



DEVELOPMENT VARIANCE PERMIT DVP #24-22

1. This Development Variance Permit (DVP) #24-22 (the "Permit"), issued pursuant to s 498 of the *Local Government Act*, applies only to the following property:

Civic address: 4244 Norland Avenue

Legal Description: Lot: A Block: District Lot: 79 Plan: EPP78613

(the "**Lands**")

2. This Permit varies the existing zone, namely,

This permit varies the following sections of the Burnaby Zoning Bylaw, 1965 (the "Zoning Bylaw"), but only to the extent necessary to facilitate the construction of a new community safety building as outlined on the plans attached as Schedule A to this Permit:

- Section 6.14.1(1) for increasing the maximum permitted retaining wall height from 1.2m up to a maximum of 3.9m
 - Section 502.7 to reduce the minimum 6m front yard requirement to 0m
 - Section 502.8 to reduce the minimum 6m side yard requirement to 2.3m and 3.3m
 - Section 502.9 to reduce the minimum 6m rear yard requirement to 5.5m
3. This Permit shall lapse if the owner does not substantially start any construction with respect to which this Permit is issued, within two (2) years of issuance of this Permit.
 4. This Permit is not a building permit, sign permit, preliminary plan approval, or a subdivision approval.

AUTHORIZING RESOLUTION PASSED BY COUNCIL ON DAY OF , 20

THIS PERMIT IS HEREBY ISSUED THIS DAY OF , 20

Community Safety Bldg

4244 Norland Ave, Burnaby BC, V5G 4V1



IPD Team

city of burnaby

Burnaby City Hall
4949 Canada Way
Burnaby, BC, V5G 4H7
Mitra Rafatjah
phone: 604-294-7514
email: mitra.rafatjah@burnaby.ca

burnaby RCMP

Burnaby City Hall
6355 Deer Lake Avenue
Burnaby, BC, V5G 2J2
Kathy Hartwig
phone: 604-646-9504
email: kathy.hartwig@rcmp-grc.gc.ca

architectural

Johnston Davidson Architecture
877 East Hastings Street #301
Vancouver, BC, V6A 3Y1
Kimberly Johnston
phone: 604-684-3338
email: kim@jdarch.ca

landscape

Perry and Associates
112 East Broadway
Vancouver, BC, V5T 1V9
Jason McDougall
phone: 604-738-4118
email: jm@perryandassociates.ca

civil

WSP Canada Inc.
840 Howe St #1000
Vancouver, BC, V6Z 2M1
Morne Richard
phone: 236-335-2865
email: morne.richard@wsp.com

surveyor

Aplin and Martin
201, 12448 82nd Avenue
Surrey, BC, V3W 3E9
Greg Martson
phone: 778-688-6967
email: gmarston@aplinmartin.com



Drawings

- A0.06 Survey - North
- A0.07 Survey - South
- DVP 1 Set Back Variances
- DVP 2 Retaining Wall Variances
- DVP 3 Retaining Wall Sections



PERMIT DATA
EXCAVATION AND SHORING PERMIT: BLD24-00946
PPA-1: 24-00060
FOUNDATION PERMIT: BLD24-00945
TREE CUTTING PERMIT: TRE24-00116

PROJECT INFORMATION
BUILDING CODE: BC BUILDING CODE 2024
ADDRESS: 4244 NORLAND AVENUE, BURNABY BC, V5G 4V1
LEGAL DESCRIPTION: Lot A District Lot 79 Group 1 New Westminster District Plan EPP78615
OCCUPANCY CLASS: MAJOR - GROUP D: OFFICES SUBSIDIARY - GROUP B1: POLICE STATION WITH DETENTION - GROUP F3: STORAGE GARAGE
ZONING INFORMATION: P2
GROSS SITE AREA: 18,300 SM
GROSS FLOOR AREA (GFA): 12,299 SM
PROPOSED BUILDING FOOTPRINT (EXCLUDES U/G PARKING): 5,640 SM
GFA FOR REQUIRED PARKING CALCULATIONS: <i>PERMITTED:</i> 12,299SM AS PER B/L 11032-99-12-13, 1 stall per 45SM = 267 STALLS <i>PARKING PROVIDED:</i> SURFACE PARKING : 29 VISITOR STALLS + 2 ACCESSIBLE STALLS PARKADE PARKING: - LEVEL S1 - 96 STALLS (43 EV STALLS) - LEVEL P1 = 118 STALLS - LEVEL P2 = 116 STALLS - LEVEL P3 = 111 STALLS + 6 ACC. STALLS TOTAL PARKING: 478 STALLS TOTAL ACCESSIBLE PARKING: 8 STALLS TOTAL EV PARKING: 43 STALLS
BICYCLE PARKING: 35 SECURED + 12 VISITOR BIKE SPACES <i>CLASS A REQUIRED:</i> 26 SPACES <i>CLASS A PROPOSED:</i> 36 SPACES <i>CLASS B REQUIRED:</i> 4 SPACES <i>CLASS B PROPOSED:</i> 12 SPACES
LOADING: <i>REQUIRED:</i> 3 SPACES <i>PROPOSED:</i> 3 SPACES
SITE COVERAGE: <i>PERMITTED:</i> 50.0% <i>PROPOSED:</i> 30.8%
BUILDING HEIGHT: <i>PERMITTED:</i> 12.0M <i>PROPOSED:</i> 9.5M
SETBACKS: <i>PERMITTED:</i> 6.0M FRONT SETBACK, 6.0M SIDE SETBACK (AT ROAD ONLY, 6.0M REAR SETBACK <i>PROPOSED:</i> DVP IS REQUIRED FOR REAR, PROJECT EAST SIDE, AND FRONT SETBACKS.

R1

ISSUED FOR: Development Variance Permit
DATE: January 15, 2025

GENERAL LEGEND

- PROPERTY LINE
- SETBACK
- NEW CONTOURS
- EXISTING CONTOURS
- BUILDING FOOTPRINT
- CONCRETE PAVERS - PEDESTRIAN (COORDINATE WITH LANDSCAPE)
- CONCRETE
- CONCRETE PAVEMENT
- GRAVEL (SEE DETAIL)
- CRUSHED CLEAN CHIP (SEE DETAIL)
- ASPHALT
- PLANTING/ SOFT LANDSCAPING
- BIOSWALE
- GRADE MARKERS
- PEDESTRIAN WARNING LIGHT
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- WHEEL STOP
- FIRE ALARM ANNUNCIATOR PANEL
- FIRE DEPARTMENT CONNECTION
- BUILDING ENTRANCE

VARIANCE LEGEND

- SETBACK VARIANCE AREA
- PROPOSED SETBACK

JDa
 Johnston Davidson Architecture
 301 - 877 East Hastings Street
 Vancouver, BC, Canada, V6A 3Y1
 Phone: 604 684 3338
 info@jdarch.ca
 jdarch.ca

Revisions

No.	Description	Date
1	DVP	24-DEC-02
2		
3		
4		
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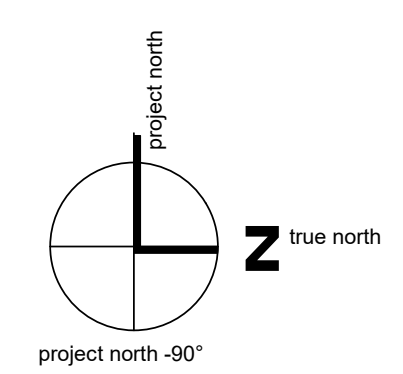
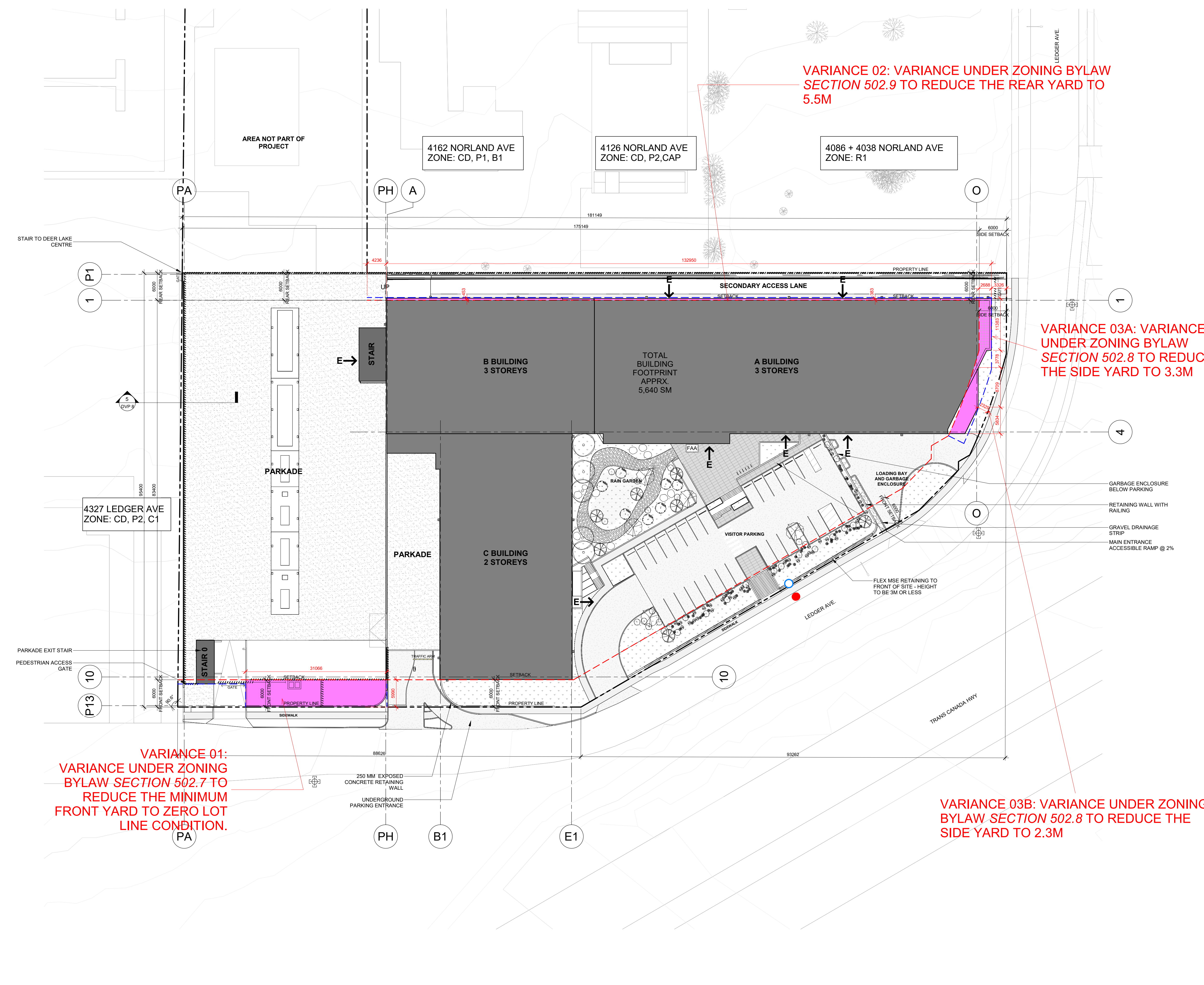
Job Title
 Community Safety Bldg
 4244 Norland Ave, Burnaby BC, V5G 4V1
 Client
 City of Burnaby

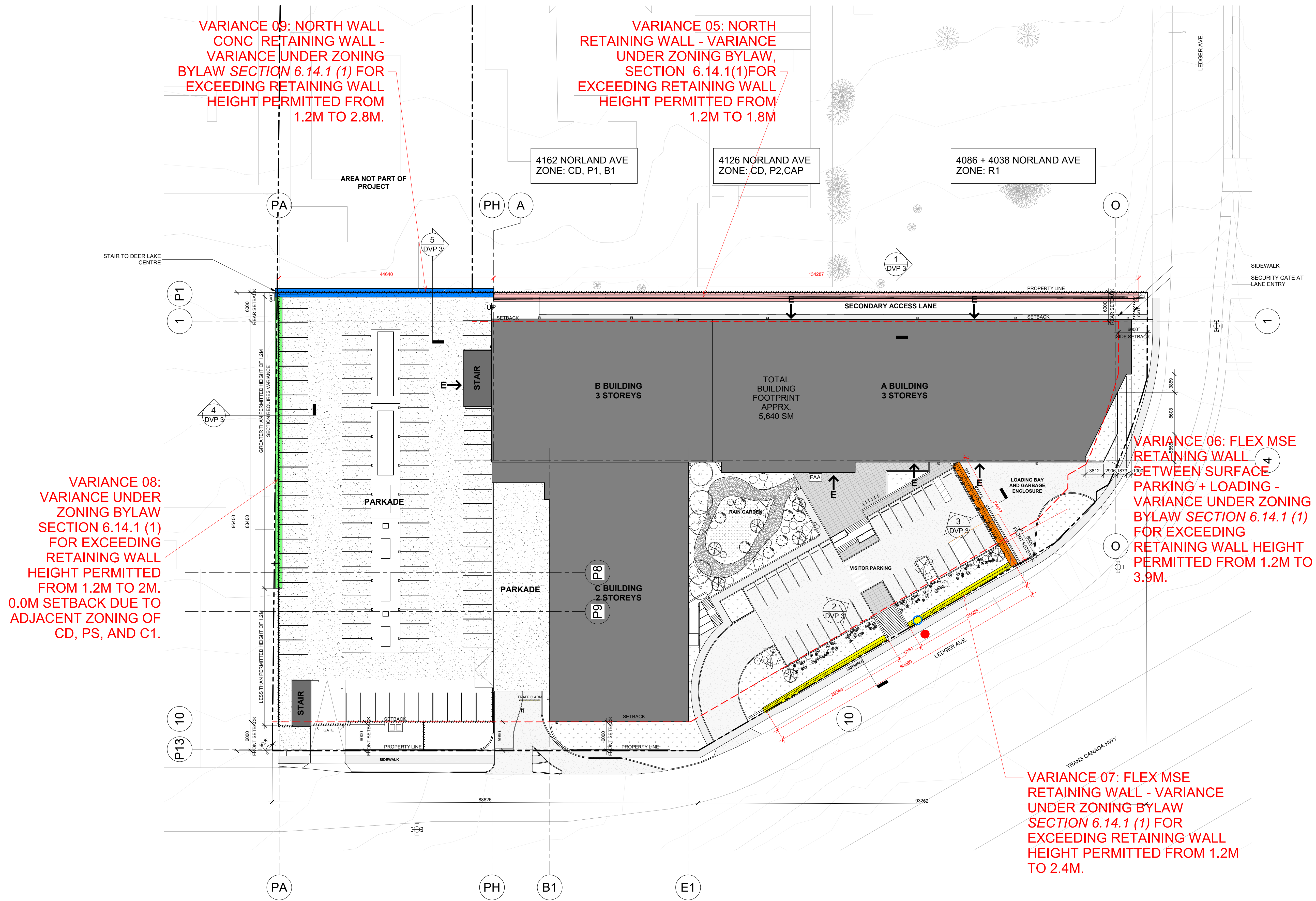
Sheet Title
 Set Back Variances

Drawn	RL	Scale
Checked	KJ	1:400

Job No.	2309	Revision	
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Sheet
DVP 1
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GENERAL LEGEND

	PROPERTY LINE
	SETBACK
	NEW CONTOURS
	EXISTING CONTOURS
	BUILDING FOOTPRINT
	CONCRETE PAVERS - PEDESTRIAN (COORDINATE WITH LANDSCAPE)
	CONCRETE
	CONCRETE PAVEMENT
	GRAVEL (SEE DETAIL)
	CRUSHED CLEAN CHIP (SEE DETAIL)
	ASPHALT
	PLANTING/ SOFT LANDSCAPING
	BIOSWALE
	GRADE MARKERS
	PEDESTRIAN WARNING LIGHT
	EXISTING FIRE HYDRANT
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	WHEEL STOP
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	FIRE DEPARTMENT CONNECTION
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 Vancouver, BC, Canada, V6A 3Y1

Phone: 604 684 3338
 info@jdarch.ca

jdarch.ca

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Job Title
 Community Safety Bldg

4244 Norland Ave, Burnaby BC, V5G 4V1
 Client
 City of Burnaby

Sheet Title
 Retaining Wall
 Variances

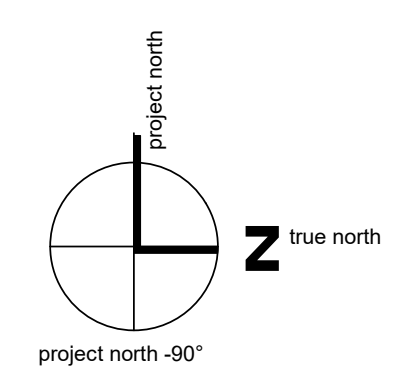
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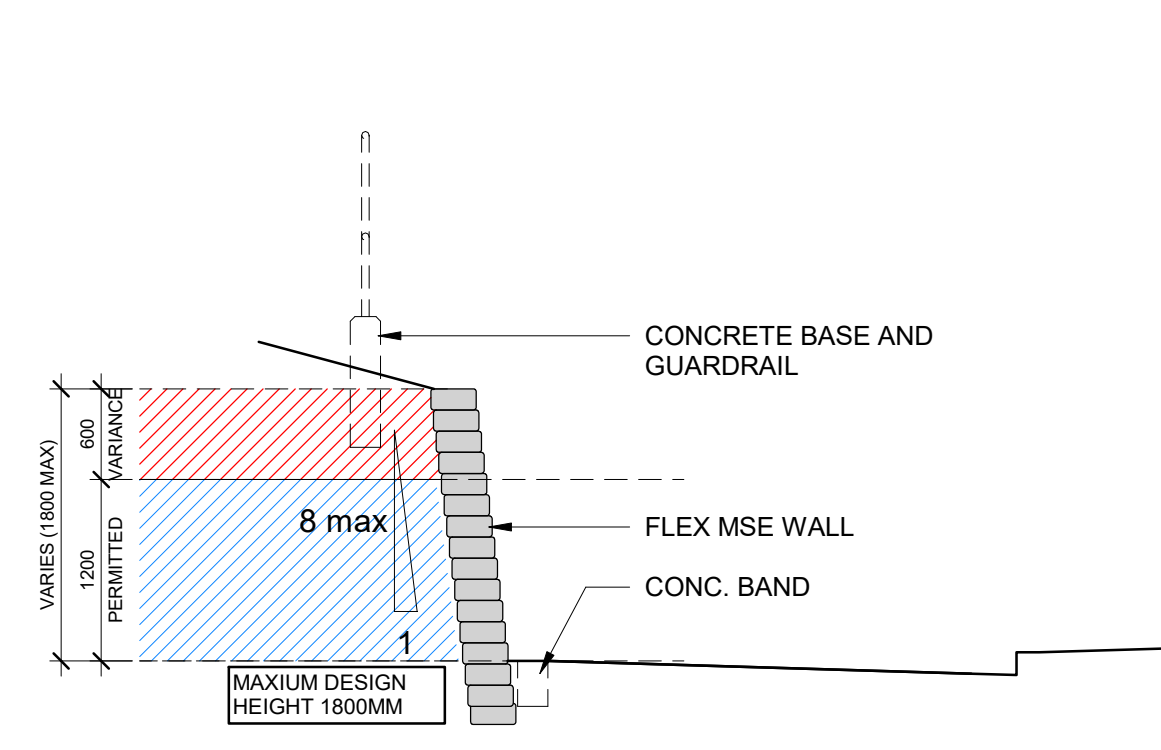
Job No. 2309 Revision

Sheet

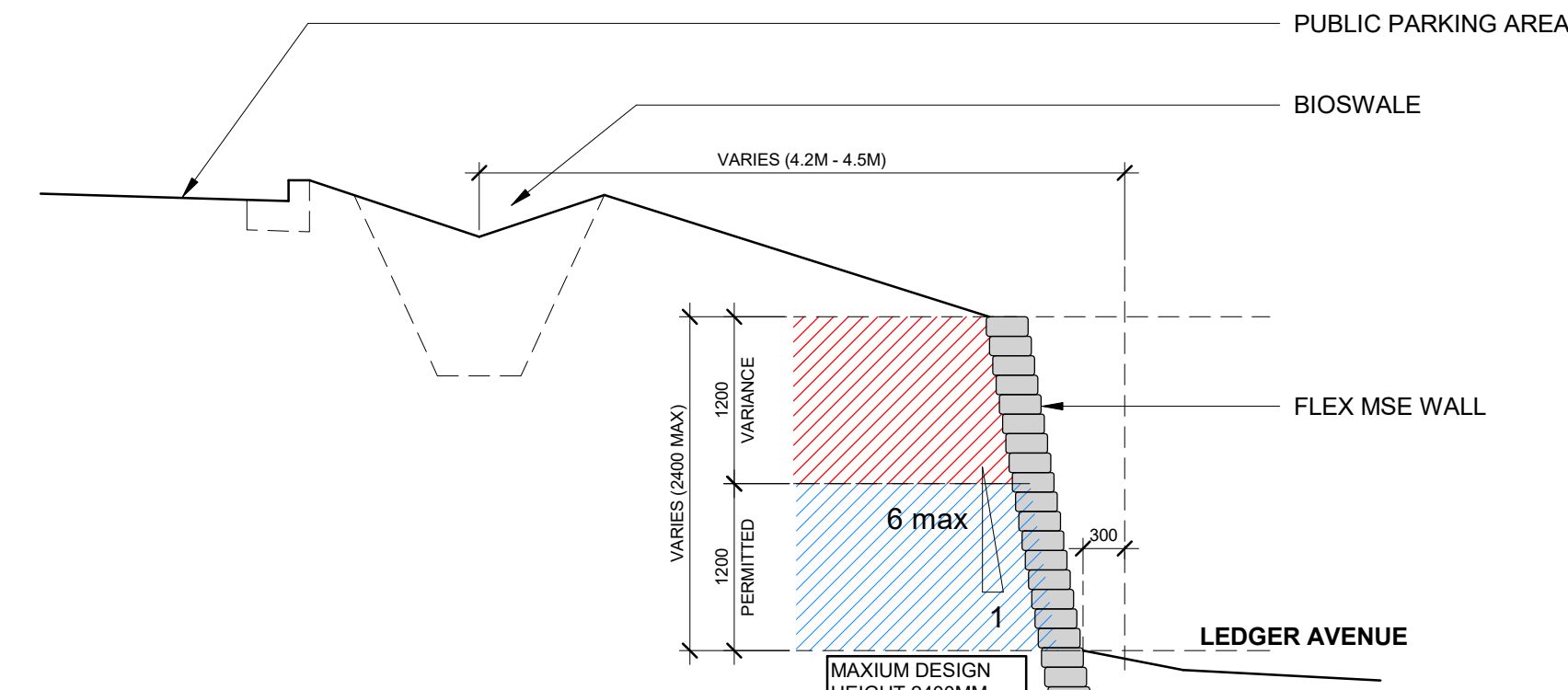
DVP 2

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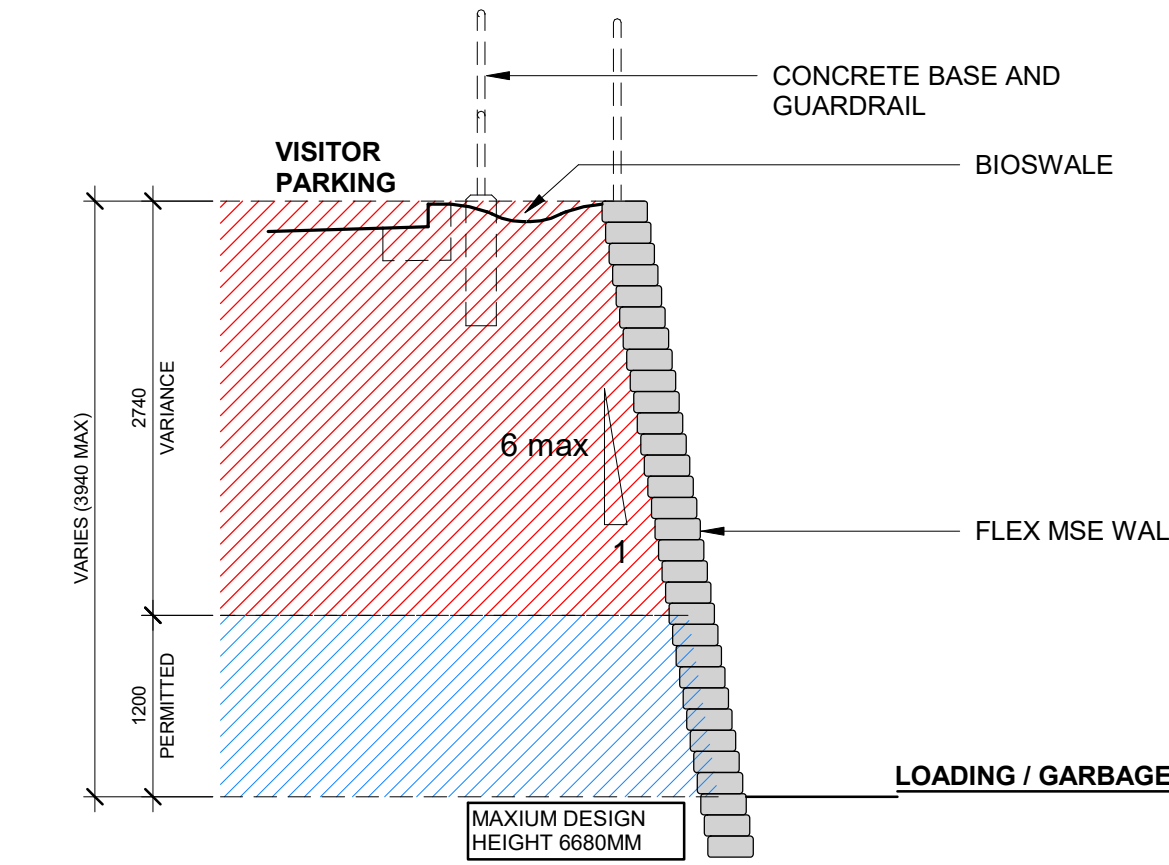




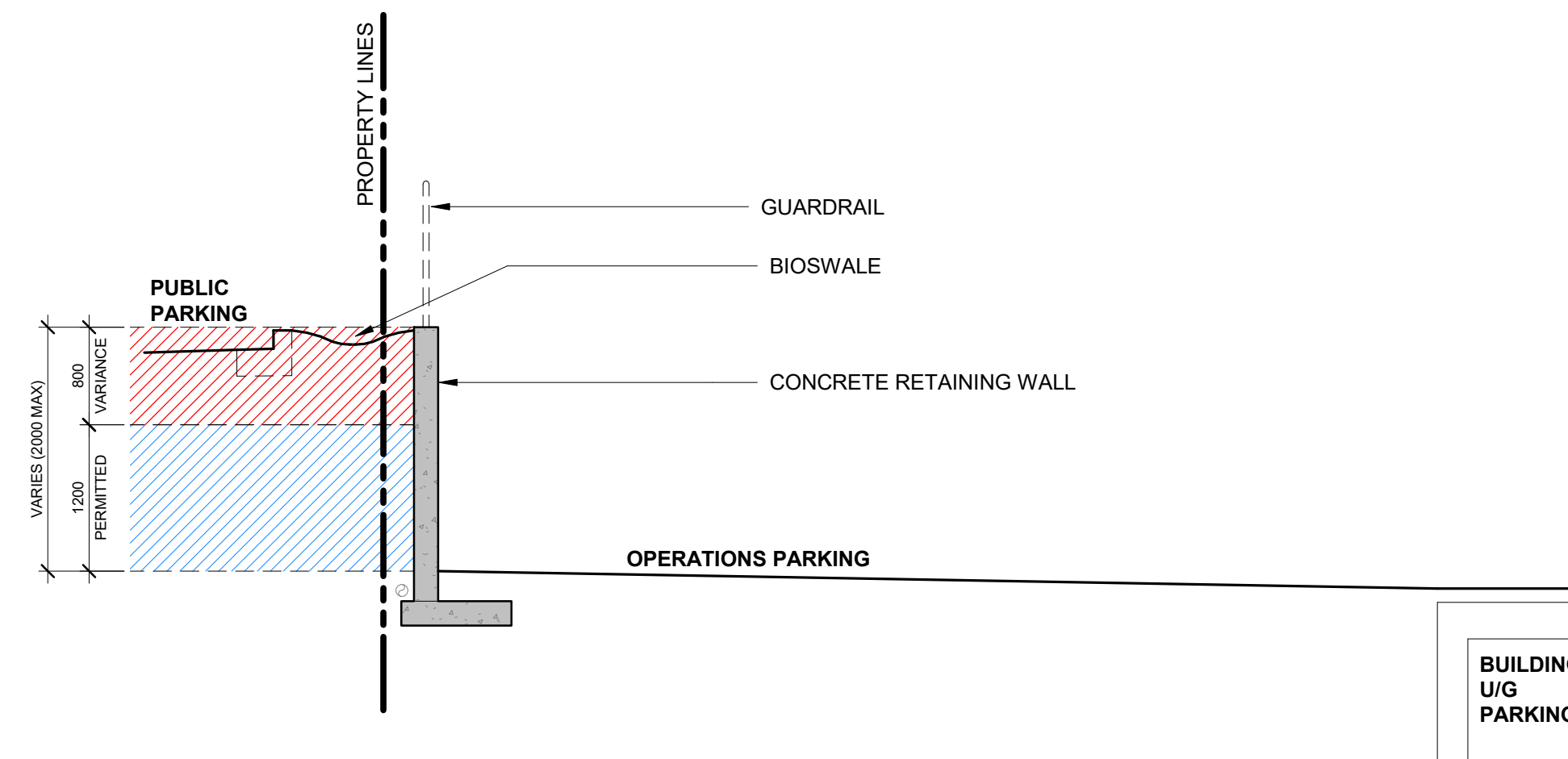
1 VARIANCE 05 - Retaining Wall Sections - FLEX-MSE at Lane
scale - n.t.s.



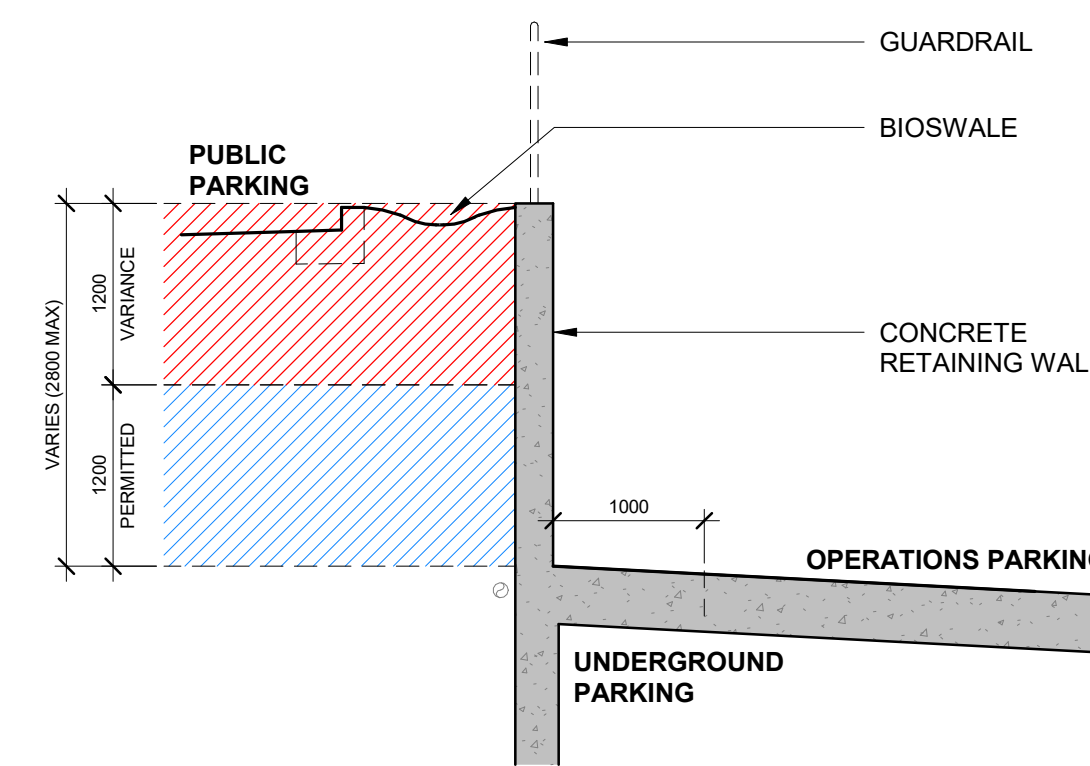
2 VARIANCE 07 - Retaining Wall Sections - FLEX-MSE at Ledger Ave.
scale - n.t.s.



3 VARIANCE 06 - Retaining Wall Sections - FLEX-MSE at Loading and Garbage
scale - n.t.s.



4 VARIANCE 08 - Retaining Wall Sections - Concrete Wall (WEST) at Operations Parking
scale - n.t.s.



5 VARIANCE 09 - Retaining Wall Sections - Concrete Wall (NORTH) at Operations Parking
scale - n.t.s.

JDa

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Vancouver, BC, Canada, V6A 3Y1

Phone: 604 684 3338
info@jdarch.ca

jdarch.ca



Revisions

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4244 Norland Ave, Burnaby BC, V5G 4V1

Client

City of Burnaby

Sheet Title

Retaining Wall
Sections

Drawn	EC	Scale
Checked	KJ	

Job No.	2309	Revision	△
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Sheet

DVP 3

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