>FLUSH CONCRETE CURB        | 12 (L6.1)<br>BACKLESS BENCH                        | 17 (L6.1)<br>LOUNGE COACH       | 22 (L6.2)<br>PEBBLE STOOL      | 26B (L6.3)<br>PLAY EQUIPMENT                                |
| 3 (L6.0)<br>FEATURE BASALT PAVING                   | 8 (L6.0)<br>GRANULAR MAINTENANCE PATH  | 13 (L6.1)<br>PICNIC TABLE                          | 18 (L6.1)<br>COFFEE TABLE       | 23 (L6.2)<br>CHAISE LONGUE     | 27 (L6.4)<br>SHRUB PLANTING                                 |
| 4 (L6.0)<br>CONCRETE UNIT PAVING - WOOD COLOR PATIO | 9 (L6.0)<br>GRAVEL STRIP               | 14 (L6.1)<br>HIGHTOP WORK TABLE & BAR HEIGHT STOOL | 19 (L6.1)<br>CAFE STYLE TABLE   | 24 (L6.2)<br>BIKE RACK         | 28 (L6.4)<br>TREE PLANTING                                  |
| 5 (L6.0)<br>P.I.P RUBBER SURFACING (FITNESS)        | 10 (L6.0)<br>CIP CONCRETE PLANTER WALL | 15 (L6.1)<br>LOUNGE CHAIR                          | 20 (L6.2)<br>CAFE STYLE SEATING | 25 (L6.2)<br>CATENARY LIGHTING |   |

**LIGHTING LEGEND**

- |                               |                            |
|-------------------------------|----------------------------|
| PT<br>Post-Top Light          | CL<br>Column Mounted Light |
| ▲<br>Up Light                 | ○<br>Catenary Lighting     |
| ▼<br>Down Light               | R<br>Receptacle Location   |
| WL<br>Step Light/ Wall Light  |                            |
| B<br>Decorative Bollard Light |                            |

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Client: **BCGEU**

Project Title:  
BCGEU - Amended Development Plan  
6877, 6891, 6913, 6939, 6945  
Palm Avenue, Burnaby, BC

Drawing Title:  
**Landscape Layout and Key Plan - Level 4**

Project North: Drawn By: CS  
Checked By: JP  
Scale: 1:150 Job No.: 21-012  
Sheet No.:

**DETAIL KEY LEGEND**

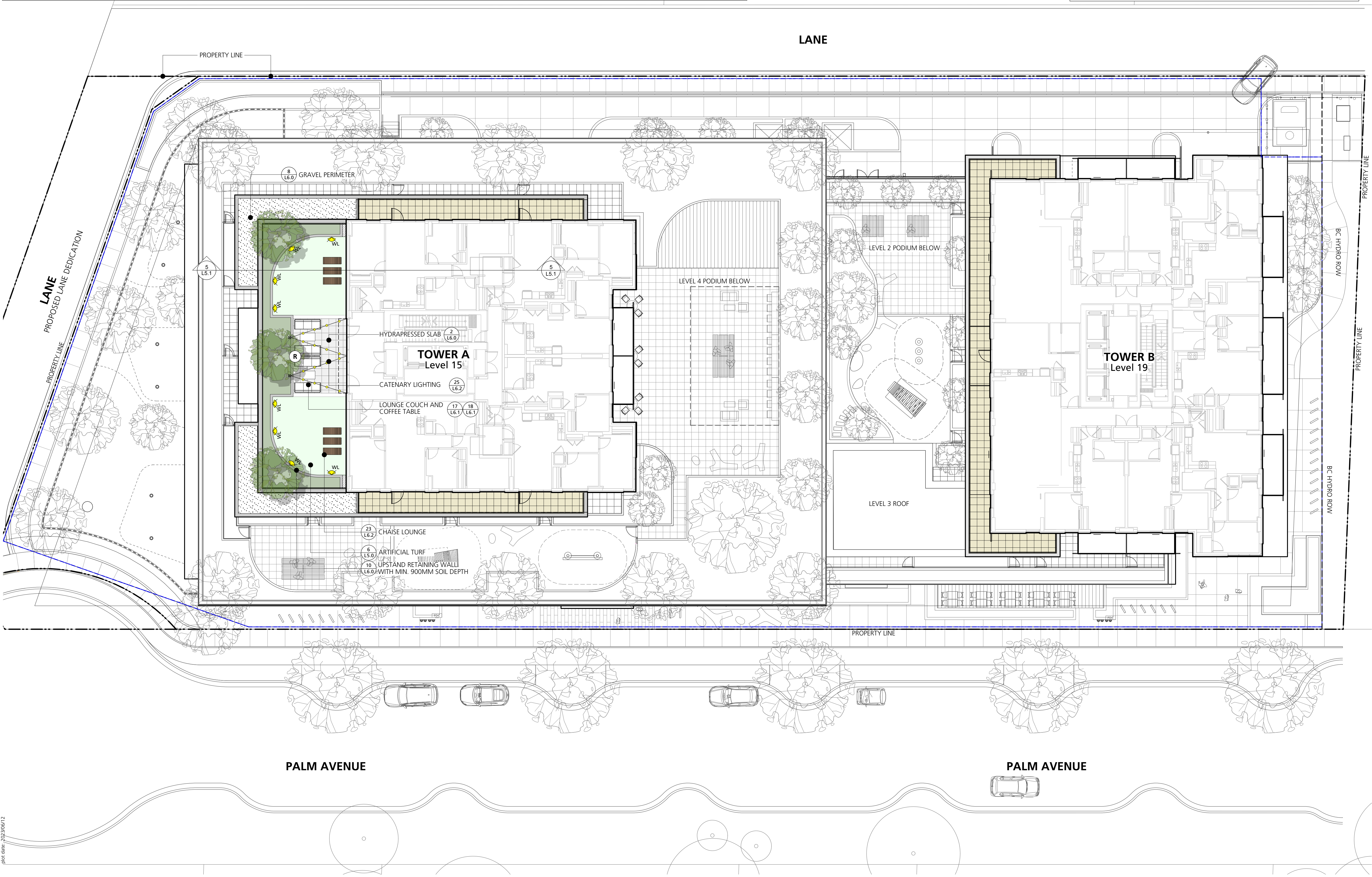
- |           |   |            |                           |            |                                       |            |                    |            |                   |              |   |
|-----------|---|------------|---------------------------|------------|---------------------------------------|------------|--------------------|------------|-------------------|--------------|---|
| 1<br>L6.0 | C.I.P CONCRETE PAVING                   | 6<br>L5.0  | ARTIFICIAL TURF           | 11<br>L6.1 | METAL PICKET FENCE - DAYCARE          | 16<br>L6.1 | LOUNGE LOVE SEAT   | 21<br>L6.2 | TWIG BENCH        | 26 A<br>L6.3 | PIP RUBBER SURFACING (PLAY) AND CONCRETE CURB |
| 2<br>L6.0 | HYDRAPRESSED SLAB                       | 7<br>L6.0  | FLUSH CONCRETE CURB       | 12<br>L6.1 | BACKLESS BENCH                        | 17<br>L6.1 | LOUNGE COACH       | 22<br>L6.2 | PEBBLE STOOL      | 26 B<br>L6.3 | PLAY EQUIPMENT                                |
| 3<br>L6.0 | FEATURE BASALT PAVING                   | 8<br>L6.0  | GRANULAR MAINTENANCE PATH | 13<br>L6.1 | PICNIC TABLE                          | 18<br>L6.1 | COFFEE TABLE       | 23<br>L6.2 | CHAISE LONGUE     | 27<br>L6.4   | SHRUB PLANTING                                |
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**LIGHTING LEGEND**

- |    |                          |    |                      |
|----|--------------------------|----|----------------------|
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| ▲  | Up Light                 | —  | Catenary Lighting    |
| ▼  | Down Light               | R  | Receptacle Location  |
| WL | Step Light/ Wall Light   |    |                      |
| B  | Decorative Bollard Light |    |                      |

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Client: **BCGEU**

Project Title:  
BCGEU - Amended Development Plan  
6877, 6891, 6913, 6939, 6945  
Palm Avenue, Burnaby, BC

Drawing Title:  
**Landscape Layout and Key Plan - Level 15A/19B**

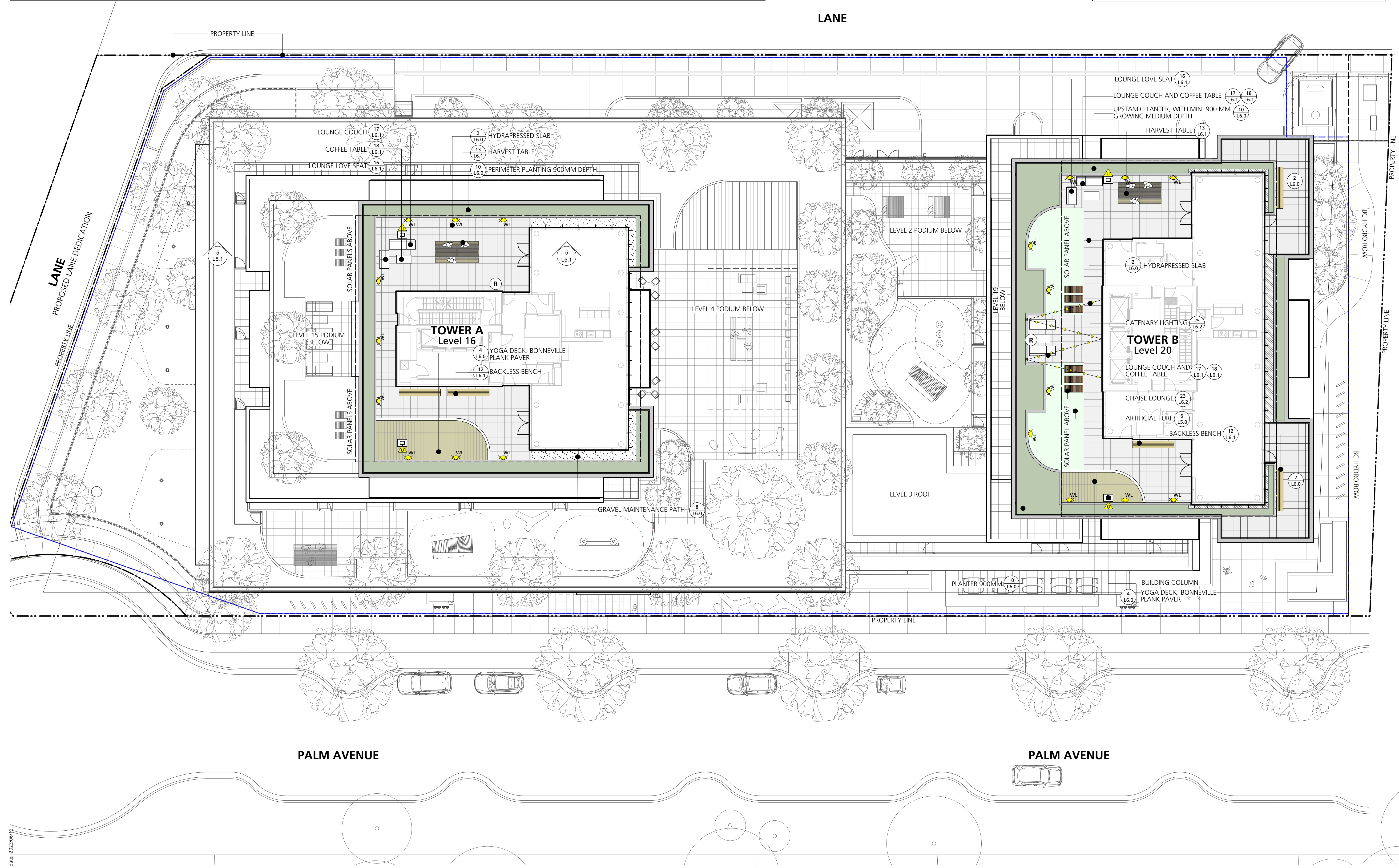
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Checked By: JP  
Scale: 1:150 Job No.: 21-012  
Sheet No.:

**DETAIL KEY LEGEND**

- |  |                                   |   |                            |                           |   |
|--|-----------------------------------|---|----------------------------|---------------------------|---|
| 1 L6.0 C.I.P CONCRETE PAVING                   | 6 L5.0 ARTIFICIAL TURF            | 11 L6.1 METAL PICKET FENCE - DAYCARE          | 16 L6.1 LOUNGE LOVE SEAT   | 21 L6.2 TWIG BENCH        | 26 A L6.3 PIP RUBBER SURFACING (PLAY) AND CONCRETE CURB |
| 2 L6.0 HYDRAPRESSED SLAB                       | 7 L6.0 FLUSH CONCRETE CURB        | 12 L6.1 BACKLESS BENCH                        | 17 L6.1 LOUNGE COACH       | 22 L6.2 PEBBLE STOOL      | 26 B L6.3 PLAY EQUIPMENT                                |
| 3 L6.0 FEATURE BASALT PAVING                   | 8 L6.0 GRANULAR MAINTENANCE PATH  | 13 L6.1 PICNIC TABLE                          | 18 L6.1 COFFEE TABLE       | 23 L6.2 CHAISE LONGUE     | 27 L6.4 SHRUB PLANTING                                  |
| 4 L6.0 CONCRETE UNIT PAVING - WOOD COLOR PATIO | 9 L6.0 GRAVEL STRIP               | 14 L6.1 HIGHTOP WORK TABLE & BAR HEIGHT STOOL | 19 L6.1 CAFE STYLE TABLE   | 24 L6.2 BIKE RACK         | 28 L6.4 TREE PLANTING                                   |
| 5 L6.0 P.I.P RUBBER SURFACING (FITNESS)        | 10 L6.0 CIP CONCRETE PLANTER WALL | 15 L6.1 LOUNGE CHAIR                          | 20 L6.2 CAFE STYLE SEATING | 25 L6.2 CATENARY LIGHTING |   |

**LIGHTING LEGEND**

- |                            |                         |
|----------------------------|-------------------------|
| PT Post-Top Light          | CL Column Mounted Light |
| ▲ Up Light                 | ☀ Catenary Lighting     |
| ▼ Down Light               | R Receptacle Location   |
| WL Step Light/ Wall Light  |                         |
| B Decorative Bollard Light |                         |



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Client: **BCGEU**

Project Title:  
**BCGEU - Amended Development Plan**  
6877, 6891, 6913, 6939, 6945  
Palm Avenue, Burnaby, BC

Drawing Title:  
**Landscape Layout and Key Plan - Level 16A/20B**

Project North: Drawn By: **CS**  
Checked By: **JP**  
Scale: **1:150** Job No.: **21-012**

Sheet No.: